

## MINUTES OF THE SPECIAL VILLAGE BOARD MEETING Wednesday, December 5, 2018

### 1. Call to Order

Village President Winchowky called the meeting to order at 6:03 p.m. located in the Board Room of the Mukwonago Municipal Building, 440 River Crest Ct.

### 2. Roll Call

Board Members present: Fred Winchowky, Village President  
Jim Decker  
Darlene Johnson  
Karl Kettner  
Mark Penzkover  
Jay Vermeulen  
Jason Wamser

Board Members excused: None

Also present: Mike Michalski, Village Engineer  
Ron Bittner, Public Works Director  
Mark Blum, Village Attorney  
Dave Brown, Utilities Director  
Diana Doherty, Finance Director  
John Weidl, Administrator/Economic Development Director  
Kevin Schmidt, Police Chief  
Cynthia Howard, Recording Secretary

### 3. Pledge of Allegiance

The Village Board recited the Pledge of Allegiance.

### 4. New Business

#### A. Village President

##### 1. Proclamation

President Winchowky read aloud the proclamation.

**Motion** by Decker/Johnson to approve Proclamation in recognition of the 52<sup>nd</sup> Wedding Anniversary of Darrel and Christine Mhlbauer. Motion carried unanimously.

#### B. Finance Committee

##### 1. 2018 Budget for TIDS #4 & 5

**Motion** by Johnson/Penzkover to adopt Resolution 2018-76, a Resolution adopting the 2018 budget for TIDS #4 & 5. Motion carried.

##### 2. 2019 Budget for TIDS #3, 4 & 5

**Motion** by Decker/Vermeulen to adopt Resolution 2018-77, a Resolution adopting the 2019 budget for TIDS #3, 4 & 5. Motion carried.



**3. 2019 Water Utility Budget**

**Motion** by Decker/Vermeulen to adopt **Resolution 2018-78**, a Resolution adopting the 2018 budget for Water Utility. Motion carried.

C. Public Works Committee

**1. TID #5 WE Energies Proposal**

**Motion** by Decker/Penzkover to approve WE Energies 11/27/2018 proposal for TID #5 Public Improvements in the amount of \$108,161.14. Motion carried.

**5. Adjournment**

President Winchowky declared the meeting adjourned at 6:07 p.m.

Respectfully Submitted,

Cynthia L. Howard  
Recording Secretary

Linda Gourdoux  
Deputy Clerk-Treasurer



## MINUTES OF THE REGULAR VILLAGE BOARD MEETING

### Thursday, December 19, 2018

#### 1. Call to Order

Village President Winchowky called the meeting to order at 6:30 p.m. located in the Board Room of the Mukwonago Municipal Building, 440 River Crest Ct.

#### 2. Roll Call

Board Members present: Fred Winchowky, Village President  
Jim Decker  
Darlene Johnson  
Mark Penzkover  
Jay Vermeulen  
Jason Wamser

Board Members excused: Karl Kettner

Also present:

Ron Bittner, Public Works Director  
Mark Blum, Village Attorney  
Dave Brown, Utilities Director  
Bob Harley, Supervisor of Inspections  
Bruce Kaniewski, Planner/Zoning Administrator  
Kevin Schmidt, Police Chief  
Jeff Stien, Fire Chief  
John Weidl, Administrator/Economic Development Director  
Cynthia Howard, Recording Secretary

#### 3. Pledge of Allegiance

The Village Board recited the Pledge of Allegiance.

#### 4. Announcement of Closed Sessions

Announcement of closed sessions pursuant to Wis. Stat. **§19.85(1)(e)** (*Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session*)

#### 5. Public Hearing

- A. Public Hearing for Rezone of MUKV 1974-968 from A-1, Agricultural District to R-2, Single Family Historical Lot Residential District, approximately 3.6 Acres of Land Bounded by Eagle Lake Avenue (CTH LO), Spring Street and Bay Street on behalf of Henry William Patrick Wittbrot IV

President Winchowky opened the public hearing at 6:32 p.m. The property owner, Henry Wittbrot, was present and testified that upon review of a completed wetland delineation of the subject property, the findings indicated are area where one to two homes could be built. Mr. Wittbrot stated that he is seeking to build one home at this



time for his own family. No other parties were present wishing to testify. President Winchowky closed the public hearing at 6:34 p.m.

## 6. Comments from the Public

None. President Winchowky closed public comment at 6:35 p.m.

## 7. Consent Agenda

### A. Approve Village Board meeting minutes:

1. November 15, 2018 Budget Hearing Special Meeting
2. November 15, 2018 Regular Meeting
3. December 5, 2018 Special Meeting

### B. Finance Committee

1. Vouchers payable batches
  - a. Payments batch LibAP112018 for \$24,157.78
  - b. Payments batch US-11-2018 for \$19,349.79
  - c. Payments batch WE-11-2018 for \$34,190.75
  - d. Payments batch AP-12-2018-1 for \$579,263.25

### C. Judicial Committee

1. Approve the Change of Agent to Barbara J. LeBlanc for Kwik Tip Class A Alcohol License.

### D. Public Works Committee

1. Request IDC to present the Village of Mukwonago with data and engineering pertaining to the water tower and right-of-way areas for review by the Village Engineer prior to making any decisions on cost-sharing for the contamination removal
2. Approval of Holz Multi-Use Parkway Trail Change Order #2 in the amount of \$99,896.40

**Motion** by Decker/Penzkover to approve the Consent Agenda Items A-D, excluding B2-4, carried unanimously.

- B. 2. Approve the Wage Rate Range for Seasonal Public Works Employees between \$9.00 and \$15.00 per hour for 2019

**Motion** by Johnson/Decker to approve the Consent Agenda Item B2, carried unanimously.

- B. 3. Adopt **RESOLUTION 2018-79**, a Resolution adopting the 2019 wage rates resolution, as amended to include the Protective Services 2019 POC and POP Wage Rates and adjust the Public Works wage range for seasonal employees to between \$9.00 and \$15.00 per hour for 2019

**Motion** by Johnson/Decker to approve the Consent Agenda Item B3, as amended and written, carried unanimously.

- B. 4. Adopt **RESOLUTION 2018-80**, a Resolution adopting exceptions to wage rates RESOLUTION 2018-79

**Motion** by Penzkover/Vermeulen to approve the Consent Agenda Item B4. Upon voice



vote the motion carried. Trustee Johnson voted nay.

## 8. New Business

### A. Finance Director

#### 1. Vouchers payable batches

- a. Payments Batch AP 12-2018-2 for \$1,018,355.20
- b. Payments Batch AP M-11-2018 for \$126,461.34.

**Motion** by Decker/Johnson to approve the Vouchers Payable Batches as provided in the amount of \$1,144,816.54, motion carried unanimously.

### B. Planning Commission

#### 1. Kay's Academy of Dance/715 Main Street

Village Planner Bruce Kaniewski gave the Board an overview of the project proposal.

**Motion** by Penzkover/Decker to adopt **RESOLUTION 2018-81**, a Resolution for Pirouette Properties (Kay's Academy of Dance), Site Plan and Architectural Review Approval for 715 Main Street; MUKV 1976-205, as submitted and subject to the Planner's Conditions, motion carried.

#### 2. Super Products/130 W. Boxhorn Drive

Village Planner Bruce Kaniewski gave the Board an overview of the proposed Certified Survey Map. Discussion ensued regarding the previously approved Board offer to sell the subject property to Super Products, of which the form has not been finalized.

**Motion** by Penzkover/Decker to adopt **RESOLUTION 2018-82**, a Resolution for a 1-Lot Certified Survey Map on behalf of Super Products, LLC, 130 W. Boxhorn Dr; part of #A477300003, contingent upon the Village entering into an offer to sell as well as a developer guaranty agreement with Super Products, motion carried.

#### 3. Taco Bell/920 Greenwald

Village Planner Bruce Kaniewski gave the Board an overview of the proposed Site Plan and Architectural elements, to specifically add a cooler on the back end of the existing building to allow for increased food prep area. Discussion ensued about the drive-thru and architectural standards.

**Motion** by Penzkover/Johnson to adopt **RESOLUTION 2018-83**, a Resolution for Albor Restaurant Group (Taco Bell), Site Plan and Architectural Review Approval for 920 Greenwald Court, subject to the Planner's Conditions. Upon voice vote the motion carried. Trustee Wamser voted nay.

#### 4. Wittbrot Rezone/MUKV 1974-968

Village Planner Bruce Kaniewski gave the Board an overview of history of annexations of town islands directly into the Agricultural Zoning District as well as the zoning and new setbacks of the surrounding properties in the Shores



Subdivision. Discussion ensued about the A-1 Zoning scattered properties to be considered for future rezones based on connecting sites zoning.

**Motion** by Penzkover/Decker to adopt **ORDINANCE 954** an Ordinance approving the Rezone from A-1, Agricultural District to R-2, Single Family Historical Lot Residential District, approximately 3.6 Acres of Land Bounded by Eagle Lake Avenue (CTH LO), Spring Street and Bay Street on behalf of Henry William Patrick Wittbrot IV; MUKV 1974-968, carried unanimously.

#### C. Protective Service Committee

##### 1. **2019 Stipend for Certain Officers**

Protective Service Committee Chair Johnson gave the Board an overview of review and recommendations of the Committee at Monday night's meeting to consider a \$3,000 annual stipend for be only for the year 2019 for one assistant chief and one deputy chief, to be distributed with the 26 pay periods. Chief Stien stated that there is room in the 2019 budget for a reallocation of funds because a full-time Lieutenant resigned in October.

**Motion** by Penzkover/Decker to adopt **RESOLUTION 2018-84**, a Resolution authorizing Annual Stipends for the Assistant Chief and Deputy Chief due to mandated increased responsibilities and duties. Upon voice vote the motion carried. Trustee Vermeulen voted nay.

##### 2. **November Police Report**

Trustee Johnson stated that the Police Report was distributed to the Board for information only; no action was taken.

#### D. Public Works Committee

##### 1. **Maple Center Access Agreement**

Village Administrator Weidl reported that a revision was made to the document today to make minor corrections.

**Motion** by Penzkover/Decker to approve the REVISED Approve access agreement between the Village and Doug DeBack for Maple Center, motion carried unanimously.

##### 2. **John's Disposal Amendment to Agreement**

Public Works Director Bittner reviewed the changes in the agreement, which include, 2 extra yard waste collections, weekly recycling pick-up, and new compost regulations.

**Motion** by Penzkover/Decker to Approve amendment to John's Disposal Garbage and Recycling Collection Agreement and authorize the Village President sign the amendment, motion carried unanimously.

##### 3. **Urban Forestry Grant**

Public Works Director Bittner reported that the department had received an Urban Forestry Grant to assist with the removal of dead Ash trees on public property. No action taken.



4. **Introduction of PW Crew Supervisor Lee Wegner**

New Public Works employee was introduced by the Public Works Director. Mr. Wegner addressed the Board and stated that he is long term resident of Mukwonago; no action was taken.

9. **New Business**

A. Intergovernmental Agreement

1. **Town of Vernon**

Consideration of a Resolution to Adopt the Cooperative Boundary Agreement with the Town of Vernon and to Transmit the Cooperative Boundary Agreement to the State of Wisconsin Department of Administration. Discussion ensued about the requirement of 20 days for public comment and 30 days to file an objection.

**Motion** by Penzkover/Decker to defer this matter until the January 16, 2019 Village Board meeting, motion carried unanimously

10. **Closed Session**

At 7:17 p.m. a **Motion** by Decker/Johnson to move into closed sessions pursuant to Wis. Stat. **§19.85(1)(e)** (*Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session*), Wis. Stat. **§19.85(1)(g)** (*conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved*) carried upon Roll Call Vote (6 ayes, 0 nays). Trustee Vermeulen recused himself from the Closed Session. Closed Session started at 7:22 p.m. following a short recess. Ray Goodden of Anderson Commercial Group LLC was invited to attend Closed Session.

11. **Reconvene in Open Session**

**Motion** by Decker/Johnson to Reconvene into open session pursuant to Wis. Stats. **§19.85(2)** for possible additional discussion and/or action concerning any matter discussed in closed session and/or any unfinished item remaining on the agenda carried upon Roll Call Vote (6 ayes, 0 nays) at 7:40 p.m. Trustee Vermeulen joined the Board in open session. It was the consensus of the Board to have staff proceed as directed.

12. **Adjournment**

**Motion** by Decker/Penzkover to adjourn the meeting at 7:41 p.m., carried.

Respectfully Submitted,

Cynthia L. Howard  
Recording Secretary

Linda Gourdoux  
Deputy Clerk-Treasurer



## **MINUTES OF THE SPECIAL VILLAGE BOARD MEETING JOINT MEETING WITH THE TOWN OF VERNON BOARD Wednesday, October 24, 2018**

### **Call to Order**

Village of Mukwonago Fred Winchowky, Village President, called the meeting to order at 6:30 p.m. located in the Community Room of the Mukwonago Village Hall, 440 River Crest Ct.

### **Roll Call**

Village Board Members present: Darlene Johnson  
Jim Decker  
Jay Vermeulen  
Mark Penzkover  
Jason Wamser  
Fred Winchowky, Village President

Village Board Member Excused: Karl Kettner

Town Supervisors present: Thomas Bird, Chairperson  
Jeff Millies  
Gary Wilde  
Ed Moline  
Bill Craig

Also present: Linda Gourdoux., Village Deputy Clerk-Treasurer  
John Weidl, Village Administrator/Director of Economic Development  
Ron English, representative of Village Attorney  
Bruce Kaniewski, Village Planner/Zoning Administrator  
Dave Brown, Utilities Director  
Ron Bittner, Public Works Director  
Becca Alonge, Village Engineer  
Kurt Peot, Prior Village Engineer  
Karen Schuh, Town Clerk  
John Macy, Town Attorney

### **Public Hearing**

*All persons interested in making comments about any of the public hearing items will be heard. Formal petitions and written comments regarding any of the public hearing items may be submitted tonight. During the public hearing(s), if you wish to be heard, the Village Board asks that you begin by stating your name and address, speak for no more than three minutes and attempt to avoid duplication. Each person speaking at the public hearing must sign the Public Hearing Appearance sign-in sheet before speaking. The sign-in sheet is available on the table located at the back of the room.*

The purpose of the public hearing is to receive comments from all interested persons with respect to a Cooperative Boundary Agreement Plan between the Village of Mukwonago, Wisconsin, and the Town of Vernon, Wisconsin, pursuant to Wisconsin Statute 66.0307 ("Agreement").



## **Explanation of the Border Agreement Process and the Village of Mukwonago's Vision for Border Agreement Plan**

Village President Winchowky gave an overview of the border agreement process between the Town of Vernon and the Town of Mukwonago. Town Chairman Bird also gave an overview of the border agreement and what the Town hopes to gain with the agreement. Village Planner Kaniewski, gave an overview of the Village of Mukwonago's Planning and Land Use and an overview of how the process of land uses may change. Village President Winchowky asked for public comments and stated that all questions would be answered after all comments were given to the boards.

## **Comments from the Public**

*The purpose of this section is to allow the non-elected general public the opportunity to address the Board on any subject of concern that is not the topic of a current or previous Public Hearing before the Village Board. If you wish to be heard, the Village Board asks that you begin by stating your name and address, speak for no more than three minutes and attempt to avoid duplication. Each person speaking must sign the Comments from the Public Appearance sign-in sheet before speaking. The sign-in sheet is available on the table located at the back of the room. The Board will only receive comments during Public Comment. The Public Comment portion of the meeting is scheduled for a total of 15 minutes in length but will end sooner if the Village President has determined that there is no one else present who still wishes to speak.*

## **Public Comments**

Schilling – S91W27795 National Ave – How does this affect him and his property; no one spoke directly with him regarding agreement

Wagner – S102W26155 Maple Ave – How does this affect her and her property; does not want sewer/water; similar concerns as Schilling

Datka – S109W27935 Maple Ave – How does this affect her and her property; wants to stay in Vernon

Forster – W278S11010 Fairview Cir – How does this affect her and her property; worried about taxes

Forster – W278S11010 Fairview Cir – Agrees with his wife (above); does not want sewer/water or natural gas; not notified about informational meeting

Schwane – S106W26975 Maple Ave – Worried about taxes; like well water; want country atmosphere

Schwartz – S92W27825 National Ave – Wants to stay in Vernon, low taxes, easier to work with

Fortner – Sandhill – Questioned legal notice; not information in newsletter; sees no benefit to Vernon only Mukwonago

Wissner – W278S10995 Fairview Cir – Agreement came up suddenly; Village services spread thin; like living in the Town

Huey – S93W27705 Edgewood Ave – Like Town and to keep low taxes

Unidentified person – questioned dates in the agreement

## **Village President Winchowky closed the public hearing at 7:15 p.m.**

Village Planner Kaniewski, stated that the agreement was first drafted in 2017. The new agreement will have the correct "phase-in" dates based upon when the agreement is signed. He



stated that all land that comes into the Village as a Border Agreement or annexation is always zoned as agricultural land. He stated this is the Village's ordinance and it follows the state statutes. The land is rezoned based upon the Village of Mukwonago's Comprehensive Land Use Plan. The Village of Mukwonago's taxes are higher than the Town of Vernon. The Village of Mukwonago's ordinance on sewer and water mirrors the Wisconsin State Statutes, which states that if sewer and water are in front of your property, the property owner has nine months to hook up.

Several Vernon Town Board members stated why they felt the border agreement was necessary and reiterated that there is nothing in it for them.

Village President Winchowky stated that this discussion is not new. The Village and Town started talking over 20 years ago about this. This item will be on the Village of Mukwonago's agenda for December 19, 2018 at 6:00 p.m.

The Mukwonago Village Board and the Vernon Town Board members thanked everyone for coming and sharing their comments and requested that residents contact their board members regarding this agreement

### **Adjournment**

Motion by Johnson/Decker to adjourn; carried

Village President Winchowky and Town Chairperson Bird adjourned the Joint Village, Town meeting at 7:16 p.m.

Respectfully Submitted,

Linda Gourdoux  
Village Deputy Clerk-Treasurer



## **MINUTES OF THE SPECIAL VILLAGE BOARD MEETING JOINT MEETING WITH THE TOWN OF VERNON BOARD Wednesday, November 28, 2018**

### **Call to Order**

Village of Mukwonago Fred Winchowky, Village President, called the meeting to order at 6:30 p.m. located in the Community Room of the Mukwonago Village Hall, 440 River Crest Ct.

### **Roll Call**

Village Board Members present: Darlene Johnson  
Jim Decker  
Karl Kettner  
Jay Vermeulen  
Fred Winchowky, Village President  
Village Board Member Excused: Mark Penzkover  
Jason Wamser

Town Supervisors present: Thomas Bird, Chairperson  
Jeff Millies  
Gary Wilde  
Ed Moline  
Bill Craig

Also present: Linda Gourdoux., Village Deputy Clerk-Treasurer  
John Weidl, Village Administrator/Director of Economic Development  
Dave Brown, Utilities Director  
Ron Bittner, Public Works Director  
Becca Alonge, Village Engineer  
Karen Schuh, Town Clerk  
John Macy, Town Attorney

### **Public Hearing**

*All persons interested in making comments about any of the public hearing items will be heard. Formal petitions and written comments regarding any of the public hearing items may be submitted tonight. During the public hearing(s), if you wish to be heard, the Village Board asks that you begin by stating your name and address, speak for no more than three minutes and attempt to avoid duplication. Each person speaking at the public hearing must sign the Public Hearing Appearance sign-in sheet before speaking. The sign-in sheet is available on the table located at the back of the room.*

The purpose of the public hearing is to receive comments from all interested persons with respect to a Cooperative Boundary Agreement Plan between the Village of Mukwonago, Wisconsin, and the Town of Vernon, Wisconsin, pursuant to Wisconsin Statute 66.0307 ("Agreement").

### **Explanation of the Border Agreement Process and the Village of Mukwonago's Vision for Border Agreement Plan**



Village President Winchowky gave an overview of the border agreement process between the Town of Vernon and the Town of Mukwonago. Town Chairman Bird also gave an overview of the border agreement and what the Town hopes to gain with the agreement. Village Administrator Weidl, gave an overview of the changes that were made to the border agreement based upon comments made at the last public hearing. Village President Winchowky asked for public comments and stated that all questions would be answered after all comments were given to the boards.

### **Comments from the Public**

*The purpose of this section is to allow the non-elected general public the opportunity to address the Board on any subject of concern that is not the topic of a current or previous Public Hearing before the Village Board. If you wish to be heard, the Village Board asks that you begin by stating your name and address, speak for no more than three minutes and attempt to avoid duplication. Each person speaking must sign the Comments from the Public Appearance sign-in sheet before speaking. The sign-in sheet is available on the table located at the back of the room. The Board will only receive comments during Public Comment. The Public Comment portion of the meeting is scheduled for a total of 15 minutes in length but will end sooner if the Village President has determined that there is no one else present who still wishes to speak.*

### **Public Comments**

Peters – S92W27050 Karlstad Dr – Asked for clarification; in yellow area, this means nothing will be done for 10 years, spoke against

Vick – S106W27605 Maple Ave – Asked about taxes, spoke against

Pladies – S107W27020 Maple Ave – What happens to all the questions received; State Rd 83 by-pass questions, spoke against

Forster – W278S11010 Fairview Cir – This section has been changed to the 30-year area, Thank You

Potter – S106W26955 Maple Ave – What about Craig Farm – in the 20-year area, concerns over connecting to sewer and water

Peters - S92w27050 Karlstad Ave – Is there going to be a new ramp off I-43, No new ramp

Unidentified Village resident – Is existing sewer plant/system adequate to support additional properties – This would be reviewed as development takes place.

Datka – S109W27935 Maple Ave – concerns about industrial park and sewer/water connections

Vick – S108W27605 Maple Ave – if you have failed septic, can you have lateral up to right-of-way for future use instead of tearing up road

Fortner – concern over no information available, questions have not been addressed, what is procedure going forward, spoke against

Gross – S109W27685 Maple Ave – spoke against; zoning concerns, traffic concerns environmental concerns

Porter – S103W23670 Maple Ave – tax base, size of Town Board

Bilello – W278S10940 Fairview Cir – What is the date that everything is based off, where do we pay taxes next year

Unidentified person – continue to pay Vernon

Wagner – S102W26155 Maple Ave – asked about his property, Village zoning and lot size

Various Unidentified people – How long has this been in discussion – since 1992; Where will I pay taxes – to Vernon until attached to Village; Who will pay for running sewer/water lines



– is individual wants this they will have to pay; What about Big Bend – a signed agreement between Vernon and Mukwonago

Attorney Macy gave closing summation

**Village President Winchowky closed the public hearing at 8:01 p.m.**

**Adjournment**

Motion by Johnson/Decker to adjourn; carried

Village President Winchowky and Town Chairperson Bird adjourned the Joint Village, Town meeting at 8:04 p.m.

Respectfully Submitted,

Linda Gourdoux  
Village Deputy Clerk-Treasurer



# VILLAGE OF MUKWONAGO

01/10/19 4:53 PM

Page 1

## Payments

Current Period: January 2019

Batch Name	AP 1-2019-2	User Dollar Amt	\$86,860.98	
	Payments	Computer Dollar Amt	\$86,860.98	
			\$0.00	In Balance
Refer	4605	ARNOLDS ENVIRONMENTAL SER	-	
Cash Payment	E 100-5521-5311	Supplies	CONSTRUCTION UNITS	-\$178.28
Invoice	600155	11/1/2018		
Cash Payment	E 100-5521-5311	Supplies	CONSTRUCTION UNITS	\$315.00
Invoice	650062	12/27/2018		
Cash Payment	E 100-5521-5311	Supplies	CONSTRUCTION UNITS	\$105.00
Invoice	650093	12/28/2018		
Transaction Date	1/9/2019	Citizens	111000	Total \$241.72
Refer	4607	ASSOCIATED APPRAISAL	-	
Cash Payment	E 100-5153-5219	Professional Services	PORF SERV JAN 2019	\$1,397.57
Invoice	140148	1/1/2019		
Transaction Date	1/9/2019	Citizens	111000	Total \$1,397.57
Refer	4608	BOUND TREE MEDICAL	-	
Cash Payment	E 150-5231-5311	Supplies	ADNOSINE	\$47.40
Invoice	83078071	1/7/2019		
Cash Payment	E 150-5231-5311	Supplies	CURAPLEX OXYGEN	\$146.26
Invoice	83078072	1/7/2019		
Transaction Date	1/9/2019	Citizens	111000	Total \$193.66
Refer	4609	BRAUN THYSEN KRUPP	-	
Cash Payment	E 100-5160-5219	Professional Services	1ST Q 2019 ELEVATOR AGREE	\$187.18
Invoice	143630	1/1/2019		
Transaction Date	1/9/2019	Citizens	111000	Total \$187.18
Refer	4610	CENTRAL OFFICE SYSTEMS	-	
Cash Payment	E 150-5221-5311	Supplies	COPIER LEASING	\$92.00
Invoice	62010912	1/6/2019		
Cash Payment	E 100-5142-5312	Printing	COPIER LEASING	\$23.10
Invoice	62104941	1/6/2019		
Cash Payment	E 150-5221-5311	Supplies	COPIER LEASING	\$21.45
Invoice	62104941	1/6/2019		
Cash Payment	E 220-5140-5312	Printing	COPIER LEASING	\$1.65
Invoice	62104941	1/6/2019		
Cash Payment	E 410-5140-5312	Printing	COPIER LEASING	\$3.30
Invoice	62104941	1/6/2019		
Cash Payment	E 440-5511-5312	Printing	COPIER LEASING	\$8.25
Invoice	62104941	1/6/2019		
Cash Payment	E 500-5140-5312	Printing	COPIER LEASING	\$1.65
Invoice	62104941	1/6/2019		
Cash Payment	E 610-6920-6930	Misc General Expenses	COPIER LEASING	\$54.45
Invoice	62104941	1/6/2019		
Cash Payment	E 620-8400-8560	Misc General Expense	COPIER LEASING	\$51.15
Invoice	62104941	1/6/2019		
Transaction Date	1/9/2019	Citizens	111000	Total \$257.00
Refer	4611	CENTURYLINK	-	



# VILLAGE OF MUKWONAGO

01/10/19 4:53 PM

Page 2

## Payments

Current Period: January 2019

Cash Payment	E 100-5142-5225 Telephone	PHONE CLERK			\$73.11
Invoice	12/21-01/20	12/21/2018			
Cash Payment	E 100-5211-5225 Telephone	PHONE POLICE			\$53.60
Invoice	12/21-01/20	12/21/2018			
Cash Payment	E 100-5323-5225 Telephone	PHONE DPW			\$89.41
Invoice	12/21-01/20	12/21/2018			
Cash Payment	E 100-5512-5225 Telephone	PHONE MUSEUM			\$85.75
Invoice	12/21-01/20	12/21/2018			
Cash Payment	E 440-5511-5225 Telephone	PHONE LIBRARY			\$111.20
Invoice	12/21-01/20	12/21/2018			
Cash Payment	E 610-6920-6921 Office Supplies & Expen	PHONE WATER			\$134.51
Invoice	12/21-01/20	12/21/2018			
Cash Payment	E 620-8400-8510 Office Supplies & Expen	PHONE SEWER			\$31.58
Invoice	12/21-01/20	12/21/2018			
Transaction Date	1/9/2019	Citizens	111000	Total	\$579.16
Refer	4612	EMERGENCY MEDICAL PRODUCT	-		
Cash Payment	E 150-5231-5311 Supplies	AMBO SUPPLIES			\$1,515.45
Invoice	2042012	1/6/2018			
Transaction Date	1/9/2019	Citizens	111000	Total	\$1,515.45
Refer	4613	GEAR WASH LLC	-		
Cash Payment	E 150-5222-5395 Repairs & Maintenance	UNIFORM REPAIRS			\$279.26
Invoice	14802	1/2/2019			
Transaction Date	1/9/2019	Citizens	111000	Total	\$279.26
Refer	4614	GENERAL COMMUNICATIONS	-		
Cash Payment	E 100-5211-5219 Professional Services	2019 LABOR			\$3,200.00
Invoice	264112	12/28/2018			
Transaction Date	1/9/2019	Citizens	111000	Total	\$3,200.00
Refer	4615	HIPPENMEYER, REILLY	-		
Cash Payment	E 100-5130-5219 Professional Services	MISC MATTERS			\$665.00
Invoice	47213	1/9/2019			
Cash Payment	E 610-6920-6923 Outside Services Employ	UTIL GIBSON DEF ASSESS			\$39.38
Invoice	47214	1/9/2019			
Cash Payment	E 620-8400-8520 Outside Services Employ	UTIL GIBSON DEF ASSESS			\$39.37
Invoice	47214	1/9/2019			
Cash Payment	E 430-5700-5720 Fire Station Improvemen	FIRE STATION REMODEL PROJECT			\$52.50
Invoice	47215	1/9/2019			
Cash Payment	G 100-211400 Billable Disbursements	TERONOMY DEBACK SITE			\$595.00
Invoice	47216	1/9/2019			
Cash Payment	G 100-211425 Developer Escrow	TID 5 NB LINCOLN			\$280.00
Invoice	47217	1/9/2019	Project TID504		
Cash Payment	E 100-5130-5219 Professional Services	PROSECUTION			\$1,027.50
Invoice	47218	1/9/2019			
Transaction Date	1/9/2019	Citizens	111000	Total	\$2,698.75
Refer	4616	MID-STATES ORGANIZED CRIME	-		
Cash Payment	E 100-5213-5324 Membership Dues	2019 MEMBERSHIP			\$150.00
Invoice	93065-1481	12/19/2018			
Transaction Date	1/9/2019	Citizens	111000	Total	\$150.00



# VILLAGE OF MUKWONAGO

01/10/19 4:53 PM

Page 3

## Payments

Current Period: January 2019

Refer	4617	MORTENSON CONSTRUCTION	-			
Cash Payment	G 610-235000	Customer Deposits	METER DEP REFUND		\$1,000.00	
Invoice	24142	1/3/2019				
Transaction Date	1/9/2019	Citizens	111000	Total	\$1,000.00	
Refer	4618	MOELLER RYAN	-			
Cash Payment	E 150-5222-5346	Clothing Allowance	2018 CLOTHING ALLOW		\$50.00	
Invoice	7565045	12/29/2018	Project 150-52			
Transaction Date	1/9/2019	Citizens	111000	Total	\$50.00	
Refer	4619	PROPHOENIX	-			
Cash Payment	E 100-5211-5219	Professional Services	2019 MAINT & SUPPORT		\$15,961.14	
Invoice	2019055	11/12/2018				
Transaction Date	1/9/2019	Citizens	111000	Total	\$15,961.14	
Refer	4620	RICOH AMERICAS CORPORATION	-			
Cash Payment	E 100-5142-5312	Printing	LEASE		\$23.89	
Invoice	31102825	12/27/2018				
Cash Payment	E 150-5221-5311	Supplies	LEASE		\$22.18	
Invoice	31102825	12/27/2018				
Cash Payment	E 220-5140-5312	Printing	LEASE		\$1.71	
Invoice	31102825	12/27/2018				
Cash Payment	E 410-5140-5312	Printing	LEASE		\$3.41	
Invoice	31102825	12/27/2018				
Cash Payment	E 440-5511-5312	Printing	LEASE		\$8.53	
Invoice	31102825	12/27/2018				
Cash Payment	E 500-5140-5312	Printing	LEASE		\$1.71	
Invoice	31102825	12/27/2018				
Cash Payment	E 610-6920-6930	Misc General Expenses	LEASE		\$56.30	
Invoice	31102825	12/27/2018				
Cash Payment	E 620-8400-8560	Misc General Expense	LEASE		\$52.88	
Invoice	31102825	12/27/2018				
Transaction Date	1/9/2019	Citizens	111000	Total	\$170.61	
Refer	4621	TITAN PUBLIC SAFETY SOLUTION	-			
Cash Payment	E 100-5211-5219	Professional Services	TIPPS SOFTWARE/SUPPORT		\$1,631.00	
Invoice	4620	1/1/2019				
Cash Payment	E 100-5120-5229	Software Support/Mainte	TIPPS SOFTWARE/SUPPORT		\$5,829.00	
Invoice	4618	1/1/2019				
Transaction Date	1/9/2019	Citizens	111000	Total	\$7,460.00	
Refer	4622	V.A.L.U.E. IN GOVERNMENT	-			
Cash Payment	E 100-5211-5324	Membership Dues	2019 MEMBERSHIP		\$50.00	
Invoice	2019	1/1/2019				
Transaction Date	1/9/2019	Citizens	111000	Total	\$50.00	
Refer	4623	VILLAGE OF MUKWONAGO	-			
Cash Payment	G 720-250015	Due to Fire/Ambulance	MONTHLY FIIRE TAX		\$18,207.00	
Invoice	JAN2019	1/9/2019				
Cash Payment	E 610-6920-6408	Taxes - Village	MONTHLY WATER UTIL TAX		\$30,667.00	
Invoice	JAN2019	1/9/2019				
Transaction Date	1/9/2019	Citizens	111000	Total	\$48,874.00	
Refer	4624	WI LAW ENFORCEMENT	-			



# VILLAGE OF MUKWONAGO

01/10/19 4:53 PM

Page 4

## Payments

Current Period: January 2019

Cash Payment	E 100-5211-5324 Membership Dues	ANNUAL PROGRAM/EMEBERSHIP FEES		\$350.00
Invoice	2019	12/12/2018		
Transaction Date	1/9/2019	Citizens	111000	<b>Total</b> \$350.00
Refer	4675	EXCEL BUILDING SERVICES	-	
Cash Payment	E 100-5211-5394 Bldg Repairs & Maintena	JAN 2019 CLEANING SERV		\$975.00
Invoice	3258	1/8/2018		
Transaction Date	1/10/2019	Citizens	111000	<b>Total</b> \$975.00
Refer	4676	SOMAR ENTERPRISES	-	
Cash Payment	E 100-5211-5346 Clothing Allowance	UNIFORM ALLOW - DEMOTTO		\$269.33
Invoice	101293	1/7/2019		
Transaction Date	1/10/2019	Citizens	111000	<b>Total</b> \$269.33
Refer	4677	WAUK CTY DISTRICT ATTORNEY	-	
Cash Payment	E 100-5213-5219 Professional Services	ERAD PROGRAM		\$244.00
Invoice		1/10/2019		
Transaction Date	1/10/2019	Citizens	111000	<b>Total</b> \$244.00
Refer	4678	WOLF CONSTRUCTION	-	
Cash Payment	E 610-6452-6652 Maintenance-Services	QPR		\$757.15
Invoice	7151	1/9/2019		
Transaction Date	1/10/2019	Citizens	111000	<b>Total</b> \$757.15

### Fund Summary

	111000 Citizens
100 GENERAL FUND	\$33,402.30
150 FIRE/AMBULANCE FUND	\$2,174.00
220 TID#3 - GENERAL	\$3.36
410 RECYCLING FUND	\$6.71
430 CAPITAL EQUIPMENT FUND	\$52.50
440 LIBRARY FUND	\$127.98
500 STORM WATER UTILITY	\$3.36
610 WATER UTILITY FUND	\$32,708.79
620 SEWER UTILITY FUND	\$174.98
720 TAX ESCROW AGENCY FUND	\$18,207.00
	<b>\$86,860.98</b>

Pre-Written Checks	\$0.00
Checks to be Generated by the Computer	\$86,860.98
<b>Total</b>	<b>\$86,860.98</b>



# VILLAGE OF MUKWONAGO

01/10/19 4:56 PM

Page 1

## Payments

Current Period: December 2018

Batch Name	AP 12-2018-4	User Dollar Amt	\$486,763.77			
	Payments	Computer Dollar Amt	\$486,763.77			
			\$0.00	In Balance		
Refer	4625	AUGUST WINTER & SONS INC	-			
AP Payment	G 620-000105	CIP-WWTP Upgrade	ANAEROBIC DIGESTER			\$200,545.00
Invoice	PYMT4	12/14/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$200,545.00
Refer	4626	BUELOW, VETTER, BUIKEMA, OLS	-			
AP Payment	E 100-5111-5219	Professional Services	VILLAGE BOARD			\$2,060.50
Invoice	2488.00099.2018	1/9/2019				
AP Payment	E 100-5141-5219	Professional Services	ADMIN			\$4,104.00
Invoice	2488.00099.2018	1/9/2019				
AP Payment	E 100-5141-5219	Professional Services	ADMIN			\$966.00
Invoice	2477.05458.2018	1/9/2019				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$7,130.50
Refer	4627	CENTRAL OFFICE SYSTEMS	-			
AP Payment	E 100-5142-5312	Printing	COPIER LEASE 12/1-12/31			\$23.10
Invoice	61761485	12/12/2018				
AP Payment	E 150-5221-5311	Supplies	COPIER LEASE 12/1-12/31			\$21.45
Invoice	61761485	12/12/2018				
AP Payment	E 220-5140-5312	Printing	COPIER LEASE 12/1-12/31			\$1.65
Invoice	61761485	12/12/2018				
AP Payment	E 410-5140-5312	Printing	COPIER LEASE 12/1-12/31			\$3.30
Invoice	61761485	12/12/2018				
AP Payment	E 440-5511-5312	Printing	COPIER LEASE 12/1-12/31			\$8.25
Invoice	61761485	12/12/2018				
AP Payment	E 500-5140-5312	Printing	COPIER LEASE 12/1-12/31			\$1.65
Invoice	61761485	12/12/2018				
AP Payment	E 610-6920-6930	Misc General Expenses	COPIER LEASE 12/1-12/31			\$54.45
Invoice	61761485	12/12/2018				
AP Payment	E 620-8400-8560	Misc General Expense	COPIER LEASE 12/1-12/31			\$51.15
Invoice	61761485	12/12/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$165.00
Refer	4628	ENTERPRISE SYSTEMS GROUP	-			
AP Payment	E 100-5120-5225	Telephone	MIVOICE BUS CX II CONTROLLER			\$64.22
Invoice	82928	12/12/2018				
AP Payment	E 100-5141-5225	Telephone	MIVOICE BUS CX II CONTROLLER			\$125.97
Invoice	82928	12/12/2018				
AP Payment	E 100-5142-5225	Telephone	MIVOICE BUS CX II CONTROLLER			\$226.65
Invoice	82928	12/12/2018				
AP Payment	E 100-5211-5225	Telephone	MIVOICE BUS CX II CONTROLLER			\$595.27
Invoice	82928	12/12/2018				
AP Payment	E 100-5241-5225	Telephone	MIVOICE BUS CX II CONTROLLER			\$64.22
Invoice	82928	12/12/2018				
AP Payment	E 100-5323-5225	Telephone	MIVOICE BUS CX II CONTROLLER			\$125.97
Invoice	82928	12/12/2018				
AP Payment	E 150-5221-5225	Telephone	MIVOICE BUS CX II CONTROLLER			\$627.38
Invoice	82928	12/12/2018				



# VILLAGE OF MUKWONAGO

01/10/19 4:56 PM

Page 2

## Payments

Current Period: December 2018

AP Payment	E 220-5140-5225 Telephone	MIVoice BUS CX II CONTROLLER				\$3.65
Invoice 82928	12/12/2018					
AP Payment	E 410-5140-5225 Telephone	MIVoice BUS CX II CONTROLLER				\$7.31
Invoice 82928	12/12/2018					
AP Payment	E 440-5511-5225 Telephone	MIVoice BUS CX II CONTROLLER				\$501.41
Invoice 82928	12/12/2018					
AP Payment	E 500-5140-5225 Telephone	MIVoice BUS CX II CONTROLLER				\$3.65
Invoice 82928	12/12/2018					
AP Payment	E 610-6920-6921 Office Supplies & Expen	MIVoice BUS CX II CONTROLLER				\$62.15
Invoice 82928	12/12/2018					
AP Payment	E 620-8400-8510 Office Supplies & Expen	MIVoice BUS CX II CONTROLLER				\$62.15
Invoice 82928	12/12/2018					
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$2,470.00
Refer	4629	CLEAN MATS	-			
AP Payment	E 100-5211-5394 Bldg Repairs & Maintena	WALK OFF MATS				\$89.00
Invoice 46489	1/1/2019					
AP Payment	E 100-5160-5219 Professional Services	WALK OFF MATS				\$74.00
Invoice 46490	1/1/2019					
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$163.00
Refer	4630	FASTENAL COMPANY	-			
AP Payment	E 100-5323-5311 Supplies	PARTS				\$32.82
Invoice 75114	12/21/2018					
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$32.82
Refer	4631	GALLS INC	-			
AP Payment	E 100-5212-5347 New Uniform Issue	UNIFORM - NEW OFFICER				\$159.14
Invoice 011514696	12/14/2018					
AP Payment	E 100-5212-5347 New Uniform Issue	UNIFORM - NEW OFFICER				\$671.92
Invoice 011573450	12/21/2018					
AP Payment	E 100-5212-5347 New Uniform Issue	UNIFORM - NEW OFFICER				\$59.99
Invoice 011608009	12/28/2018					
AP Payment	E 100-5212-5347 New Uniform Issue	UNIFORM - NEW OFFICER				\$486.22
Invoice 01160801	12/28/2018					
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$1,377.27
Refer	4632	GENERAL COMMUNICATIONS	-			
AP Payment	E 100-5212-5219 Professional Services	2018 SHARE OF MINDSHARE CONSOLE				\$4,000.00
Invoice 263713	12/21/2018					
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$4,000.00
Refer	4633	HORN FEEDS	-			
AP Payment	E 620-8010-8270 Operation Supply/Expen	SOLAR SALT				\$121.50
Invoice 29519	12/17/2018					
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$121.50
Refer	4634	HORN OIL	-			
AP Payment	E 100-5212-5351 Motor Fuel & Oil	FUEL POLICE				\$1,558.32
Invoice DEC18	1/9/2019					
AP Payment	E 100-5241-5351 Motor Fuel & Oil	FUEL INSP				\$52.24
Invoice DEC18	1/9/2019					



# VILLAGE OF MUKWONAGO

01/10/19 4:56 PM

Page 3

## Payments

Current Period: December 2018

AP Payment	E 100-5324-5351 Motor Fuel & Oil	FUEL DPW				\$868.42
Invoice DEC18	1/9/2019					
AP Payment	E 150-5222-5351 Motor Fuel & Oil	FUEL FIRE				\$568.53
Invoice DEC18	1/9/2019					
AP Payment	E 150-5231-5351 Motor Fuel & Oil	FUEL AMBO				\$1,199.11
Invoice DEC18	1/9/2019					
AP Payment	E 610-6920-6933 Transportation Expenses	FUEL WATER				\$178.72
Invoice DEC18	1/9/2019					
AP Payment	E 620-8010-8280 Transportation Expense	FUEL SEWER				\$277.11
Invoice DEC18	1/9/2019					
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$4,702.45
Refer	4635	JOHNS DISPOSAL	-			
AP Payment	E 410-5140-5220 Contractual Services	CONTRACTED GARBAGE/RECYCLING				\$22,198.75
Invoice 242285	12/26/2018					
AP Payment	E 410-5140-5310 Outside Services	CONTRACTED GARBAGE/RECYCLING				\$12,938.70
Invoice 242285	12/26/2018					
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$35,137.45
Refer	4636	MUKWONAGO AUTO PARTS	-			
AP Payment	E 150-5222-5311 Supplies	GAUGE				\$23.99
Invoice NOV/DEC	12/31/2019					
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$23.99
Refer	4637	NORTHWESTERN LOCK SERVICE	-			
AP Payment	E 100-5160-5311 Supplies	KEYS				\$50.00
Invoice 13200	12/5/2018					
AP Payment	E 100-5160-5311 Supplies	KEYS				\$25.00
Invoice 13215	12/21/2018					
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$75.00
Refer	4638	NEXTEL WIRELESS SOLUTIONS	-			
AP Payment	E 610-6920-6930 Misc General Expenses	UTIL MICROWAVE CONTRIB				\$625.00
Invoice 51	11/29/2018					
AP Payment	E 620-8010-8270 Operation Supply/Expen	UTIL MICROWAVE CONTRIB				\$625.00
Invoice 51	11/29/2018					
AP Payment	E 150-5700-5721 Fire Administration	FD MICROWAVE CONTRIB				\$1,250.00
Invoice 52	11/29/2018					
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$2,500.00
Refer	4639	PRO SEAL ASPHALT	-			
AP Payment	E 480-5700-5864 Boat Launch	BOAT LAUNCH IMPROVEM				\$28,198.55
Invoice PYMT2	1/4/2019					
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$28,198.55
Refer	4640	PRIMUS ELECTRONICS	-			
AP Payment	E 100-5211-5395 Repairs & Maintenance	ELECTRONIC REPAIR				\$915.24
Invoice 902099	12/27/2018					
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$915.24
Refer	4641	PIEPER ELECTRIC	-			
AP Payment	E 430-5700-5711 Police Dept Capital Equi	ELECT WORK AT PD				\$17,975.00
Invoice 706693	12/31/2018					



# VILLAGE OF MUKWONAGO

01/10/19 4:56 PM

Page 4

## Payments

Current Period: December 2018

Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$17,975.00
Refer	4642	QUILL CORPORATION	-			
AP Payment	E 100-5142-5311	Supplies	COPY PAPER			\$18.47
Invoice	3603489	12/18/2018				
AP Payment	E 150-5221-5311	Supplies	COPY PAPER			\$17.15
Invoice	3603489	12/18/2018				
AP Payment	E 220-5140-5311	Supplies	COPY PAPER			\$1.32
Invoice	3603489	12/18/2018				
AP Payment	E 410-5140-5311	Supplies	COPY PAPER			\$2.64
Invoice	3603489	12/18/2018				
AP Payment	E 440-5511-5311	Supplies	COPY PAPER			\$6.60
Invoice	3603489	12/18/2018				
AP Payment	E 500-5140-5311	Supplies	COPY PAPER			\$1.32
Invoice	3603489	12/18/2018				
AP Payment	E 610-6920-6921	Office Supplies & Expen	COPY PAPER			\$43.55
Invoice	3603489	12/18/2018				
AP Payment	E 620-8300-8400	Operation Supply/Expen	COPY PAPER			\$40.91
Invoice	3603489	12/18/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$131.96
Refer	4643	RICOH AMERICAS CORPORATION	-			
AP Payment	E 100-5142-5312	Printing	10/01-12/31 COPIES			\$41.25
Invoice	5055500984	1/9/2018				
AP Payment	E 150-5221-5311	Supplies	10/01-12/31 COPIES			\$38.32
Invoice	5055500984	1/9/2018				
AP Payment	E 220-5140-5312	Printing	10/01-12/31 COPIES			\$2.95
Invoice	5055500984	1/9/2018				
AP Payment	E 410-5140-5312	Printing	10/01-12/31 COPIES			\$5.90
Invoice	5055500984	1/9/2018				
AP Payment	E 440-5511-5312	Printing	10/01-12/31 COPIES			\$14.74
Invoice	5055500984	1/9/2018				
AP Payment	E 500-5140-5312	Printing	10/01-12/31 COPIES			\$2.95
Invoice	5055500984	1/9/2018				
AP Payment	E 610-6920-6930	Misc General Expenses	10/01-12/31 COPIES			\$97.27
Invoice	5055500984	1/9/2018				
AP Payment	E 620-8400-8560	Misc General Expense	10/01-12/31 COPIES			\$91.37
Invoice	5055500984	1/9/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$294.75
Refer	4644	RUEKERT & MIELKE, INC.	-			
AP Payment	E 100-5335-5219	Professional Services	GENL ENG SERV			\$5,330.68
Invoice	126072	12/31/2018				
AP Payment	E 610-6920-6923	Outside Services Employ	WATER UTIL SERV			\$1,961.75
Invoice	126071	12/31/2018				
AP Payment	G 100-211400	Billable Disbursements	MIDWEST STORAE DEV			\$2,301.58
Invoice	126073	12/31/2018				
AP Payment	G 100-211425	Developer Escrow	EDGEWOOD APT DEV REV			\$101.86
Invoice	126074	12/31/2018		Project D00020		
AP Payment	E 480-5700-5850	Multi-Use Trail	HOLZ PKWY MULTI TRAIL			\$859.06
Invoice	126075	12/31/2018		Project MUT001		



# VILLAGE OF MUKWONAGO

01/10/19 4:56 PM

Page 5

## Payments

Current Period: December 2018

AP Payment	E 480-5700-5864 Boat Launch	BOAT LAUNCH IMPROVEMENTS	\$587.50
Invoice 126076	12/31/2018		
AP Payment	G 100-211400 Billable Disbursements	MASD HS EXPAN	\$276.00
Invoice 126077	12/31/2018		
AP Payment	E 100-5660-5219 Professional Services	GIS ANNUAL SERV	\$2,249.10
Invoice 126078	12/31/2018		
AP Payment	G 100-211400 Billable Disbursements	IDC ADDITION	\$1,668.15
Invoice 126079	12/31/2018		
AP Payment	E 250-5335-5219 Professional Services	SUGDEN CONCEPT DESIGN	\$26,780.10
Invoice 126080	12/31/2018		
AP Payment	E 250-5335-5219 Professional Services	SUGDEN CONCEPT PH 2	\$5,101.02
Invoice 126082	12/31/2018		
AP Payment	E 250-5335-5219 Professional Services	SUGDEN CONCEPT BOOSTER STA	\$4,600.00
Invoice 126081	12/31/2018		
AP Payment	G 100-211400 Billable Disbursements	CHAPMAN FARM/ANDERSON REVIEW	\$714.00
Invoice 126083	12/31/2018	Project EDC006	
AP Payment	G 100-211400 Billable Disbursements	CHAPMAN FARM/AURORA	\$190.96
Invoice 126084	12/31/2018	Project EDC006	
AP Payment	G 100-211400 Billable Disbursements	CHAPMAN FARM/KIDS CONN	\$466.96
Invoice 126085	12/31/2018	Project EDC006	
AP Payment	E 100-5335-5219 Professional Services	VERNON BOUNDARY AGREE	\$481.44
Invoice 126086	12/31/2018		
AP Payment	G 620-000110 WWTF Septage Receiving	WWTF SEPTAGE ETC CONSTRUCT	\$11,073.14
Invoice 126087	12/31/2018		
AP Payment	G 610-000109 Well Rehab/Generator Proj	WELL 5 IRON FILTER DESIGN	\$16,439.00
Invoice 126088	12/31/2018		
AP Payment	E 610-6920-6923 Outside Services Employ	I43 TOWER PAINTING	\$110.00
Invoice 126089	12/31/2018		
AP Payment	E 220-5335-5219 Professional Services	DEBACK PROP WETLAND	\$935.00
Invoice 126091	12/31/2018	Project D00002	
AP Payment	E 220-5335-5219 Professional Services	DEBACK PROP INFRA DESIGN	\$6,146.65
Invoice 126090	12/31/2018	Project D00002	
AP Payment	E 100-5335-5219 Professional Services	MAPLE CENTRE DEV VILLAGE COST	\$132.00
Invoice 126092	12/31/2018		
AP Payment	E 620-8400-8520 Outside Services Employ	WWTF PHOS PLAN ASSIST	\$56.00
Invoice 126093	12/31/2018		
AP Payment	E 610-6920-6923 Outside Services Employ	WELL 4 REHAB CONSTR REVIEW	\$264.00
Invoice 126094	12/31/2018		
AP Payment	G 100-211425 Developer Escrow	TRIPLE CROWN DEV REVIEW	\$1,354.94
Invoice 126095	12/31/2018	Project TID502	
AP Payment	G 100-211400 Billable Disbursements	MUK ANIMAL HOSP EROS CONTROL	\$23.00
Invoice 126096	12/31/2018		
AP Payment	G 100-211425 Developer Escrow	SUPER PRODUCTS DEV REVIEW	\$818.50
Invoice 126097	12/31/2018	Project TID504	
AP Payment	G 100-211400 Billable Disbursements	KAYS DANCE CTR	\$811.44
Invoice 126098	12/31/2018		
AP Payment	E 610-6920-6923 Outside Services Employ	2018 SCADA SERV	\$2,911.66
Invoice 126099	12/31/2018		
AP Payment	E 620-8400-8520 Outside Services Employ	2018 SCADA SERV	\$2,911.67
Invoice 126099	12/31/2018		



# VILLAGE OF MUKWONAGO

01/10/19 4:56 PM

Page 6

## Payments

Current Period: December 2018

AP Payment	G 100-211425 Developer Escrow	FAIRWINDS APT DEV REVIEW	\$1,201.50
Invoice 126100	12/31/2018	Project D00014	
AP Payment	G 100-211425 Developer Escrow	FAIRWINDS APT PHASE 5	\$5,429.77
Invoice 126101	12/31/2018	Project D00007	
AP Payment	G 100-211425 Developer Escrow	MINOR ESTATES ADD 4 DEV REVIEW	\$132.00
Invoice 126102	12/31/2018	Project D00010	
AP Payment	G 100-211400 Billable Disbursements	CHAPMAN FARM RES SUBDIVI DEV REVIEW	\$3,277.25
Invoice 126103	12/31/2018		
AP Payment	E 200-5632-5219 Professional Services	CHAPMAN FARM/SPEC ASSESS	\$2,305.50
Invoice 126105	12/31/2018	Project EDC006	
AP Payment	E 200-5335-5219 Professional Services	CHAPMAN FARM BLVD CONSTR SERV	\$1,972.01
Invoice 126104	12/31/2018	Project EDC006	
AP Payment	G 610-000108 CIP-Utility Mains Projects	CHAPMAN FARM BLVD CONSTR SERV	\$299.54
Invoice 126104	12/31/2018	Project EDC006	
AP Payment	G 610-000108 CIP-Utility Mains Projects	CHAPMAN FARM BLVD CONSTR SERV	\$224.66
Invoice 126104	12/31/2018	Project EDC006	
AP Payment	G 100-211400 Billable Disbursements	PROHEALTH EXP PREDEV MTG	\$349.44
Invoice 126106	12/31/2018		
Transaction Date	1/10/2019	Due 1/10/2019	
Accounts Payable	211000	Total	\$112,848.83
Refer	4645 SHI INTERNATIONAL CORP	-	
AP Payment	E 100-5120-5225 Telephone	GFI ARCHIVER LIC	\$9.21
Invoice B09153466	11/21/2018		
AP Payment	E 100-5141-5225 Telephone	GFI ARCHIVER LIC	\$55.51
Invoice B09153466	11/21/2018		
AP Payment	E 100-5142-5225 Telephone	GFI ARCHIVER LIC	\$93.83
Invoice B09153466	11/21/2018		
AP Payment	E 100-5211-5225 Telephone	GFI ARCHIVER LIC	\$240.47
Invoice B09153466	11/21/2018		
AP Payment	E 100-5241-5225 Telephone	GFI ARCHIVER LIC	\$27.76
Invoice B09153466	11/21/2018		
AP Payment	E 100-5323-5225 Telephone	GFI ARCHIVER LIC	\$55.51
Invoice B09153466	11/21/2018		
AP Payment	E 100-5632-5219 Professional Services	GFI ARCHIVER LIC	\$9.21
Invoice B09153466	11/21/2018		
AP Payment	E 150-5221-5225 Telephone	GFI ARCHIVER LIC	\$573.41
Invoice B09153466	11/21/2018		
AP Payment	E 220-5140-5225 Telephone	GFI ARCHIVER LIC	\$5.69
Invoice B09153466	11/21/2018		
AP Payment	E 410-5140-5225 Telephone	GFI ARCHIVER LIC	\$5.69
Invoice B09153466	11/21/2018		
AP Payment	E 500-5140-5225 Telephone	GFI ARCHIVER LIC	\$5.69
Invoice B09153466	11/21/2018		
AP Payment	E 610-6920-6921 Office Supplies & Expen	GFI ARCHIVER LIC	\$27.76
Invoice B09153466	11/21/2018		
AP Payment	E 620-8400-8510 Office Supplies & Expen	GFI ARCHIVER LIC	\$27.76
Invoice B09153466	11/21/2018		
AP Payment	E 100-5142-5219 Professional Services	SERVER FIREWALL	\$81.25
Invoice B09242341	12/12/2018		
AP Payment	E 150-5221-5219 Professional Services	SERVER FIREWALL	\$81.25
Invoice B09242341	12/12/2018		



# VILLAGE OF MUKWONAGO

01/10/19 4:56 PM

Page 7

## Payments

Current Period: December 2018

AP Payment	E 610-6920-6923 Outside Services Employ	SERVER FIREWALL				\$81.25
Invoice	B09242341	12/12/2018				
AP Payment	E 620-8400-8560 Misc General Expense	SERVER FIREWALL				\$81.25
Invoice	B09242341	12/12/2018				
AP Payment	E 620-8010-8270 Operation Supply/Expen	WALL MT CABINET				\$312.75
Invoice	B09260068	12/17/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$1,775.25
Refer	4646	SOMAR ENTERPRISES	-			
AP Payment	E 100-5212-5347 New Uniform Issue	POLICE BADGE				\$72.80
Invoice	101280	12/28/2018				
AP Payment	E 100-5212-5347 New Uniform Issue	NAMETAG				\$13.80
Invoice	101281	12/28/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$86.60
Refer	4647	TREASURER STATE OF WI	-			
AP Payment	G 100-242400 Court Fees due to State	DEC 18 STATE JAIL FINES				\$3,913.28
Invoice	DEC18	1/9/2019				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$3,913.28
Refer	4648	TREASURER WAUKESHA COUNTY	-			
AP Payment	G 100-243240 Waukesha County Court Fe	DEC 18 WAUK CTY JAIL FINES				\$1,140.00
Invoice	DEC18	1/9/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$1,140.00
Refer	4649	U.S. CELLULAR	-			
AP Payment	E 100-5211-5225 Telephone	CELL PH				\$457.10
Invoice	0287067688	12/28/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$457.10
Refer	4650	UNEMPLOYMENT INSURANCE	-			
AP Payment	E 610-6920-5110 Salaries & Wages	ZAREMBA, IVAN				\$1,110.00
Invoice	9334532	12/31/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$1,110.00
Refer	4658	VELOCITY	-			
AP Payment	E 100-5211-5219 Professional Services	IT SERVICE				\$805.00
Invoice	2019004	1/9/2019				
AP Payment	E 100-5212-5219 Professional Services	IT SERVICE				\$280.00
Invoice	2019004	1/9/2019				
AP Payment	E 100-5213-5219 Professional Services	IT SERVICE				\$140.00
Invoice	2019004	1/9/2019				
AP Payment	E 100-5235-5311 Supplies	IT SERVICE				\$70.00
Invoice	2019004	1/9/2019				
AP Payment	E 150-5221-5219 Professional Services	IT SERVICE				\$1,120.00
Invoice	2019005	1/9/2019				
AP Payment	E 100-5142-5219 Professional Services	IT SERVICE				\$105.00
Invoice	2019006	1/9/2019				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$2,520.00
Refer	4659	VILLAGE OF MUKWONAGO	-			
AP Payment	E 610-6920-6408 Taxes - Village	DEC2018 WATER UTIL TAX				\$30,000.00
Invoice	DEC18	1/9/2019				



# VILLAGE OF MUKWONAGO

01/10/19 4:56 PM

Page 8

## Payments

Current Period: December 2018

Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$30,000.00
Refer	4660	VILLAGE OF MUKWONAGO	-			
AP Payment	E 440-5511-5221	Water-Sewer	WATER LIBRARY			\$964.10
Invoice 3RDQTR	1/9/2019					
AP Payment	E 100-5512-5221	Water-Sewer	WATER MUSEUM			\$101.76
Invoice 3RDQTR	1/9/2019					
AP Payment	E 100-5521-5221	Water-Sewer	WATER FIELD PK			\$184.16
Invoice 3RDQTR	1/9/2019					
AP Payment	E 610-6300-6632	Operation Supply/Exp-Tr	WATER WELL 5			\$174.10
Invoice 3RDQTR	1/9/2019					
AP Payment	E 100-5323-5221	Water-Sewer	WATER DPW			\$787.08
Invoice 3RDQTR	1/9/2019					
AP Payment	E 100-5211-5221	Water-Sewer	WATER POLICE			\$523.64
Invoice 3RDQTR	1/9/2019					
AP Payment	E 100-5521-5221	Water-Sewer	WATER PHANTOM GLEN			\$101.76
Invoice 3RDQTR	1/9/2019					
AP Payment	E 620-8010-8270	Operation Supply/Expen	WATER WWTP			\$8,009.10
Invoice 3RDQTR	1/9/2019					
AP Payment	E 100-5521-5221	Water-Sewer	WATER INDIANHEAD			\$194.22
Invoice 3RDQTR	1/9/2019					
AP Payment	E 610-6300-6632	Operation Supply/Exp-Tr	WATER WELL 4			\$101.76
Invoice 3RDQTR	1/9/2019					
AP Payment	E 100-5521-5221	Water-Sewer	WATER MINIWAUKEN			\$101.76
Invoice 3RDQTR	1/9/2019					
AP Payment	E 100-5160-5221	Water-Sewer	WATER HALL			\$553.82
Invoice 3RDQTR	1/9/2019					
AP Payment	E 610-6300-6632	Operation Supply/Exp-Tr	WATER WELL 6			\$174.10
Invoice 3RDQTR	1/9/2019					
AP Payment	E 150-5221-5221	Water-Sewer	WATER FIRE			\$674.54
Invoice 3RDQTR	1/9/2019					
AP Payment	E 610-6300-6632	Operation Supply/Exp-Tr	WATER WELL 7			\$174.10
Invoice 3RDQTR	1/9/2019					
AP Payment	E 100-5521-5221	Water-Sewer	WATER FIELD PARK			\$373.46
Invoice 3RDQTR	1/9/2019					
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$13,193.46
Refer	4661	WALWORTH COUNTY	-			
AP Payment	G 100-243250	Walworth County Court Fee	DEC 2018 JAIL FINES			\$30.00
Invoice DEC18	1/9/2019					
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$30.00
Refer	4662	WI DEPT OF JUSTICE CIB	-			
AP Payment	E 150-5221-5219	Professional Services	DEC 2018 G3385			\$21.00
Invoice DEC18	12/31/2018					
AP Payment	G 100-242205	WI DOJ - Background Chec	DEC 2018 L6812T			\$63.00
Invoice DEC18	12/31/2018					
AP Payment	E 100-5211-5219	Professional Services	DEC 2018 L6812T			\$42.00
Invoice DEC18	12/31/2018					
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$126.00
Refer	4663	W C T C FIRING RANGE	-			



# VILLAGE OF MUKWONAGO

01/10/19 4:56 PM

Page 9

## Payments

Current Period: December 2018

AP Payment	E 100-5215-5335 Training & Travel	RANGE RENTAL 12/11/18				\$90.00
Invoice	12112018	12/27/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$90.00
Refer	4664	WISCONSIN IMAGING	-			
AP Payment	E 100-5211-5219 Professional Services	COPIES				\$72.87
Invoice	30604	12/21/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$72.87
Refer	4665	ZARNOTH BRUSH WORKS	-			
AP Payment	E 100-5345-5395 Repairs & Maintenance	BROOM				\$1,244.00
Invoice	0173204	12/26/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$1,244.00
Refer	4666	AIRGAS NORTH CENTRAL	-			
AP Payment	E 150-5231-5311 Supplies	OXYGEN				\$264.74
Invoice	9958555755	12/31/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$264.74
Refer	4667	DIGGERS HOTLINE	-			
AP Payment	E 100-5344-5219 Professional Services	DEC 2018 TICKETS				\$25.87
Invoice	181238301	12/31/2018				
AP Payment	E 610-6920-6923 Outside Services Employ	DEC 2018 TICKETS				\$25.87
Invoice	181238301	12/31/2018				
AP Payment	E 620-8030-5310 Outside Services	DEC 2018 TICKETS				\$25.87
Invoice	181238301	12/31/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$77.61
Refer	4668	HAWKINS WATER TREATMENT	-			
AP Payment	E 620-8010-8330 Maint-Treatment/Dispos	FIXPRO PUMP				\$8,708.00
Invoice	4417702	12/20/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$8,708.00
Refer	4669	KBS OUTDOOR EQUIPMENT	-			
AP Payment	E 620-8010-8213 Emergency Generator-F	MONTHLY SERV STANDBY GENERATOR				\$50.00
Invoice	4263	12/28/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$50.00
Refer	4670	LARK UNIFORM, INC	-			
AP Payment	E 150-5880-5806 Donated Fund Expenditu	GOLD STRETCH BAND				\$8.95
Invoice	280495	12/12/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$8.95
Refer	4671	LITTLE LIMESTONE INC	-			
AP Payment	E 100-5521-5311 Supplies	BASEBALL MIX				\$937.66
Invoice	10226	12/31/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$937.66
Refer	4672	PROHEALTH CARE LAB BILLING	-			
AP Payment	E 100-5212-5219 Professional Services	LASOTA/MARCELL				\$70.00
Invoice	201812-0	12/31/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$70.00
Refer	4673	PUBLIC SERVICE COMMISSION	-			



# VILLAGE OF MUKWONAGO

01/10/19 4:56 PM

Page 10

## Payments

Current Period: December 2018

AP Payment	E 610-6920-6928 Regulatory Commission	11/01/18-11/30/2018				\$604.74
Invoice	1811-I-03980	1/4/2019				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$604.74
Refer	4674 SHRED-IT USA					
AP Payment	E 100-5142-5219 Professional Services	SERV 11/20/18 & 12/11/18				\$1,475.20
Invoice	8126226821	12/15/2018				
Transaction Date	1/10/2019	Due 1/10/2019	Accounts Payable	211000	Total	\$1,475.20

### Fund Summary

	211000 Accounts Payable
100 GENERAL FUND	\$59,310.49
150 FIRE/AMBULANCE FUND	\$6,489.82
200 COMMUNITY DEVELOPMENT FUND	\$4,277.51
220 TID#3 - GENERAL	\$7,096.91
250 TID #5	\$36,481.12
410 RECYCLING FUND	\$35,162.29
430 CAPITAL EQUIPMENT FUND	\$17,975.00
440 LIBRARY FUND	\$1,495.10
480 CAPITAL IMPROVEMENT FUND	\$29,645.11
500 STORM WATER UTILITY	\$15.26
610 WATER UTILITY FUND	\$55,745.43
620 SEWER UTILITY FUND	\$233,069.73
	\$486,763.77

Pre-Written Checks	\$0.00
Checks to be Generated by the Computer	\$486,763.77
Total	\$486,763.77



# VILLAGE OF MUKWONAGO

01/10/19 8:26 AM

Page 1

## Payments

Current Period: January 2019

Batch Name	TAXOP 1	User Dollar Amt	\$33,086.61		
	Payments	Computer Dollar Amt	\$33,086.61		
			\$0.00	In Balance	
Refer	4437 MADDEN PATRICIA	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				\$57.16
Invoice	2012168001 12/14/2018				
Transaction Date	1/2/2019	Citizens	111000	Total	\$57.16
Refer	4438 RICKERT SYDNEY OR JENNIFER	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				\$55.52
Invoice	2012053 12/14/2018				
Transaction Date	1/2/2019	Citizens	111000	Total	\$55.52
Refer	4463 KASIAN, MEGAN	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				\$122.87
Invoice	1973243				
Transaction Date	1/2/2019	Citizens	111000	Total	\$122.87
Refer	4465 HENRICHS KEVIN	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				\$145.71
Invoice	1971090				
Transaction Date	1/2/2019	Citizens	111000	Total	\$145.71
Refer	4466 ENRIGHT, MARGARET	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				\$119.41
Invoice	1973168				
Transaction Date	1/2/2019	Citizens	111000	Total	\$119.41
Refer	4468 ALLEN DAVID M	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				\$151.53
Invoice	1975-942				
Transaction Date	1/2/2019	Citizens	111000	Total	\$151.53
Refer	4469 FETZER, JR. HARRY	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				\$220.20
Invoice	2012266				
Transaction Date	1/2/2019	Citizens	111000	Total	\$220.20
Refer	4471 DOROW PATRICIA H	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				\$272.58
Invoice	2010978033				
Transaction Date	1/2/2019	Citizens	111000	Total	\$272.58
Refer	4474 WHITTY SUZANNE	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				\$92.00
Invoice	1965-016				
Transaction Date	1/2/2019	Citizens	111000	Total	\$92.00
Refer	4475 KAESTNER CHRIS	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				\$273.32
Invoice	1974037				
Transaction Date	1/2/2019	Citizens	111000	Total	\$273.32
Refer	4479 DECKER ROBERT OR VIRGINIA	-			



# VILLAGE OF MUKWONAGO

01/10/19 8:26 AM

Page 2

## Payments

Current Period: January 2019

<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$158.20</b>
Invoice 1974087001					
Transaction Date	1/2/2019	Citizens	111000	<b>Total</b>	<b>\$158.20</b>
Refer	4480 BYKOWSKI MICHAEL	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$109.61</b>
Invoice 2012238					
Transaction Date	1/2/2019	Citizens	111000	<b>Total</b>	<b>\$109.61</b>
Refer	4481 GENSKE RANDAL	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$256.44</b>
Invoice 1976206					
Transaction Date	1/2/2019	Citizens	111000	<b>Total</b>	<b>\$256.44</b>
Refer	4482 STEGALL STEPHANIE	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$113.53</b>
Invoice 1970031					
Transaction Date	1/2/2019	Citizens	111000	<b>Total</b>	<b>\$113.53</b>
Refer	4483 JENTZSCH-BARRETTE PROPERTI	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$875.69</b>
Invoice 2009978003					
Transaction Date	1/2/2019	Citizens	111000	<b>Total</b>	<b>\$875.69</b>
Refer	4484 KUMMER, GARY R	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$193.78</b>
Invoice 1976154					
Transaction Date	1/2/2019	Citizens	111000	<b>Total</b>	<b>\$193.78</b>
Refer	4485 MELCAREK JIM	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$166.84</b>
Invoice 1968021					
Transaction Date	1/2/2019	Citizens	111000	<b>Total</b>	<b>\$166.84</b>
Refer	4486 KEMPF CHARLES	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$235.44</b>
Invoice 2010978-021					
Transaction Date	1/2/2019	Citizens	111000	<b>Total</b>	<b>\$235.44</b>
Refer	4504 615 S ROCHESTER LLC	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$54.62</b>
Invoice 1976184					
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$54.62</b>
Refer	4506 PAULSON SARA	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$555.72</b>
Invoice 1977054					
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$555.72</b>
Refer	4507 MACHMUELLER	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$113.62</b>
Invoice 1970007					
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$113.62</b>
Refer	4508 MILLER BRYAN & SARA	-			



# VILLAGE OF MUKWONAGO

01/10/19 8:26 AM

Page 3

## Payments

Current Period: January 2019

<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$158.52</b>
Invoice	1969120				
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$158.52</b>
Refer	4509 BROCKER JEAN	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$155.58</b>
Invoice	1976040				
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$155.58</b>
Refer	4510 CHRISTENSON GLORIA	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$434.16</b>
Invoice	1974054004				
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$434.16</b>
Refer	4511 CHRISTIANSEN KIM	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$106.95</b>
Invoice	1964987014				
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$106.95</b>
Refer	4512 RUDOLPH BARBARA	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$229.36</b>
Invoice	1974909004				
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$229.36</b>
Refer	4513 LINZMEIER BRENDA	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$57.81</b>
Invoice	2012174				
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$57.81</b>
Refer	4514 TAUER ROBERT	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$601.77</b>
Invoice	1967029				
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$601.77</b>
Refer	4516 ZIMINSKI JASSON	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$1,073.52</b>
Invoice	1977030				
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$1,073.52</b>
Refer	4517 KULIS, JOEL	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$93.56</b>
Invoice	1977045				
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$93.56</b>
Refer	4522 QUINDT DENNIS J	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$121.22</b>
Invoice	2012030				
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$121.22</b>
Refer	4523 DICRISTO JAMES	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$259.11</b>
Invoice	2010978056				
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$259.11</b>
Refer	4524 JEWELL THOMAS	-			



# VILLAGE OF MUKWONAGO

01/10/19 8:26 AM

Page 4

## Payments

Current Period: January 2019

<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$106.04</b>
Invoice 2010978015					
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$106.04</b>
Refer	4525 KEYES FREDRICK	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$702.56</b>
Invoice 1974092					
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$702.56</b>
Refer	4526 BUNETA	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$1,853.74</b>
Invoice 1973022-1					
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$1,853.74</b>
Refer	4527 SPARKS AARON	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$63.38</b>
Invoice 1974917-1					
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$63.38</b>
Refer	4528 WAVRA ROBERT	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$81.28</b>
Invoice 1965017					
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$81.28</b>
Refer	4529 WAGNER JAMES	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$446.74</b>
Invoice 1973017-1					
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$446.74</b>
Refer	4530 DELEON DEBORAH	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$110.36</b>
Invoice 1965006					
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$110.36</b>
Refer	4531 WRIGHT LARRY	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$129.30</b>
Invoice 2012252					
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$129.30</b>
Refer	4532 BINIOK JANICE	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$71.76</b>
Invoice 1976003					
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$71.76</b>
Refer	4533 HOPPE SHANNON	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$168.22</b>
Invoice 1976155					
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$168.22</b>
Refer	4534 GONZALEZ, JOSE	-			
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND				<b>\$120.21</b>
Invoice 20121100					
Transaction Date	1/3/2019	Citizens	111000	<b>Total</b>	<b>\$120.21</b>
Refer	4535 PREGOWSKI/JINEEN	-			



# VILLAGE OF MUKWONAGO

01/10/19 8:26 AM

Page 5

## Payments

Current Period: January 2019

Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$2,234.21
Invoice	1973033				
Transaction Date	1/3/2019	Citizens	111000	Total	\$2,234.21
Refer	4536	SCHNEIDER ZACHARY OR BRITTA	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$125.65
Invoice	1974093				
Transaction Date	1/3/2019	Citizens	111000	Total	\$125.65
Refer	4537	MARTIN BRUCE	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$146.00
Invoice	1973229				
Transaction Date	1/3/2019	Citizens	111000	Total	\$146.00
Refer	4538	SMIECINSKI MICHAEL	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$115.90
Invoice	1971073				
Transaction Date	1/4/2019	Citizens	111000	Total	\$115.90
Refer	4539	GAINER DONNA	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$50.95
Invoice	1973059				
Transaction Date	1/4/2019	Citizens	111000	Total	\$50.95
Refer	4540	GAINER DONNA	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$65.53
Invoice	1973060				
Transaction Date	1/4/2019	Citizens	111000	Total	\$65.53
Refer	4541	FERGUSON SCOTT & PENCI	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$226.48
Invoice	2012998002				
Transaction Date	1/4/2019	Citizens	111000	Total	\$226.48
Refer	4542	LAWIEN JAMES	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$534.41
Invoice	1963999047				
Transaction Date	1/4/2019	Citizens	111000	Total	\$534.41
Refer	4543	MEISSEN RYAN OR KARA	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$112.65
Invoice	1968017				
Transaction Date	1/4/2019	Citizens	111000	Total	\$112.65
Refer	4544	BARTACZEWICZ JACQUELINE	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$82.59
Invoice	2091028				
Transaction Date	1/4/2019	Citizens	111000	Total	\$82.59
Refer	4545	PETERSON DENISE OR CHRISTIA	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$245.70
Invoice	1963999030				
Transaction Date	1/4/2019	Citizens	111000	Total	\$245.70
Refer	4546	WASCHOW CHRISTOPHER & HOL	-		



# VILLAGE OF MUKWONAGO

01/10/19 8:26 AM

Page 6

## Payments

Current Period: January 2019

Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$208.68
Invoice	1973034				
Transaction Date	1/4/2019	Citizens	111000	Total	\$208.68
Refer	4547 JUDKINS BRUCE DEBORAH	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$358.25
Invoice	1964987033				
Transaction Date	1/4/2019	Citizens	111000	Total	\$358.25
Refer	4548 FORKER GARRETT	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$62.84
Invoice	2012002				
Transaction Date	1/4/2019	Citizens	111000	Total	\$62.84
Refer	4549 LOCHMANN JACKIE	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$64.70
Invoice	1973053				
Transaction Date	1/4/2019	Citizens	111000	Total	\$64.70
Refer	4550 MARTIN COLLIN OR JESSICA	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$126.67
Invoice	2012256				
Transaction Date	1/4/2019	Citizens	111000	Total	\$126.67
Refer	4551 DENK, JEANNE	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$422.65
Invoice	2010-978067				
Transaction Date	1/4/2019	Citizens	111000	Total	\$422.65
Refer	4552 KOSHERE STEVEN	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$51.30
Invoice	2091-033				
Transaction Date	1/4/2019	Citizens	111000	Total	\$51.30
Refer	4553 GRILLI CHRISTINE	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$265.54
Invoice	1963999018				
Transaction Date	1/4/2019	Citizens	111000	Total	\$265.54
Refer	4554 MAYNARD JAMES	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$221.88
Invoice	1973149				
Transaction Date	1/4/2019	Citizens	111000	Total	\$221.88
Refer	4555 SIGLIN-ROCHA JACQUELINE	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$259.06
Invoice	1976197				
Transaction Date	1/4/2019	Citizens	111000	Total	\$259.06
Refer	4556 BROWN CHRIS & JULIE	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$445.66
Invoice	1976-991				
Transaction Date	1/4/2019	Citizens	111000	Total	\$445.66
Refer	4557 CHAPMAN SCOTT	-			



# VILLAGE OF MUKWONAGO

01/10/19 8:26 AM

Page 7

## Payments

Current Period: January 2019

Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$218.65
Invoice	1973-223				
Transaction Date	1/4/2019	Citizens	111000	Total	\$218.65
Refer	4558	ORTWEIN ROBERT OR SHIRLEY	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$319.71
Invoice	1976-984010				
Transaction Date	1/4/2019	Citizens	111000	Total	\$319.71
Refer	4559	MUELLER GREGORY	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$131.05
Invoice	2012246				
Transaction Date	1/4/2019	Citizens	111000	Total	\$131.05
Refer	4560	NICOSON STEVEN & ANITA	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$83.56
Invoice	1965034				
Transaction Date	1/4/2019	Citizens	111000	Total	\$83.56
Refer	4561	RUDOLPH JEFFERY & SHELLY	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$409.52
Invoice	1974979001				
Transaction Date	1/4/2019	Citizens	111000	Total	\$409.52
Refer	4562	LAMARCHE SARAH K	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$192.56
Invoice	1976011				
Transaction Date	1/4/2019	Citizens	111000	Total	\$192.56
Refer	4563	SERGIO MICHAEL	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$80.81
Invoice	1973012				
Transaction Date	1/4/2019	Citizens	111000	Total	\$80.81
Refer	4564	TOMPKINS TRACY	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$255.21
Invoice	1974-951				
Transaction Date	1/4/2019	Citizens	111000	Total	\$255.21
Refer	4565	WALLACE JOHN	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$197.12
Invoice	1976984024				
Transaction Date	1/4/2019	Citizens	111000	Total	\$197.12
Refer	4566	PETTED SHAYNE	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$63.17
Invoice	1975959				
Transaction Date	1/4/2019	Citizens	111000	Total	\$63.17
Refer	4567	BILKE SCOTT OR RUTH	-		
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$259.55
Invoice	1970033				
Transaction Date	1/4/2019	Citizens	111000	Total	\$259.55
Refer	4568	KURANDA CARRIE	-		



# VILLAGE OF MUKWONAGO

01/10/19 8:26 AM

Page 8

## Payments

Current Period: January 2019

Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$189.21
Invoice	1967057				
Transaction Date	1/4/2019	Citizens	111000	Total	\$189.21
Refer	4569 RANGE FREDRICK	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$167.93
Invoice	1976956				
Transaction Date	1/4/2019	Citizens	111000	Total	\$167.93
Refer	4570 HOHENFELDT DOUGLAS	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$329.97
Invoice	1973080				
Transaction Date	1/4/2019	Citizens	111000	Total	\$329.97
Refer	4571 ZUEHLKE JEAN	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$355.80
Invoice	1974927				
Transaction Date	1/4/2019	Citizens	111000	Total	\$355.80
Refer	4572 MEININGER MICHAEL	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$50.78
Invoice	1974958				
Transaction Date	1/4/2019	Citizens	111000	Total	\$50.78
Refer	4573 MOVRICH MARKUS OR KAYLA	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$230.71
Invoice	1960007				
Transaction Date	1/4/2019	Citizens	111000	Total	\$230.71
Refer	4574 ESSMAN JAMES	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$481.48
Invoice	1974-108001				
Transaction Date	1/4/2019	Citizens	111000	Total	\$481.48
Refer	4575 GRAF ERIC	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$99.72
Invoice	1974063				
Transaction Date	1/4/2019	Citizens	111000	Total	\$99.72
Refer	4576 DORCEY MICHAEL	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$76.15
Invoice	1965028				
Transaction Date	1/4/2019	Citizens	111000	Total	\$76.15
Refer	4577 ZIMMER ROBERT OR KATHERINE	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$60.87
Invoice	1973127				
Transaction Date	1/4/2019	Citizens	111000	Total	\$60.87
Refer	4578 DUMS BETH	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$253.74
Invoice	1976-141				
Transaction Date	1/4/2019	Citizens	111000	Total	\$253.74
Refer	4579 KENNEDY KAELYN	-			



# VILLAGE OF MUKWONAGO

01/10/19 8:26 AM

Page 9

## Payments

Current Period: January 2019

<b>Cash Payment</b> G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND					\$228.49
Invoice 2010978012					
Transaction Date	1/4/2019	Citizens	111000	<b>Total</b>	\$228.49
Refer	4580 TACZALA RICHARD	-			
<b>Cash Payment</b> G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND					\$93.96
Invoice 1974070					
Transaction Date	1/4/2019	Citizens	111000	<b>Total</b>	\$93.96
Refer	4581 WILLIAMS GREGORY II	-			
<b>Cash Payment</b> G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND					\$314.83
Invoice 2091071					
Transaction Date	1/4/2019	Citizens	111000	<b>Total</b>	\$314.83
Refer	4582 WITTE RICHARD	-			
<b>Cash Payment</b> G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND					\$151.84
Invoice 1974-988					
Transaction Date	1/4/2019	Citizens	111000	<b>Total</b>	\$151.84
Refer	4583 KROLL TIMOTHY	-			
<b>Cash Payment</b> G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND					\$190.45
Invoice 2091073					
Transaction Date	1/4/2019	Citizens	111000	<b>Total</b>	\$190.45
Refer	4584 SCHNELL MICHAEL	-			
<b>Cash Payment</b> G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND					\$250.49
Invoice 1964987023					
Transaction Date	1/4/2019	Citizens	111000	<b>Total</b>	\$250.49
Refer	4585 LEWIS BRIAN	-			
<b>Cash Payment</b> G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND					\$23.93
Invoice 1973-054					
Transaction Date	1/4/2019	Citizens	111000	<b>Total</b>	\$23.93
Refer	4586 KOEHLER MARY	-			
<b>Cash Payment</b> G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND					\$251.51
Invoice 1963999045					
Transaction Date	1/4/2019	Citizens	111000	<b>Total</b>	\$251.51
Refer	4587 SMITH JOEL	-			
<b>Cash Payment</b> G 720-121100 Overpayment/Refund of Tax TX OP/REFUND					\$200.12
Invoice 1973978					
Transaction Date	1/4/2019	Citizens	111000	<b>Total</b>	\$200.12
Refer	4588 BAUER DANIEL	-			
<b>Cash Payment</b> G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND					\$72.82
Invoice 1977106					
Transaction Date	1/4/2019	Citizens	111000	<b>Total</b>	\$72.82
Refer	4589 MEILLIER	-			
<b>Cash Payment</b> G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND					\$209.64
Invoice 1976173					
Transaction Date	1/4/2019	Citizens	111000	<b>Total</b>	\$209.64
Refer	4590 SHERMAN DEBRA	-			



# VILLAGE OF MUKWONAGO

01/10/19 8:26 AM

Page 10

## Payments

Current Period: January 2019

Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$294.30
Invoice	1976939				
Transaction Date	1/4/2019	Citizens	111000	Total	\$294.30
Refer	4591 LAKE COUNTRY PARTNERSHIP	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$890.28
Invoice	2009974				
Transaction Date	1/4/2019	Citizens	111000	Total	\$890.28
Refer	4592 BARBER JEAN	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$330.11
Invoice	1976984				
Transaction Date	1/4/2019	Citizens	111000	Total	\$330.11
Refer	4593 WATTS HOLLY	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$1,492.66
Invoice	1976048				
Transaction Date	1/4/2019	Citizens	111000	Total	\$1,492.66
Refer	4594 CERNI MELISSA	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$194.10
Invoice	2012254				
Transaction Date	1/8/2019	Citizens	111000	Total	\$194.10
Refer	4595 ERICKSEN ALISON	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$157.59
Invoice	1973242				
Transaction Date	1/8/2019	Citizens	111000	Total	\$157.59
Refer	4596 PAUTZ ROBERT & ELIZA	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$170.86
Invoice	1973-199				
Transaction Date	1/8/2019	Citizens	111000	Total	\$170.86
Refer	4597 ELLISON MARK & PAT	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$111.51
Invoice	1965-087				
Transaction Date	1/8/2019	Citizens	111000	Total	\$111.51
Refer	4598 KRECKLOW DANIEL & MARY	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$155.82
Invoice	1974039				
Transaction Date	1/8/2019	Citizens	111000	Total	\$155.82
Refer	4599 SCHROEDER MARCUS OR BONNI	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$435.49
Invoice	1973133				
Transaction Date	1/8/2019	Citizens	111000	Total	\$435.49
Refer	4600 BLOCK HEIDI	-			
Cash Payment	G 720-121100 Overpayment/Refund of Tax	TAX OP/REFUND			\$94.86
Invoice	2012171001				
Transaction Date	1/8/2019	Citizens	111000	Total	\$94.86
Refer	4601 LAST JUSTEN	-			



# VILLAGE OF MUKWONAGO

01/10/19 8:26 AM

Page 11

## Payments

Current Period: January 2019

Cash Payment G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND \$128.11

Invoice 1973181

Transaction Date	1/8/2019	Citizens	111000	<b>Total</b>	<b>\$128.11</b>
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Refer 4602 STREAM MARY

Cash Payment G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND \$359.55

Invoice 2091043

Transaction Date	1/8/2019	Citizens	111000	<b>Total</b>	<b>\$359.55</b>
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Refer 4603 SMITH DENNIS F

Cash Payment G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND \$3,632.39

Invoice 1967011

Transaction Date	1/8/2019	Citizens	111000	<b>Total</b>	<b>\$3,632.39</b>
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Refer 4604 SCHREIBER NICHOLAS &/OR WEN

Cash Payment G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND \$92.17

Invoice OR1 00076

Transaction Date	1/9/2019	Citizens	111000	<b>Total</b>	<b>\$92.17</b>
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Refer 4606 TRAPP KEVIN & /OR NICOLE

Cash Payment G 720-121100 Overpayment/Refund of Tax TAX OP/REFUND \$135.22

Invoice 1978010

Transaction Date	1/9/2019	Citizens	111000	<b>Total</b>	<b>\$135.22</b>
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### Fund Summary

	111000 Citizens
720 TAX ESCROW AGENCY FUND	\$33,086.61
	<b>\$33,086.61</b>

Pre-Written Checks	\$0.00
Checks to be Generated by the Computer	\$33,086.61
<b>Total</b>	<b>\$33,086.61</b>



# Original Alcohol Beverage Retail License Application

*Submit to municipal clerk.*

For the license period beginning 12-10-18 2018  
ending \_\_\_\_\_ 2019

TO THE GOVERNING BODY of the: ☒ Town of ☐ Village of ☐ City of } Mukwonago

County of Waukesha Aldermanic Dist. No. ✓ (if required by ordinance)

1. The named ☒ Individual ☐ Partnership ☐ Limited Liability Company  
☐ Corporation / Nonprofit Organization

hereby makes application for the alcohol beverage license(s) checked above.

2. Name (individual/partners give last name, first, middle; corporations/limited liability companies give registered name): ►

An "Auxiliary Questionnaire," Form AT-103, must be completed and attached to this application by each individual applicant, by each member of a partnership, and by each officer, director and agent of a corporation or nonprofit organization, and by each member/manager and agent of a limited liability company. List the name, title, and place of residence of each person.

Title	Name (Last, First, M.I.)	Home Address	Post Office & Zip Code
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President/Member GUSTAVO Gutierrez

Vice President/Member

Secretary/Member \_\_\_\_\_

Treasurer/Member \_\_\_\_\_

Agent ▶ Gustavo Gutierrez

Directors/Managers

3. Trade Name ▶ Mukwanago Family Rest. Business Phone Number 762-378-3791
4. Address of Premises ▶ 1015 E Veterans Way Post Office & Zip Code ▶ 53149
5. Is individual, partners or agent of corporation/limited liability company subject to completion of the responsible beverage server training course for this license period? ☒ Yes ☐ No
6. Is the applicant an employee or agent of, or acting on behalf of anyone except the named applicant? ☒ Yes ☐ No
7. Does any other alcohol beverage retail licensee or wholesale permittee have any interest in or control of this business? ☐ Yes ☒ No
8. (a) **Corporate/limited liability company applicants only:** Insert state \_\_\_\_\_ and date \_\_\_\_\_ of registration.
- (b) Is applicant corporation/limited liability company a subsidiary of any other corporation or limited liability company? ☐ Yes ☐ No
- (c) Does the corporation, or any officer, director, stockholder or agent or limited liability company, or any member/manager or agent hold any interest in any other alcohol beverage license or permit in Wisconsin? ☐ Yes ☐ No
- (NOTE: All applicants explain fully on reverse side of this form every YES answer in sections 5, 6, 7 and 8 above.)
9. Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, consumption, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.) FAMILY STYLE RESTAURANT
10. Legal description (omit if street address is given above): \_\_\_\_\_
11. (a) Was this premises licensed for the sale of liquor or beer during the past license year? ☒ Yes ☐ No
- (b) If yes, under what name was license issued? LOURDES GONZALEZ (Agent)
12. Does the applicant understand they must register as a Retail Beverage Alcohol Dealer with the federal government, Alcohol and Tobacco Tax and Trade Bureau (TTB) by filing (TTB form 5630.5d) before beginning business? [phone 1-877-882-3277]. ☒ Yes ☐ No
13. Does the applicant understand they must hold a Wisconsin Seller's Permit?  
[phone (608) 266-2776]. ☒ Yes ☐ No
14. Does the applicant understand that they must purchase alcohol beverages only from Wisconsin wholesalers, breweries and brewpubs? ☒ Yes ☐ No

**READ CAREFULLY BEFORE SIGNING:** Under penalty provided by law, the applicant states that each of the above questions has been truthfully answered to the best of the knowledge of the signer. Any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000. Signer agrees to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another. (Individual applicants, or one member of a partnership applicant must sign; one corporate officer, one member/manager of Limited Liability Companies must sign.) Any lack of access to any portion of a licensed premises during inspection will be deemed a refusal to permit inspection. Such refusal is a misdemeanor and grounds for revocation of this license.

GUSTAVO GUTIERREZ G  
(Officer of Corporation / Member / Manager of Limited Liability Company / Partner / Individual)

**TO BE COMPLETED BY CLERK**

Date received and filed with municipal clerk <i>12-10-18</i>	Date reported to council / board <i>1-14-19</i>	Date provisional license issued	Signature of Clerk / Deputy Clerk <i>Renee Gowdroy</i>
Date license granted	Date license issued	License number issued	



**SCHEDULE FOR APPOINTMENT OF AGENT BY CORPORATION/NONPROFIT  
ORGANIZATION OR LIMITED LIABILITY COMPANY**

Submit to municipal clerk.

All corporations/organizations or limited liability companies applying for a license to sell fermented malt beverages and/or intoxicating liquor must appoint an agent. The following questions must be answered by the agent. The appointment must be signed by the officer(s) of the corporation/organization or members/managers of a limited liability company and the recommendation made by the proper local official.

To the governing body of: Town ☒ Village of MUKWONAGO County of WAUKESHA  
City

The undersigned duly authorized officer(s)/members/managers of GUS GUS INCORPORATED  
(registered name of corporation/organization or limited liability company)

a corporation/organization or limited liability company making application for an alcohol beverage license for a premises known as

MUKWONAGO FAMILY RESTAURANT INCORPORATED  
(trade name)

located at 1015 E. VETERANS WAY, MUKWONAGO WI 53149-1017

appoints GUSTAVO GUTIERREZ  
(name of appointed agent)

1025 BAXTER STREET, WAUKESHA, WI  
(home address of appointed agent)

to act for the corporation/organization/limited liability company with full authority and control of the premises and of all business relative to alcohol beverages conducted therein. Is applicant agent presently acting in that capacity or requesting approval for any corporation/organization/limited liability company having or applying for a beer and/or liquor license for any other location in Wisconsin?

☒ Yes ☒ No  
YES

If so, indicate the corporate name(s)/limited liability company(ies) and municipality(ies).

Is applicant agent subject to completion of the responsible beverage server training course? ☐ Yes ☒ No

How long immediately prior to making this application has the applicant agent resided continuously in Wisconsin? 26 YEARS

Place of residence last year 1025 BAXTER STREET, WAUKESHA, WI

For: \_\_\_\_\_  
(name of corporation/organization/limited liability company)

By: GUSTAVO GUTIERREZ G  
(signature of Officer/Member/Manager)

And: \_\_\_\_\_  
(signature of Officer/Member/Manager)

**ACCEPTANCE BY AGENT**

I, \_\_\_\_\_, hereby accept this appointment as agent for the  
(print/type agent's name)

corporation/organization/limited liability company and assume full responsibility for the conduct of all business relative to alcohol beverages conducted on the premises for the corporation/organization/limited liability company.

\_\_\_\_\_  
(signature of agent) (date)

\_\_\_\_\_  
(home address of agent) Date of birth \_\_\_\_\_

**APPROVAL OF AGENT BY MUNICIPAL AUTHORITY  
(Clerk cannot sign on behalf of Municipal Official)**

I hereby certify that I have checked municipal and state criminal records. To the best of my knowledge, with the available information, the character, record and reputation are satisfactory and I have no objection to the agent appointed.

Approved on 12/12/18 by Ken Schult Title Police Chief  
(date) (signature of proper local official) (town chair, village president, police chief)



# Auxiliary Questionnaire Alcohol Beverage License Application

Submit to municipal clerk.

Individual's Full Name (please print) (last name)		(first name)		(middle name)	
GUSTAVO Gutierrez		GUSTAVO		(NONE)	
Home Address (street/route)		Post Office	City	State	Zip Code
1025 BAXTER ST		WAUKESHA	WAUKESHA	WI	53186
Home Phone Number		Age	Date of Birth	Place of Birth	
262-510-7385			7-25-67	Mexico	

The above named individual provides the following information as a person who is (check one):

☒ Applying for an alcohol beverage license as an **individual**.

☐ A member of a **partnership** which is making application for an alcohol beverage license.

☐ \_\_\_\_\_ of \_\_\_\_\_  
(Officer / Director / Member / Manager / Agent) (Name of Corporation, Limited Liability Company or Nonprofit Organization)

which is making application for an alcohol beverage license.

The above named individual provides the following information to the licensing authority:

1. How long have you continuously resided in Wisconsin prior to this date? 26 YEARS
2. Have you ever been convicted of any offenses (other than traffic unrelated to alcohol beverages) for violation of any federal laws, any Wisconsin laws, any laws of any other states or ordinances of any county or municipality? ☐ Yes ☒ No  
If yes, give law or ordinance violated, trial court, trial date and penalty imposed, and/or date, description and status of charges pending. (If more room is needed, continue on reverse side of this form.)
3. Are charges for any offenses presently pending against you (other than traffic unrelated to alcohol beverages) for violation of any federal laws, any Wisconsin laws, any laws of other states or ordinances of any county or municipality? ☐ Yes ☒ No  
If yes, describe status of charges pending.
4. Do you hold, are you making application for or are you an officer, director or agent of a corporation/nonprofit organization or member/manager/agent of a limited liability company holding or applying for any other alcohol beverage license or permit? ☐ Yes ☒ No  
If yes, identify. \_\_\_\_\_  
(Name, Location and Type of License/Permit)
5. Do you hold and/or are you an officer, director, stockholder, agent or employee of any person or corporation or member/manager/agent of a limited liability company holding or applying for a wholesale beer permit, brewery/winery permit or wholesale liquor, manufacturer or rectifier permit in the State of Wisconsin? ☐ Yes ☒ No  
If yes, identify. \_\_\_\_\_  
(Name of Wholesaler Licensee or Permittee) (Address By City and County)

6. Named individual must list in chronological order last two employers.

Employer's Name	Employer's Address	Employed From	To
Christian Family Rest	350 DELAFIELD ST	2000	2018
Gusano JS INC	350 DELAFIELD ST, WAUKESHA	2014	2015

**READ CAREFULLY BEFORE SIGNING:** Under penalty provided by law, the undersigned states that each of the above questions has been truthfully answered to the best of the knowledge of the signer. The signer agrees that he/she is the person named in the foregoing application; that the applicant has read and made a complete answer to each question, and that the answers in each instance are true and correct. The undersigned further understands that any license issued contrary to Chapter 125 of the Wisconsin Statutes shall be void, and under penalty of state law, the applicant may be prosecuted for submitting false statements and affidavits in connection with this application. Any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000.

  
(Signature of Named Individual)



From the Office of the Village Clerk of the Village of Mukwonago  
440 River Crest Court, Mukwonago, WI 53149  
(262) 363-6420, (262) 363-6425 – Fax  
www.villageofmukwonago.com

License No. BB1819-002

**CLASS "B" RETAILER'S LICENSE**  
For the sale of FERMENTED MALT BEVERAGES

**WHEREAS**, the local governing body of the Village of Mukwonago, Counties of Waukesha and Walworth, Wisconsin, has, upon application duly made, granted and authorized the issuance of a Retail Class "B" License to: **Wild Flower Café, LLC; Lourdes Gonzalez (Agent)**

to sell Fermented Malt Beverages, as defined by and pursuant to Section 125.26 of the Statutes of the State of Wisconsin, and Local Ordinances and the said applicant has paid to the treasurer the sum of **\$100.00** for such Retail Class "B" license as provided by local ordinances and has complied with all requirements necessary for obtaining such license.

**LICENSE IS HEREBY ISSUED** to said applicant to sell, deal and traffic in, at retail, Fermented Malt Beverages at the following described premises: **Wild Flower Café, 1015 E. Veterans Way – Office, Dining Room and Bar Area.**

**FOR THE PERIOD from July 1, 2018 to June 30, 2019.**

Given under my hand and the corporate seal of the Village of Mukwonago  
this 20th day of June 2018.

*Judith A. Jansberg*

Village Clerk



From the Office of the Village Clerk of the Village of Mukwonago  
440 River Crest Court, Mukwonago, WI 53149  
(262) 363-6420, (262) 363-6425 -- Fax  
[www.villageofmukwonago.com](http://www.villageofmukwonago.com)

License No. C1819-002

### CLASS C WINE RETAILER'S LICENSE

For the sale of WINES

WHEREAS, the local governing body of the Village of Mukwonago, Counties of Waukesha and Walworth, Wisconsin, has, upon application duly made, granted and authorized the issuance of a Retail Class C Wine License to: Wild Flower Café, LLC; Lourdes Gonzalez (Agent)

to sell Wine as defined in and pursuant to Section 125.51(3m) of the Statutes of the State of Wisconsin and local ordinances and the said applicant has paid to the treasurer the sum of \$100.00 for such Class C Wine License as provided by local ordinances and has complied with all requirements necessary for obtaining such license.

LICENSE IS HEREBY ISSUED to said applicant to sell, deal and traffic in, at retail, Wines at the following described premises:  
Wild Flower Café, 1015 East Veterans Way -- Office, Restaurant and Cooler.

FOR THE PERIOD from July 1, 2018 to June 30, 2019.

Given under my hand and the corporate seal of the Village of Mukwonago  
this 20th day of June 2018.

*Judith A. Sanders*

Village Clerk



Village of Mukwonago  
440 River Crest Court, P.O. Box 206  
Mukwonago, WI 53149  
Phone: (262) 363-6420  
Fax: (262) 363-6425  
www.villageofmukwonago.com

## VILLAGE OF MUKWONAGO

### SITE PLAN, ARCHITECTURAL, AND PLANNED UNIT DEVELOPMENT (PUD) APPLICATION

Application Fee: Below

Date Submitted: 12/16/18

#### FEES

(Please check one)

- ☐ Minor Site Plan (Buildings less than 600 sq. ft.): \$135.00 plus \$.02 per sq. ft.
- ☐ Site Plan and/or Architectural Review: \$250.00 plus \$.02 per sq. ft.
- ☐ Conceptual Site Plan and/or Architectural Review: \$200.00 plus \$.02 per sq. ft.
- ☐ Planned Unit Development (PUD) Review: \$185.00 plus \$25.00/unit
- ☐ Resubmittal of or Amendment to Site Plan and/or Architectural Review: \$200.00

#### CONTACTS

##### Zoning and Planning Department

Contact: Bruce Kaniewski

Phone: (414) 339-4105

Fax: (262) 363-6425

Email: planner@villageofmukwonago.com

#### GUIDELINES

The undersigned petition is to consider a request, as stated herein, for the specified parcel(s) of land and will be reviewed by the Plan Commission and Village Board of the Village of Mukwonago. The application packet must be filed with the Village Clerk at least 30 days prior to the meeting of the Planning Commission at which action is desired. The Plan Commission meets on the second Tuesday of each month at 6:30 p.m.

Materials listed below must be provided to the Village of Mukwonago in accordance with Village Municipal Code Chapter 100 Article IX. Section 100-601(f) and other pertinent sections of Village ordinances, and, as necessary, to permit review that is consistent with proper planning practice. The Village will strive to accommodate reasonable requests for informal preliminary staff review, however the Village shall not place any items on the agenda for Plan Commission consideration until such time as the application is complete in accordance with all requirements specified on this and other attached application forms.

Mail completed applications to: Village Planner  
ATTN: Site Plan/Architectural Plan/Planned Unit Development  
PO Box 206  
Mukwonago, WI 53149  
Deliver to: Village Clerk's Office  
440 River Crest Court  
Email to: planner@villageofmukwonago.com

Complete, accurate and specific information must be entered. Please Print.

#### APPLICANT (Full Legal Name)

Name: Joseph Schaffer  
Company: Instrument Development Corp  
Address: 820 Swan Dr City: Mukwonago State: WI Zip: 53149  
Daytime Phone: 262-363-7307 Fax: 262-363-2100  
E-Mail: j.schaffer@instrument-capital.com



**APPLICANT IS REPRESENTED BY (Full Legal Name)**

Name: Matthew Mehring  
Company: Anderson Ashton Inc  
Address: 2746 S 166<sup>th</sup> St City: New Berlin State: WI Zip: 53007  
Daytime Phone: 262-786-4640 Fax: \_\_\_\_\_  
E-Mail: mmehring@andersonashton.com

**ARCHITECT**

Name: Steve Wagner  
Company: Anderson Ashton Inc  
Address: 2746 S 166<sup>th</sup> St City: New Berlin State: WI Zip: 53101  
Daytime Phone: 262-786-4640 Fax: \_\_\_\_\_  
E-Mail: swagner@andersonashton.com

**PROFESSIONAL ENGINEER**

Name: CJ Engineering - Chris Jackson  
Company: \_\_\_\_\_  
Address: 9205 W Center St City: Milwaukee State: WI Zip: 53222  
Daytime Phone: 414-443-1312 ext 222 Fax: 414-443-1317  
E-Mail: chris@cj-engineering.com

**REGISTERED SURVEYOR**

Name: Capital Survey Enterprises - Mike Berry  
Company: \_\_\_\_\_  
Address: 220 Regency Ct City: Brookfield State: WI Zip: 53045  
Daytime Phone: 262-786-6600 Fax: 414-786-6608  
E-Mail: mikeb@capitalsurvey.com

**CONTRACTOR**

Name: Bill Matthews  
Company: Anderson Ashton Inc  
Address: 2746 S 166<sup>th</sup> St City: New Berlin State: WI Zip: 53107  
Daytime Phone: 262-786-4640 Fax: \_\_\_\_\_  
E-Mail: bmatthews@andersonashton.com



## PROPERTY INFORMATION

Property Owner (s) (if different from applicant): Kevin Sinnett  
Address: 820 Swan Dr City: Mukwonago State: IL Zip: 53149  
Daytime Phone: 262-363-7307 Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_  
Present Zoning: M-4 Tax Key No(s): MUKV1970987  
Location/Address: 820 Swan Dr  
Present Use: parts manufacturing Intended Use: same

## PROCEDURAL CHECKLIST FOR SITE PLAN/ARCHITECTURAL PLAN/PUD REVIEW AND APPROVAL

Submittals for review must include and be accompanied by the following:

### Application:

- ☐ Completed application form including the procedural checklist.
- ☐ Application fee: See page 1.
- ☐ Agreement for Reimbursable Services (separate application).

### Other Documents:

- ☐ Five(5) complete sets of Application and materials, in addition to the original, for Village of Mukwonago review.
  - ☐ Project Summary: Please attach a statement detailing the reasons and background for this request including: details of proposal, services provided, wares sold, plans and hours of operation, number of employees, frequency of customer visits, frequency of deliveries to site, description of any interior/exterior modifications or additions to be made to property, any outside storage (dumpsters, trucks, materials...), number of parking stalls, screening/buffer type, any other information available. **PLEASE EXPLAIN IN DETAIL.**
  - ☐ **Electronic Submittals are required.** Email (or CD ROM) with all plans and submittal materials in Adobe PDF to [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com).
  - ☐ Any additional information as determined by Village staff.
- Upon receipt of a complete submittal, staff review will be conducted within ten business days.
  - All Site Plan, Architectural, and Planned Unit Development review requests require Plan Commission review and Village Board approval.



## CERTIFICATION


Applicant hereby certifies that:


1. All of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.
2. Affirms that no Village of Mukwonago elected or appointed official or employee has a proprietary interest in the above referenced property for which this applications being filed (except as stated below under "Exceptions").
3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project (except as stated below under "Exceptions").
4. Applicant has read and understands all information in this packet.

Applicant further understands the policies of the Village regarding change of zonings and property development. Conditions of the resolution regarding all approvals are strictly followed. Certificates of Occupancy are not given until all conditions of approval have been met

By the execution of this application, applicant hereby authorizes the Village of Mukwonago or its agents to enter upon the property during the hours of 7:00 am to 7:00 pm daily for the purpose of inspection. Applicant grants this authorization to enter even if this land has been posted against trespassing pursuant to Section 943.13 WI Stats.

*(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).*

  
Signature - Property Owner  
Kevin B. Sinner Member  
Name & Title (PRINT)  
12/4/18  
Date

  
Signature - Applicant  
Matthew Mehring - president  
Name & Title (PRINT)  
12/6/18  
Date

\_\_\_\_\_  
Signature - Property Owner

\_\_\_\_\_  
Name & Title (PRINT)

\_\_\_\_\_  
Date

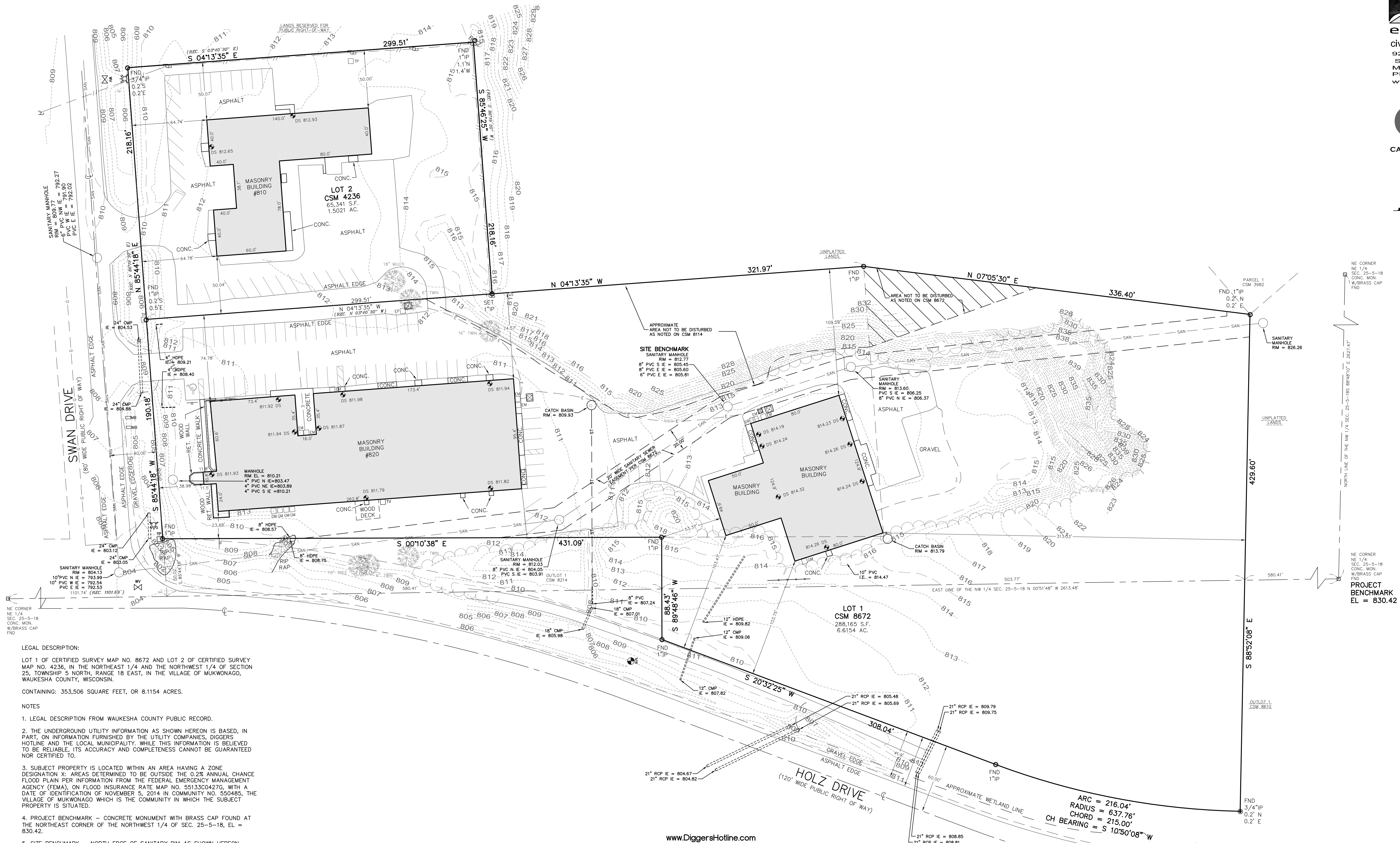
\_\_\_\_\_  
Signature -- Applicant's Representative

\_\_\_\_\_  
Name & Title (PRINT)

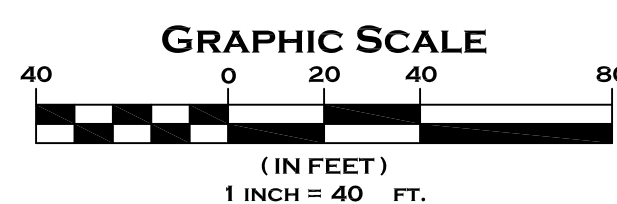
\_\_\_\_\_  
Date

FOR OFFICE USE ONLY	
Date Paid	Receipt #
Plan Commission Date(s)	Village Board Date(s)
Escrow Required? <input type="checkbox"/> Yes <input type="checkbox"/> No	Escrow Amount
Plan Commission Disposition	
Village Board Disposition	





www.DiggersHotline.com  
**DIGGERS HOTLINE**  
DIAL 811 OR (800) 242-8511

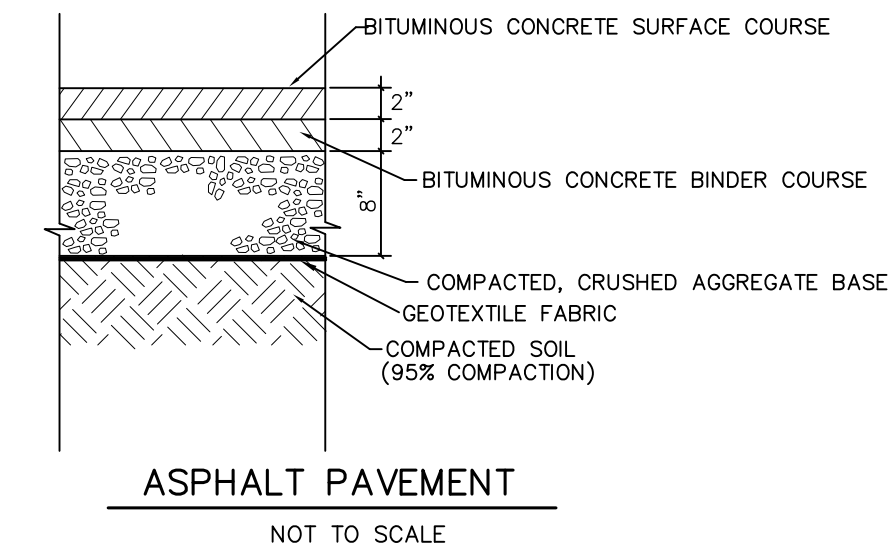
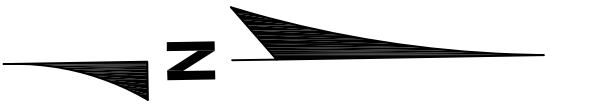


**PLAT OF SURVEY**  
FOR

**INSTRUMENT DEVELOPMENT CORPORATION**  
820 SWAN DRIVE  
MUKWONAGO, WI

DRAWN BY:	ATF	DATE:	NOV. 3, 2018
CHECKED BY:	MJB	DRAWING NO.	P-2
CSE Job No.:	16-049	SHEET	1 OF 1





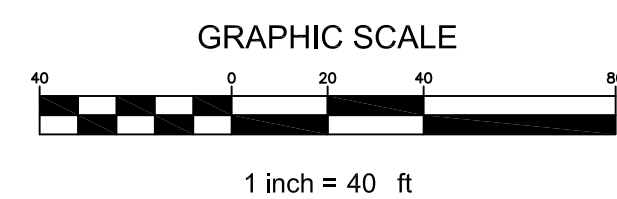
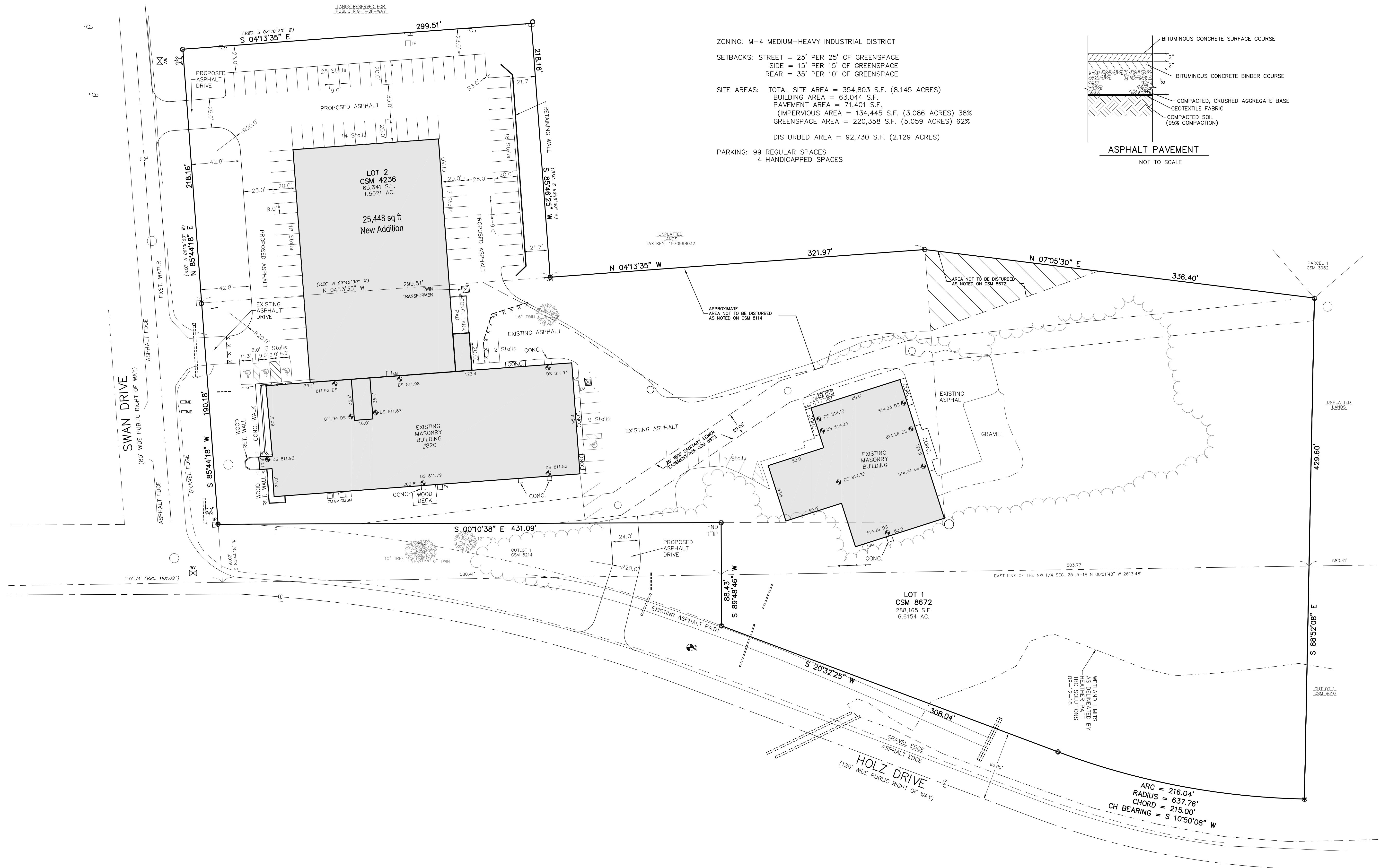
ZONING: M-4 MEDIUM-HEAVY INDUSTRIAL DISTRICT

SETBACKS: STREET = 25' PER 25' OF GREENSPACE  
SIDE = 15' PER 15' OF GREENSPACE  
REAR = 35' PER 10' OF GREENSPACE

SITE AREAS: TOTAL SITE AREA = 354,803 S.F. (8.145 ACRES)  
BUILDING AREA = 63,044 S.F.  
PAVEMENT AREA = 71,401 S.F.  
(IMPERVIOUS AREA = 134,445 S.F. (3.086 ACRES) 38%)  
GREENSPACE AREA = 220,358 S.F. (5.059 ACRES) 62%

DISTURBED AREA = 92,730 S.F. (2.129 ACRES)

PARKING: 99 REGULAR SPACES  
4 HANDICAPPED SPACES



SITE PLAN

C1.0

INSTRUMENT DEVELOPMENT CORPORATION  
820 SWAN DRIVE  
MUKWONAGO, WI

CJE NO.: 1615-02R4  
DECEMBER 06, 2018









## WINTER CONDITIONS

DURING WINTER CONSTRUCTION (NOVEMBER 1 TO MAY 1), CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER, POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) ON ALL DISTURBED AREAS THAT ARE NOT TO BE DISTURBED BEYOND 7 DAYS. CONTRACTOR TO INSTALL PAM PER WDNr TECHNICAL STANDARD 1050 AND THE MANUFACTURERS SPECIFICATIONS.

## TEMPORARY STABILIZATION METHODS

TEMPORARY SEEDING:  
DURING GROWING SEASON (MAY 2 – OCTOBER 31) TEMPORARY SEEDING (COVER CROP) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE CONSTRUCTION.

Species	Lbs/Acre	Percent Purity
Oats	131	98
Cereal Rye	131*	97
Winter Wheat	131*	95
Annual Ryegrass	80*	97

\* Fall Seeding

LAND APPLICATION OF ADDITIVES:  
DURING NONGROWING SEASON (NOVEMBER 1 – MAY 1) CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION. STABILIZER TO BE POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) – SEE WDNr TECHNICAL STANDARD 1050.

STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.

## SITE DEWATERING

DEWATERING TO CONFORM WITH WDNr CONSERVATION PRACTICE STANDARD 1061.  
THE SITE HAS HIGH GROUND WATER SO THERE IS THE POTENTIAL FOR SITE DEWATERING. ALL PUMPED EFFLUENT FROM DEWATERING OPERATIONS (TRENCH DEWATERING OR OTHERWISE) SHALL BE DISCHARGED TO A GEOTEXTILE FILTER BAG CONFORMING TO WDNr CONSERVATION PRACTICE STANDARD 1061. THE GEOTEXTILE BAG SHALL BE PLACED ON A VEGETATED /STABILIZED GROUND

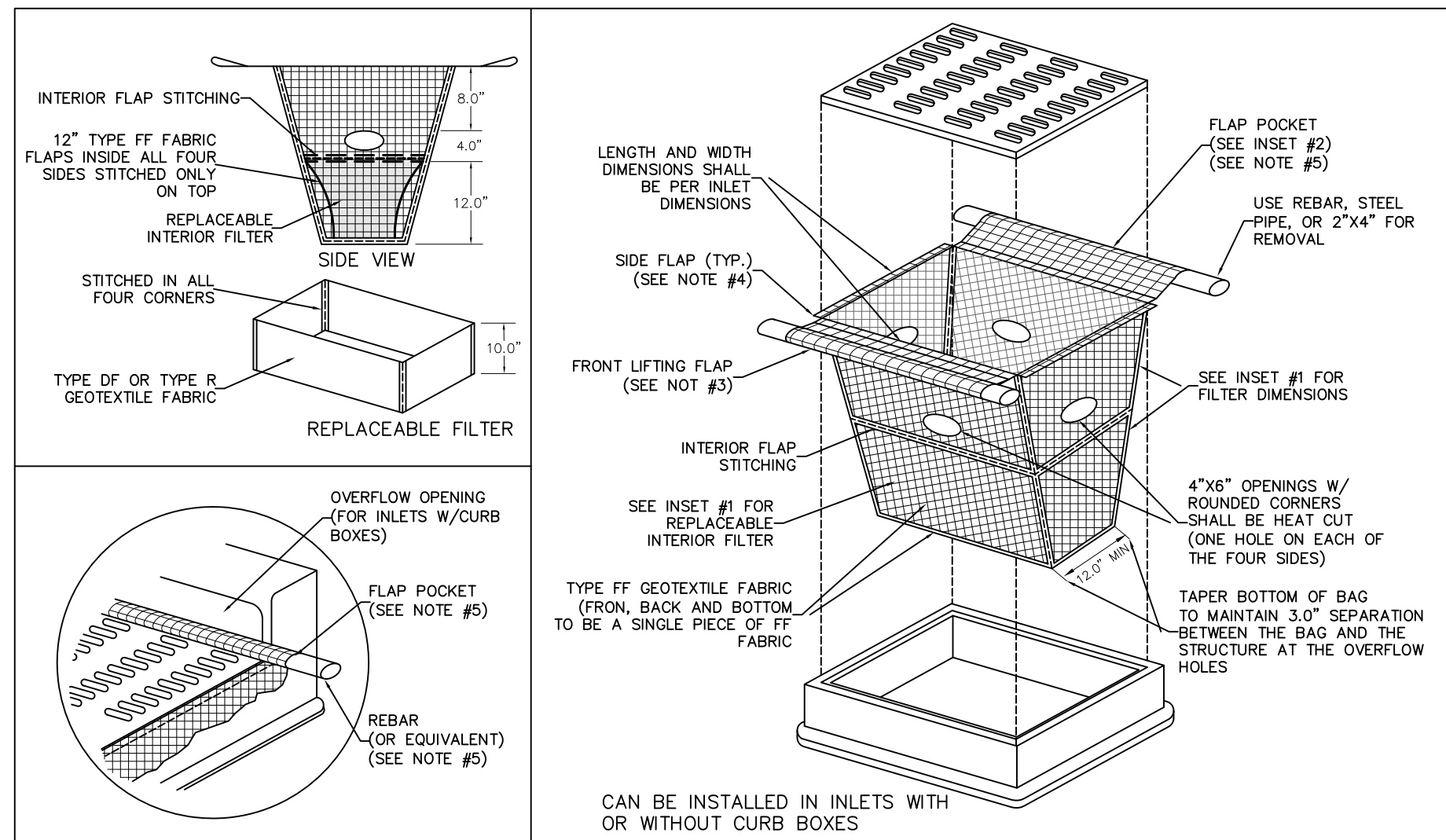
NOTE:  
DISTURBED AREA = 92,730 S.F. (2.129 ACRES)

## CONSTRUCTION SCHEDULE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. INSTALL CONSTRUCTION EXIT BY FILLING EXISTING DITCH AND REMOVING EXISTING ENTRANCE AND REGRADING SWAN DRIVE DITCH.
3. PROVIDE TEMPORARY OR PERMANENT STABILIZATION.
4. INSTALL OFFSITE DRAINAGE BYPASS SWALE. PROVIDE TEMPORARY OR PERMANENT STABILIZATION ALONG WITH HAYBALE DITCH CHECKS.
5. RAZE EXISTING BUILDING AND PAVEMENT AND REMOVE OFFSITE.
6. INSTALL SEDIMENT BASIN (FUTURE BIORETENTION BASIN).  
A. THE AREA OF THE BIO-RETENTION BASIN WILL BE USED AS A SEDIMENTATION BASIN DURING CONSTRUCTION. DO NOT INSTALL DRAIN TILE, AGGREGATE OR ENGINEERED SOIL AT THIS STAGE.  
B. ROUGH GRADE BASIN TO BOTTOM ELEVATION OF 807.0 AND INSTALL BASIN STANDPIPE AND 12" OUTLET PIPE AND RIP RAP ON FABRIC. PROVIDE TEMPORARY STABILIZATION.
7. ROUGH GRADE BUILDING AREA.
8. BEGIN BUILDING CONSTRUCTION.
9. INSTALL PROPOSED UTILITIES. INSTALL INLET GRATE SCREENS AND OUTLET PROTECTION.
10. INSTALL BASE COURSE OF PAVEMENT.
11. AT ANY TIME, INSTALL PROPOSED ENTRANCE DRIVE OFF OF HOLZ DRIVE WITH CULVERT AND HAYBALE DITCH CHECK.
12. INSTALL BIORETENTION BASIN: INSTALL AGGREGATE, 6" DRAIN TILE, ENGINEERED SOIL AND PLANTINGS. PROVIDE FINAL STABILIZATION OF BASIN SIDE SLOPES THAT INCLUDE SEEDING AND MATING.
13. FINAL GRADING OF SLOPES, TOPSOIL, CRITICAL SLOPES (ALL SLOPES 5:1 OR GREATER); VEGETATE AND MULCH/MAT ALL FINAL DISTURBED AREAS.
14. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
15. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.
16. ESTIMATED TIME BEFORE FINAL STABILIZATION – 9 MONTHS.

## MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDING AREAS WILL BE WATERED, FERTILIZED, RESEEDING AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.



- NOTES:
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO GHT STRUCTURE WALL.
  2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
  3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
  4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
  5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

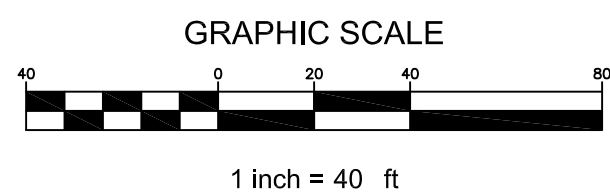
MAINTENANCE NOTES:  
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

## INLET PROTECTION, TYPE D-M PER WDNr TECHNICAL STANDARD 1060

NOT TO SCALE

## ③ EROSION MATTING

AFTER FINISH OR FINAL GRADING AND TOPSOILING, PROVIDE CLASS 1, TYPE B EROSION MAT PER "WSDOT EROSION CONTROL PAL" (OR EQUAL) IN ALL ROADSIDE DITCHES, DEFINED SWALES, SIDE SLOPES, BERMS AND ALL OTHER SLOPES 4:1 OR GREATER. INSTALL PER MANUFACTURERS SPECIFICATIONS.



## EROSION CONTROL PRACTICES SCHEDULE

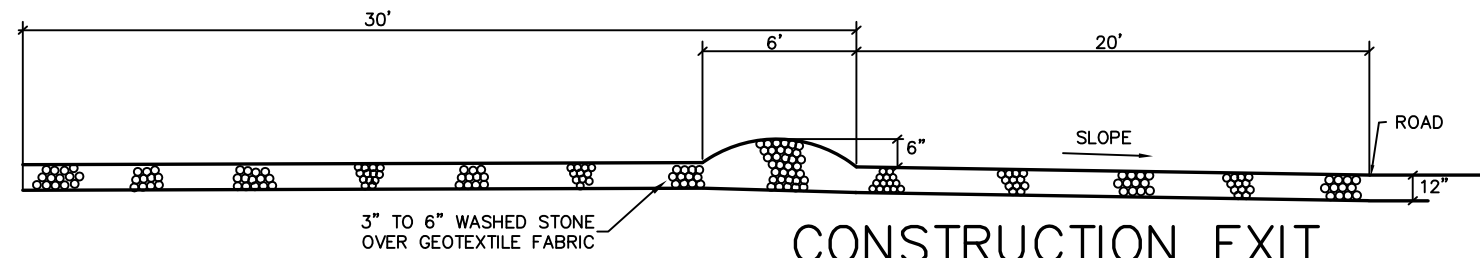
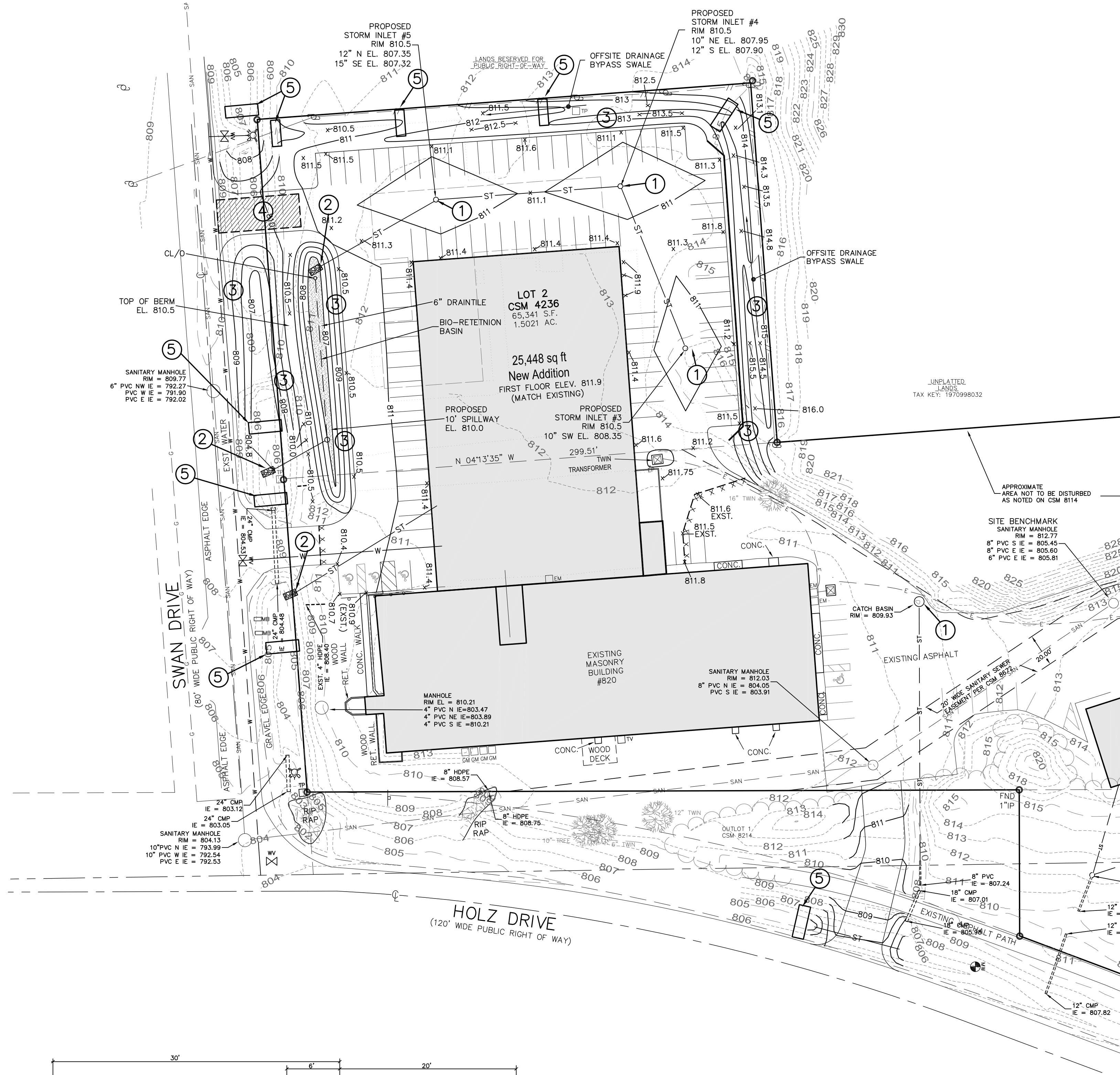
- ① INLET GRATE SCREEN
- ② OUTLET PROTECTION
- ③ EROSION MATTING
- ④ CONSTRUCTION EXIT
- ⑤ HAYBALE DITCH CHECK

CJE NO.: I615-02R4  
DECEMBER 06, 2018

## EROSION CONTROL PLAN

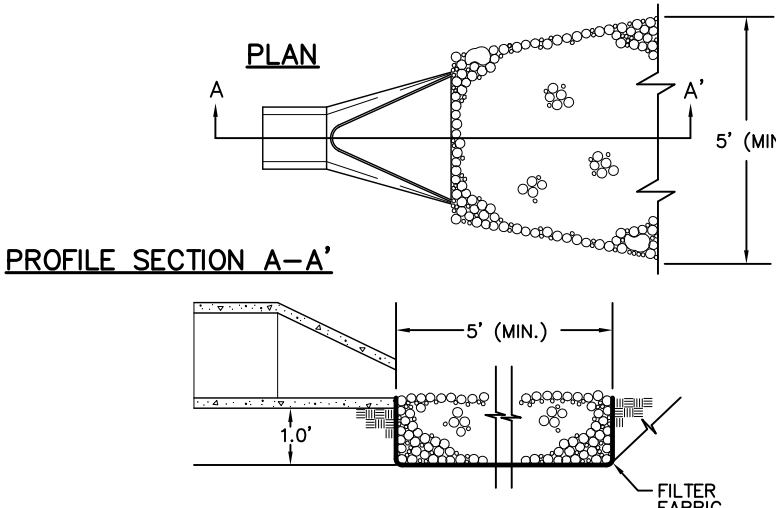
C3.0

SHEET 3 OF 3



## CONSTRUCTION EXIT PER WDNr TECHNICAL STANDARD 1057

NOT TO SCALE

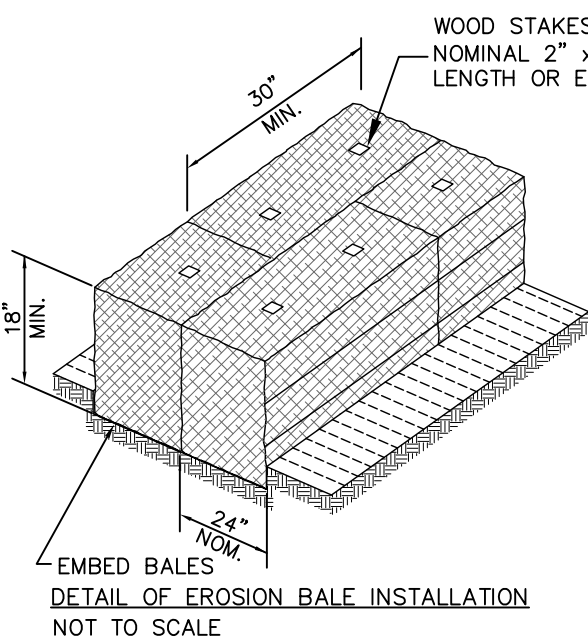


## ② OUTLET PROTECTION FOR ENDSECTION

NOT TO SCALE

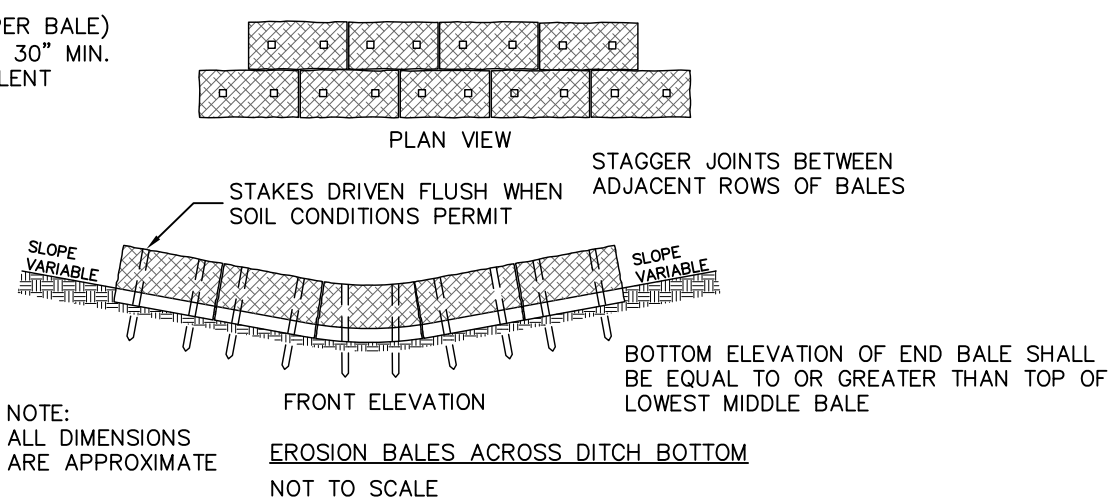
## CONSTRUCTION SPECIFICATIONS

1. EXCAVATE BELOW CHANNEL OUTLET AND WIDEN CHANNEL TO THE REQUIRED RIP RAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.
2. PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF 1.0'.
3. EXERCISE CARE IN RIP RAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.
4. PLACE RIP RAP ON ZERO GRADE – TOP OF RIP RAP TO BE LEVEL WITH EXISTING OUTLET – NO OVERFALL AT ENDS.
5. RIP RAP TO BE HARD, ANGULAR, WELL GRADE STONE OF 5" TO 8" DIA.
6. IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.



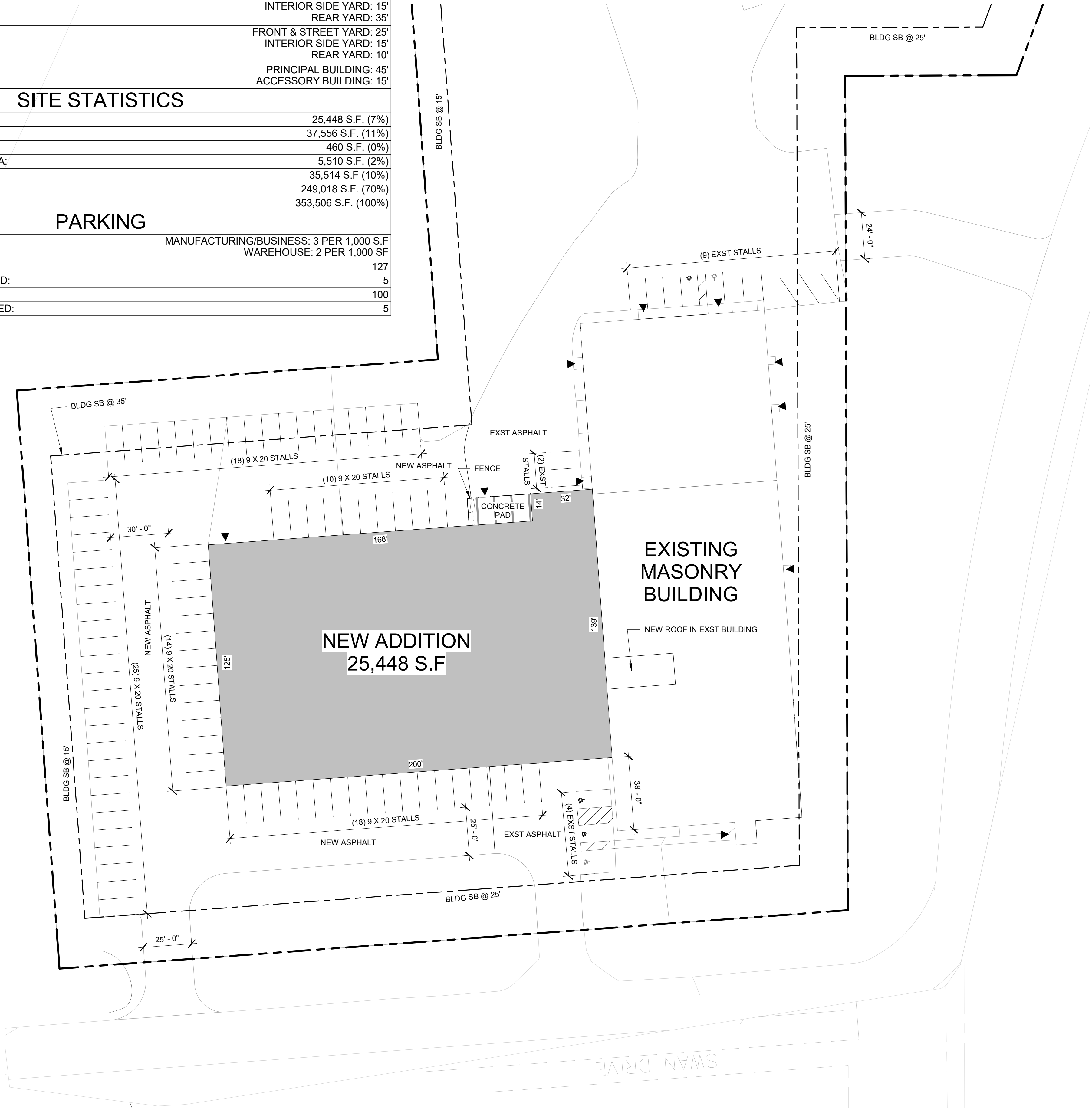
## HAY BALE DITCH CHECK PER WDNr TECHNICAL STANDARD 1062

NOT TO SCALE





ZONING	
ZONED:	M-4 MEDIUM/HEAVY INDUSTRIAL DISTRICT
MIN. BUILDING SETBACKS (FT):	FRONT & STREET YARD: 25' INTERIOR SIDE YARD: 15' REAR YARD: 35'
PAVING SETBACKS (FT):	FRONT & STREET YARD: 25' INTERIOR SIDE YARD: 15' REAR YARD: 10'
MAX. BUILDING HEIGHTS (FT):	PRINCIPAL BUILDING: 45' ACCESSORY BUILDING: 15'
SITE STATISTICS	
PROPOSED BUILDING AREA:	25,448 S.F. (7%)
EXISTING BUILDINGS AREA:	37,556 S.F. (11%)
SIDEWALK-CONCRETE AREA:	460 S.F. (0%)
EXISTING SIDEWALK-CONCRETE AREA:	5,510 S.F. (2%)
PAVED AREA:	35,514 S.F. (10%)
GREEN SPACE AREA:	249,018 S.F. (70%)
TOTAL LOT AREA:	353,506 S.F. (100%)
PARKING	
PARKING STALLS:	MANUFACTURING/BUSINESS: 3 PER 1,000 S.F WAREHOUSE: 2 PER 1,000 SF
TOTAL STALLS REQUIRED:	127
TOTAL ACCESSIBLE STALLS REQUIRED:	5
TOTAL STALLS PROPOSED:	100
TOTAL ACCESSIBLE STALLS PROPOSED:	5



1

ARCHITECTURAL SITE PLAN

1" = 30'-0"

REVISIONS

ANDERSON-  
ASHTON, INC.  
DESIGN / BUILD  
2746 South 166th Street  
New Berlin, WI 53151  
PHONE: 262.535.5500  
WWW.ANDERSONASHTON.COM



PROPOSED (ADDITION, REMODEL) BUILDING FOR:

IDC PRECISION

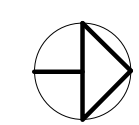
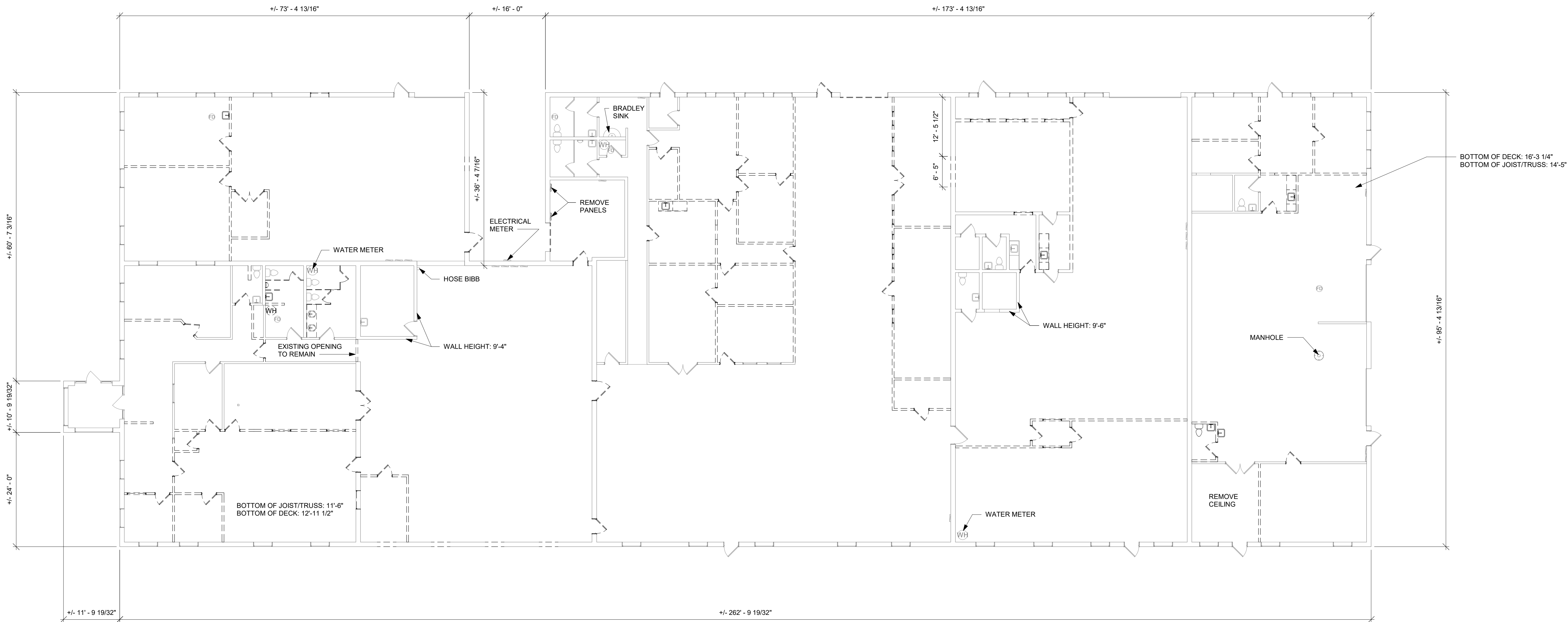
820 SWAN DRIVE MUKWONAGO, WI 53149

DRAFTED BY: UH  
DESIGNER: SLW  
DATE STAMP: 12/6/2018 2:21:39 PM  
SUBMITTAL DATE: Issue Date  
DESIGN NO. P-01843  
CONSTRUCTION NO.

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AS.1





1

## DEMO FLOOR PLAN

3/32" = 1'-0"

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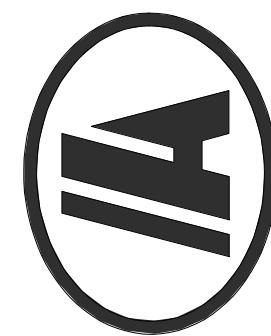
PROPOSED (ADDITION, REMODEL) BUILDING FOR:

### IDC PRECISION

820 SWAN DRIVE MUKWONAGO, WI 53149

DATE: 12/5/2018 10:00:41 AM  
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ISSUE:  
SUBMITTAL DATE/Issue Date  
DESIGN NO. P-01843  
CONSTRUCTION NO.

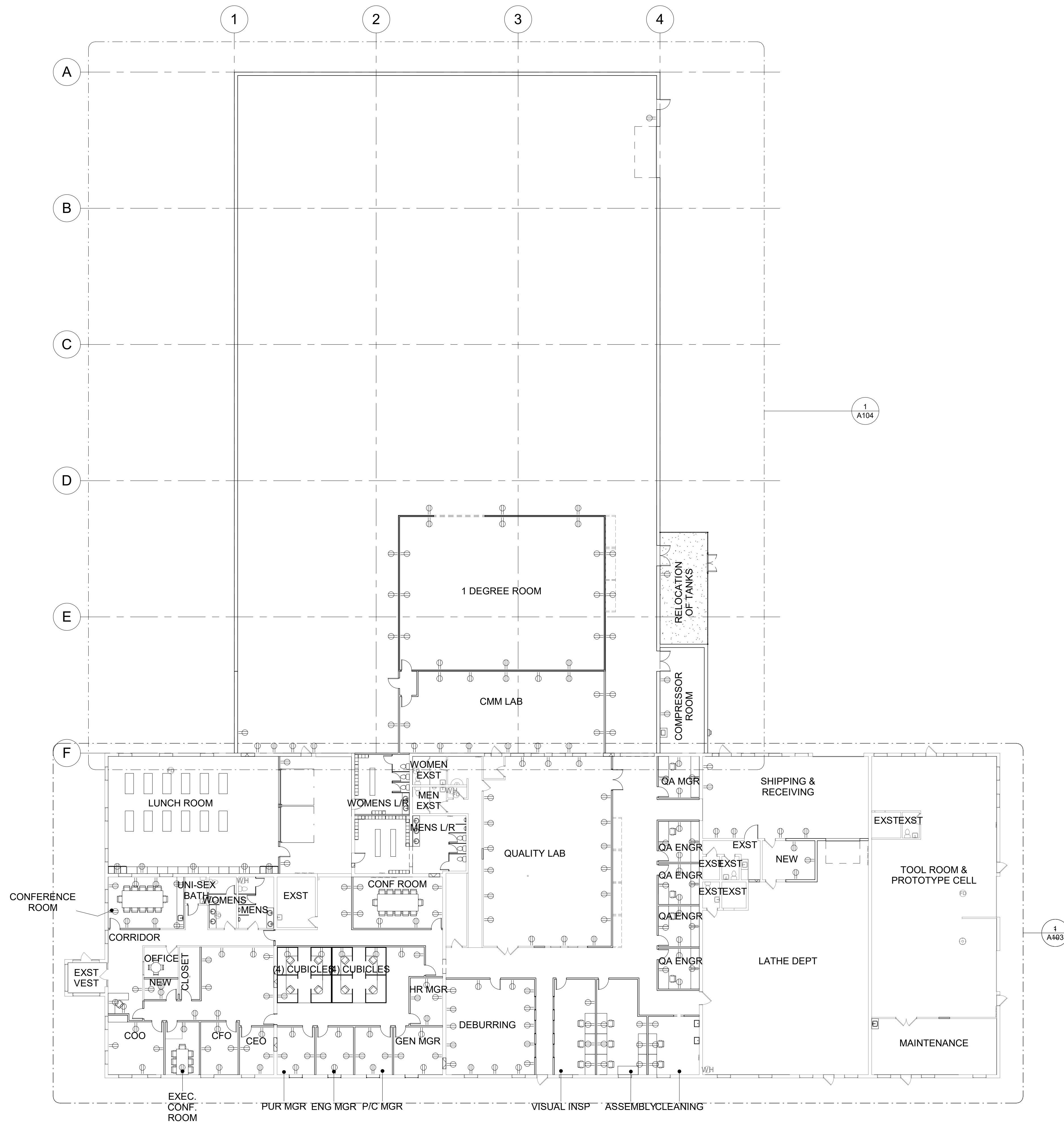
# A101



ANDERSON-  
ASHTON, INC.  
DESIGN / BUILD  
2746 South 166th Street  
New Berlin, WI 53151  
PH: 262.591.0000  
WWW.ANDERSONASHTON.COM

REVISIONS

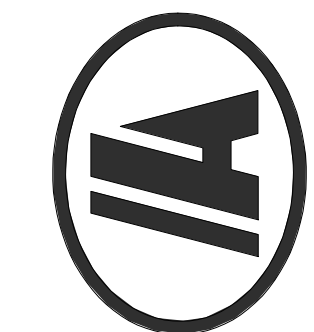




1 OVERALL FLOOR PLAN  
1/16" = 1'-0"

REVISIONS

ANDERSON-  
ASHTON, INC.  
DESIGN / BUILD  
2746 South 166th Street  
New Berlin, WI 53151  
PH: 262.531.1511  
WWW.ANDERSONASHTON.COM



PROPOSED (ADDITION, REMODEL) BUILDING FOR:

IDC PRECISION

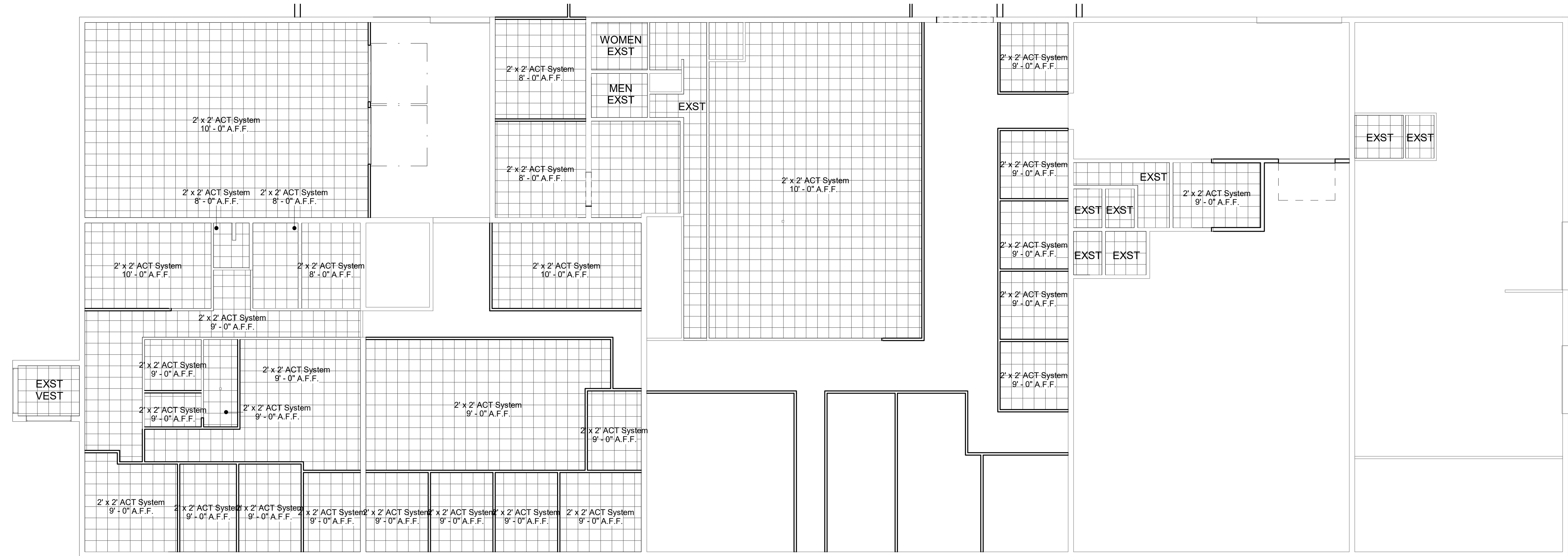
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DATE: 12/5/2018 10:00:42 AM  
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DESIGNER: Designer  
ISSUE:  
SUBMITTAL DATE: Issue Date  
DESIGN NO. P-01843  
CONSTRUCTION NO.

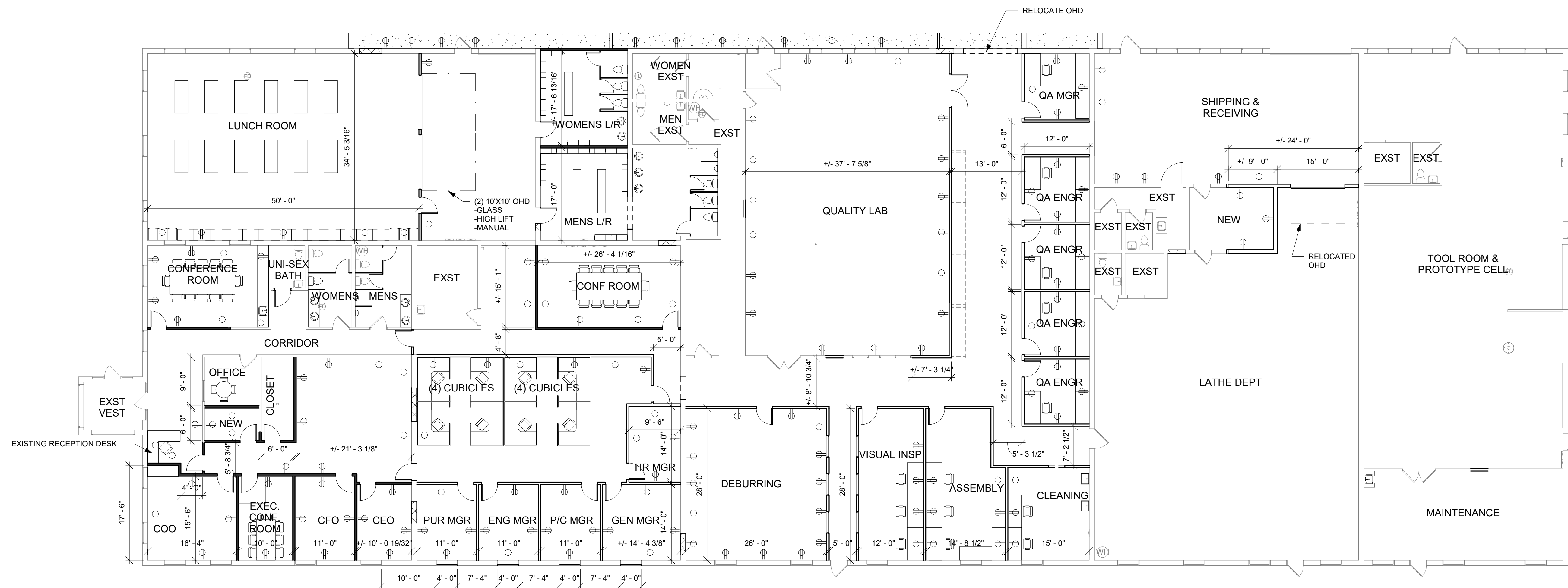
A102

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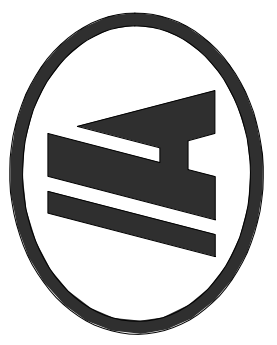
2 REMODEL RCP  
3/32" = 1'-0"



1 REMODEL FLOOR PLAN  
3/32" = 1'-0"

REVISIONS

ANDERSON-  
ASHTON, INC.  
DESIGN / BUILD  
2746 South 16th Street  
New Berlin, WI 53151  
Phone: 262.591.1000  
WWW.ANDERSONASHTON.COM



PROPOSED (ADDITION, REMODEL) BUILDING FOR:

IDC PRECISION

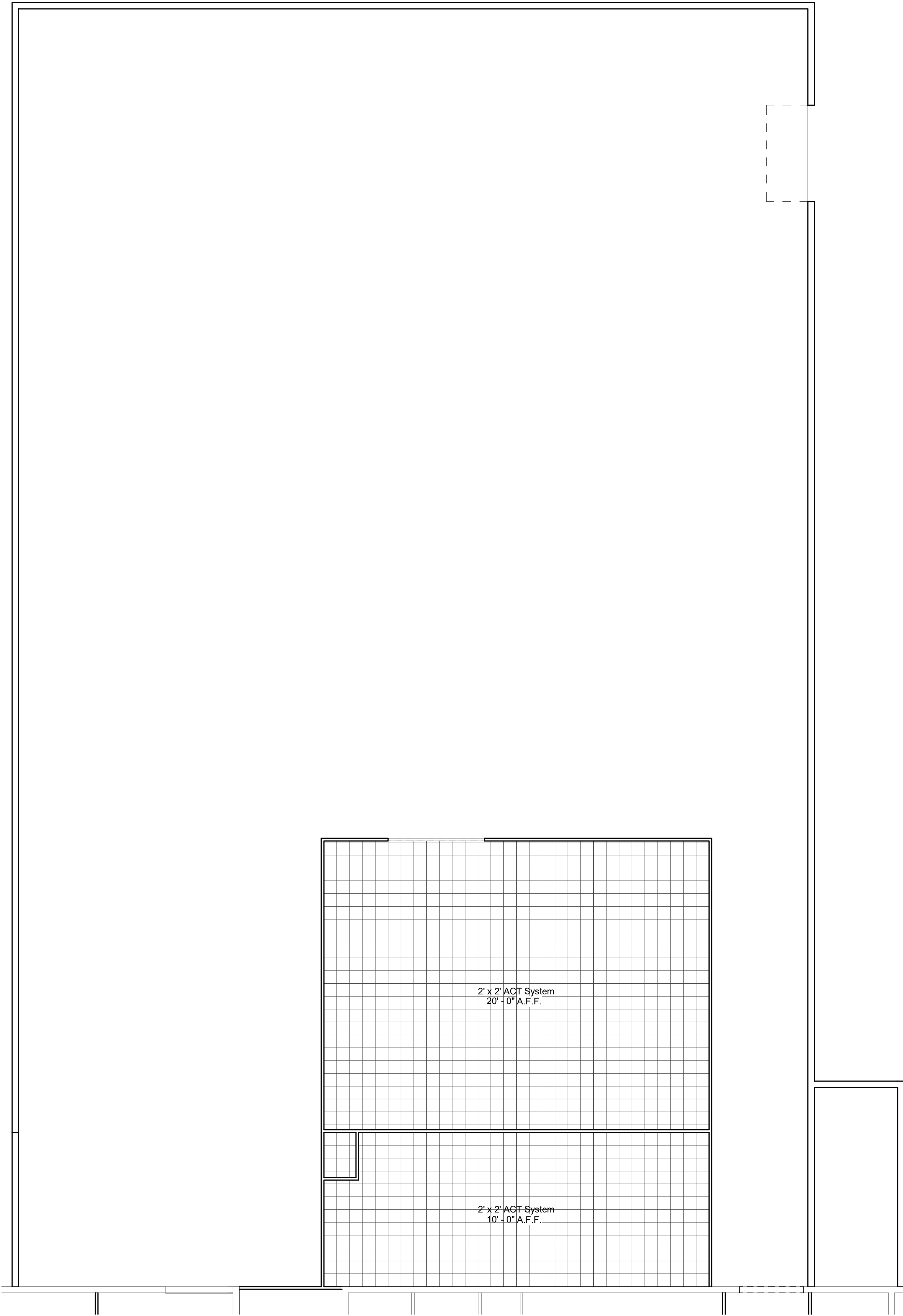
820 SWAN DRIVE MUKWONAGO, WI 53149

DATE: 12/5/2018 10:00:44 AM  
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DESIGNER: Designer  
ISSUE:  
SUBMITTAL DATE/Issue Date  
DESIGN NO. P-01843  
CONSTRUCTION NO.

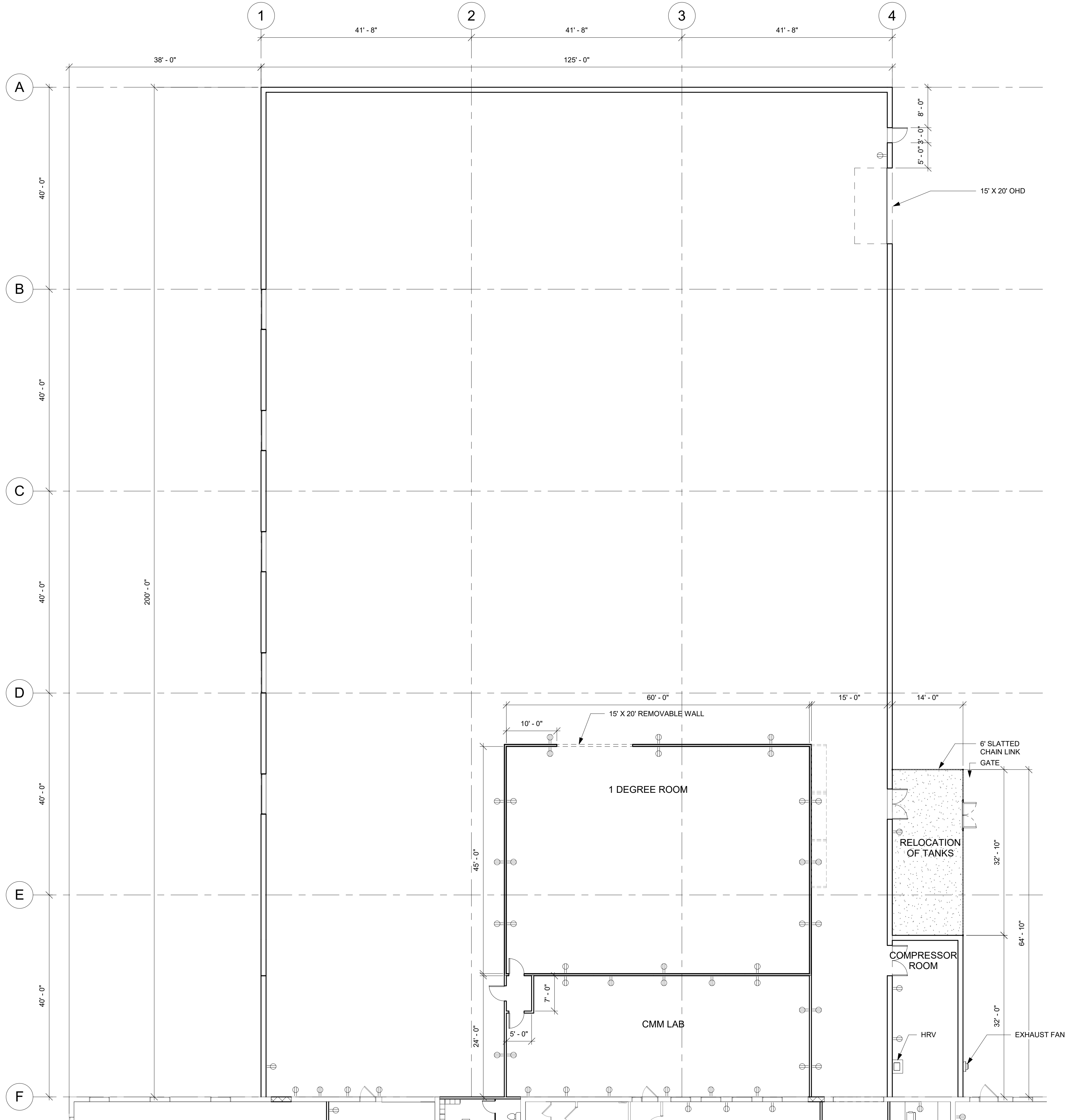
A103

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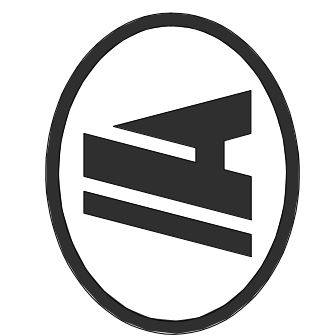
2 ADDITION RCP  
3/32" = 1'-0"



1 ADDITION FLOOR PLAN  
3/32" = 1'-0"

REVISIONS

ANDERSON-  
ASHTON, INC.  
DESIGN / BUILD  
2746 South 166th Street  
New Berlin, WI 53151  
PH: 262.531.1515  
WWW.ANDERSONASHTON.COM

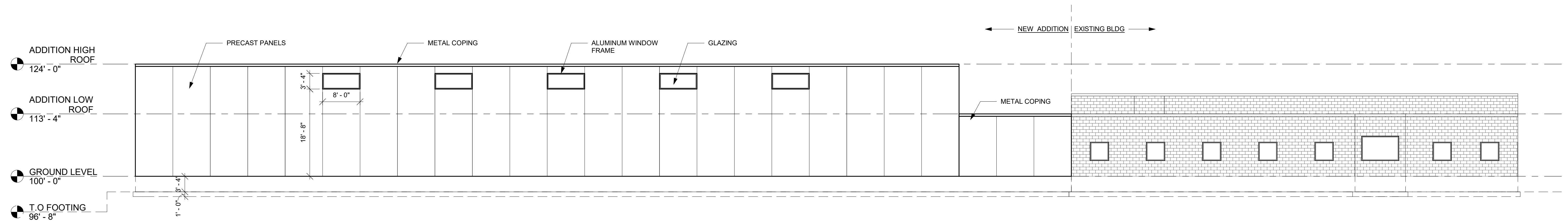


PROPOSED (ADDITION, REMODEL) BUILDING FOR:  
**IDC PRECISION**  
820 SWAN DRIVE MUKWONAGO, WI 53149

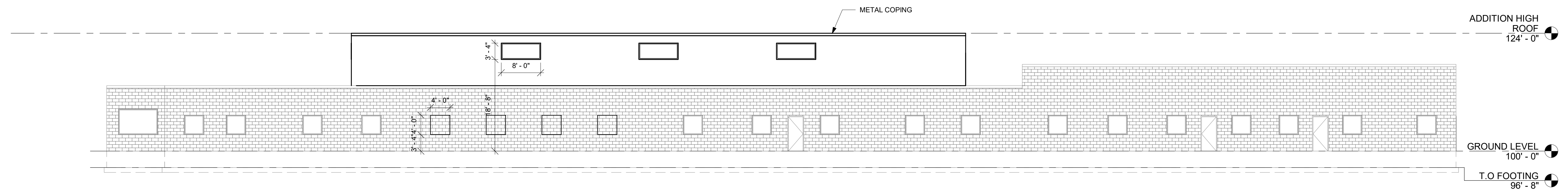
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DESIGNER: Designer  
ISSUE:  
SUBMITTAL DATE Issue Date  
DESIGN NO. P-01843  
CONSTRUCTION NO.

A104

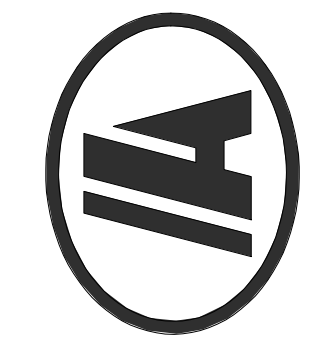




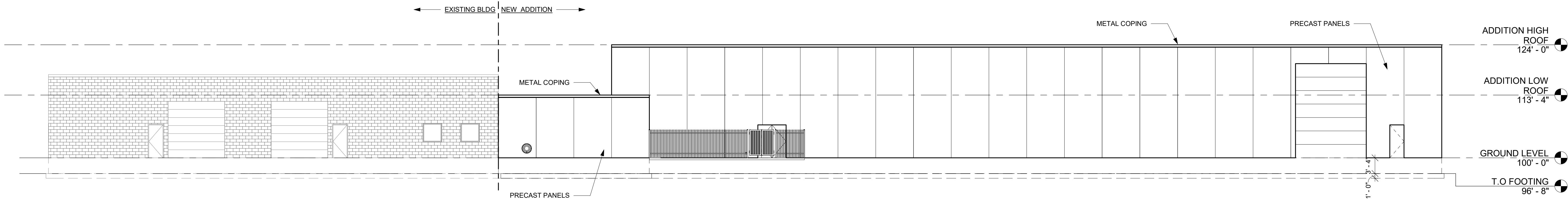
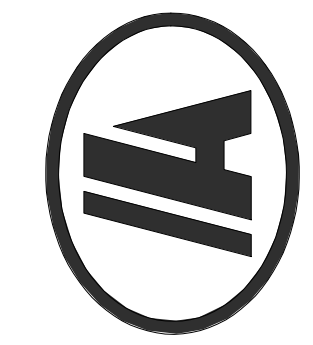
2 SOUTH  
3/32" = 1'-0"



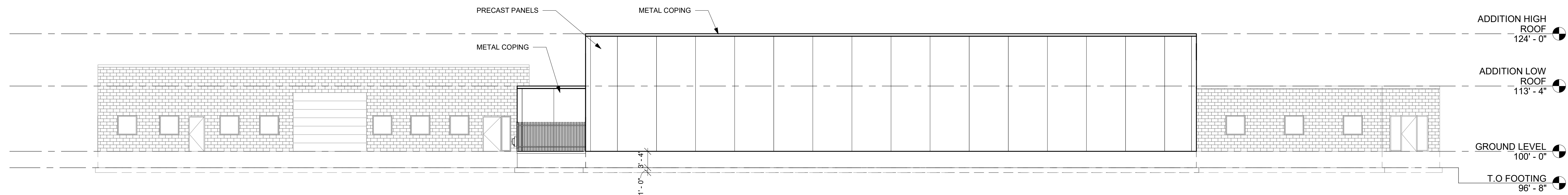
1 EAST  
3/32" = 1'-0"







2 NORTH  
3/32" = 1'-0"



1 WEST  
3/32" = 1'-0"





ISOMETRIC

REVISIONS

ANDERSON-ASHTON, INC.  
DESIGN / BUILD  
2746 South 168th Street  
New Berlin, WI 53151  
PH: 262.531.5151  
WWW.ANDERSONASHTON.COM



PROPOSED (ADDITION, REMODEL) BUILDING FOR:  
**IDC PRECISION**  
820 SWAN DRIVE MUKWONAGO, WI 53149

DATE: 12/6/2018 2:49:50 PM

DRAFTED BY: UH

DESIGNER: SLW

ISSUE:

SUBMITTAL DATE/Issue Date

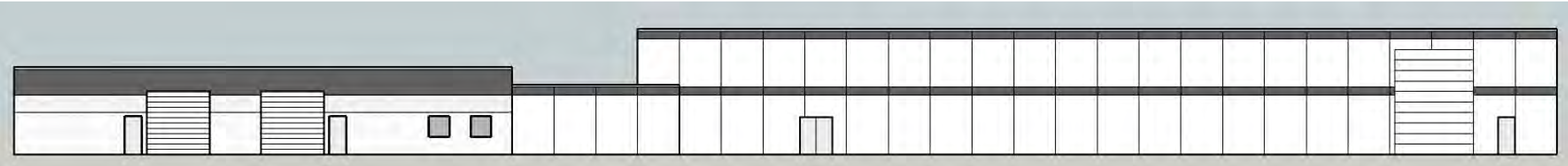
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CONSTRUCTION NO.

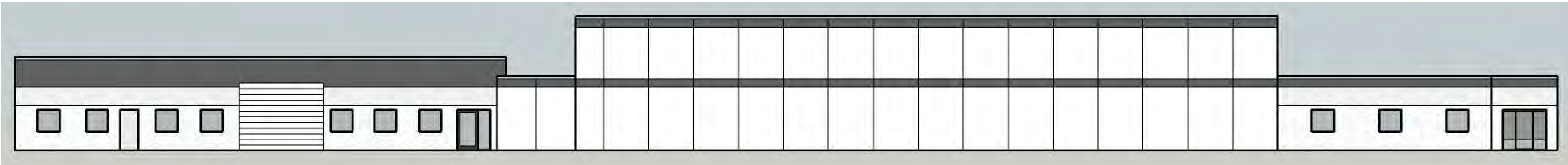
COPYRIGHT PROTECTED 2018

A901





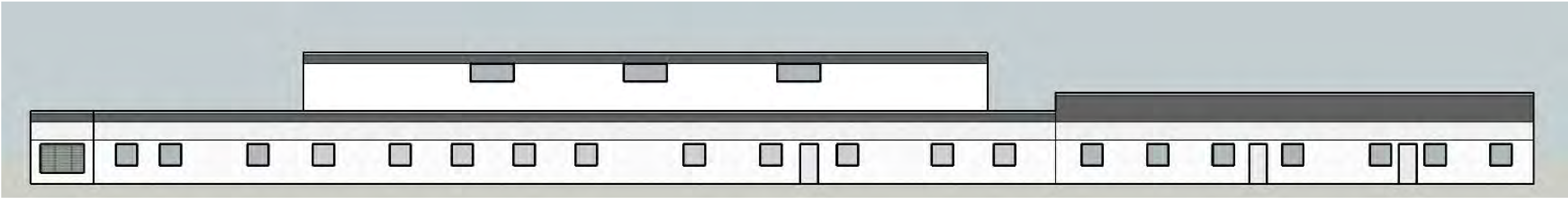
NORTH ELEVATION RENDERING



WEST ELEVATION RENDERING



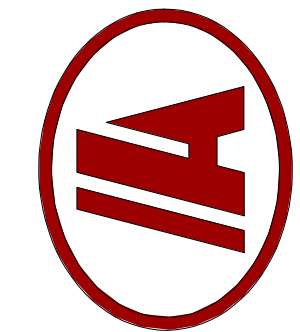
SOUTH ELEVATION RENDERING



EAST ELEVATION RENDERING

REVISIONS

ANDERSON-  
ASHTON, INC.  
DESIGN / BUILD  
2746 South 16th Street  
New Berlin, WI 53151  
PH: 262.531.1515  
WWW.ANDERSONASHTON.COM



PROPOSED (ADDITION, REMODEL) BUILDING FOR:  
**IDC PRECISION**  
820 SWAN DRIVE MUKWONAGO, WI 53149

DATE: 12/6/2018 2:49:50 PM  
DRAFTED BY: UH  
DESIGNER: SLW  
ISSUE:  
SUBMITTAL DATE/Issue Date  
DESIGN NO. P-01843  
CONSTRUCTION NO.

A902



**RESOLUTION 2019-002**

**RESOLUTION APPROVING SITE PLAN AND ARCHITECTURAL REVIEW FOR  
CONSTRUCTION OF AN INDUSTRIAL ADDITION;  
INSTRUMENT DEVELOPMENT CORPORATION, APPLICANT  
820 SWAN DRIVE**

**WHEREAS**, pursuant to Section 100-601 of the Zoning Code, an application for a Site Plan and Architectural Review has been filed for the approval to construct an addition of approximately 25,500 square feet, a permitted use within the M-4, Medium/Heavy Industrial District, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

**WHEREAS**, the application has been submitted by Instrument Development Corporation, and

**WHEREAS**, the construction of the addition includes expansion into and razing of the existing structure at 810 Swan Drive, and

**WHEREAS**, the plan of operation and plans have been reviewed and recommended by the Village Plan Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the Site Plan and Architectural Review for construction of an addition of approximately 25,500 square feet along with associated site improvements at 820 Swan Drive, based upon the plan of operation and plans submitted to the Village.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** this site plan and architectural review approval shall be subject to the following conditions:

1. Site Plan and Architectural Review approval for the construction of an addition of approximately 25,500 square feet along with associated site improvements on behalf of Instrument Development Corporation shall be subject to all plans and information submitted by the applicant, CJ Engineering, Anderson Ashton, Inc. and other subconsultants with all plans and information on file in the office of the Zoning Administrator. The plans may be modified with the approval of the Zoning Administrator and Supervisor of Inspections to conform to Building and Fire Safety Codes and all plans may be further modified to conform to Village design standards. However, the basic layout and design of the site shall remain unchanged.
2. Pursuant to Section 100-402 (f) (5) b. of the Municipal Code (Zoning Ordinance), the Plan Commission approved a waiver to the requirement to install curb and gutter surrounding the new parking lot.
3. Pursuant to Section 100-402 (b) (3) of the Municipal Code (Zoning Ordinance), the Plan Commission approved a reduction of the amount of provided on-site parking spaces. Should the Village of Mukwonago identify that additional parking spaces are needed for the entire facility, within 60 days' notice from the Village applicant shall submit application and all necessary plans for approval of the additional parking spaces. Said additional parking shall be completed within 180 days of the notice from the Village.
4. Prior to the issuance of a building permit to raze the building with an address of 810 Swan Drive and any other site construction to prepare the site for the addition, the following shall occur:



- a. Submittal of and Village approval of a Certified Survey Map combining three properties; the adjacent Village owned property, 810 Swan Drive and 820 Swan Drive.
  - b. Final Village Board approval of transfer of adjacent Village owned land to the applicant pursuant to the terms of transfer completed by the applicant. Filing of transfer documents should occur concurrently with recording of the Certified Survey Map.
  - c. The recording of a Developers Agreement as approved by the Village Board and signed by the applicant. The Developer's Agreement shall include responsibilities of the applicant to restore the Holz Parkway multi-use trail immediately after construction of the Holz Parkway access drive, as part of the approved site plan.
  - d. The recording of a Storm Water Maintenance Agreement as approved by the Village Board and signed by the applicant. Prior to approval of the agreement, a complete storm water management plan shall be approved by the Village Engineer.
  - e. Submittal by the applicant for approval of the Village Attorney of a timeframe and sequence of events to remediate existing soil contamination.
5. Prior to the start of any site construction or issuance of a building permit for the addition, whichever occurs first, the following shall occur:
- a. All final site development plans shall be consistent with the plans noted in Condition No. 1 and as modified pursuant to points listed within this Condition No. 5.
  - b. Approval of the site construction and building plans by the Fire Chief, which may include, but are not limited to, Knox Box and notification requirements, internal fire suppression, external fire department connection location and hydrant locations.
  - c. Approval of the site construction plans by the Utilities Director, especially approval of construction drawings of new Village sanitary sewer and/or water supply connections to the addition, along with proper abandonment of existing connections no longer needed.
  - d. Approval of building plans by the Supervisor of Inspections after receipt of approval of building plans by the State of Wisconsin.
  - e. The Supervisor of Inspections, the Utilities Director, the Public Works Director and the Village Engineer shall approve all site engineering and utility plans and documents, including a complete Erosion Control Plan.
  - f. Approval by the Zoning Administrator of a dumpster enclosure detail, final landscape plan and final site lighting plan. The final landscape plan shall include an inventory and remediation plan if needed, of existing trees to be removed, pursuant to Section 34-146 of the Village Municipal Code.
  - g. Approval of building plans shall include appropriate locations of the external mechanical equipment to be placed hidden from view from neighboring properties, as approved by the Zoning Administrator.
  - h. Approval of directional, no parking signs and other on-site traffic control signs locations by the Police Chief, which also may include pavement markings.
6. Furthermore, in addition to the requirements within Condition #5, before any site construction all Village Department Heads shall verify in writing they have approved the final plans and drawings within their purview; a pre-construction meeting shall be held with the applicant's representatives and contractors, and Village Department Heads and representatives; and all required fees owed by the applicant shall be paid to the Village.
7. Prior to temporary occupancy issuance, and if needed prior to final occupancy permit, the following shall occur:
- a. Completion of all site grading in accordance with submitted and approved plans.
  - b. Completion of the building in accordance with approved plans and all applicable codes.



- c. Completion of paving of driveways and parking lots, including parking space pavement markings and all other pavement markings including handicapped parking signs, and installation of on-site traffic control signs.
- d. Completion of all utility connections.
- 8. Prior to final occupancy permit, which shall be issued no later than 120 days after any temporary occupancy permit, the following shall occur:
  - a. Completion of all items required in Condition No. 7.
  - b. Installation of dumpster enclosure, site lighting and site landscaping, as shown on approved plans.
- 9. All on-site signs (freestanding and wall signs) shall be approved by separate review and permit.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** the applicant, upon the approval of this site plan and architectural review shall agree to accept the same in writing.

Passed and dated this 16<sup>th</sup> day of January 2019.

VILLAGE OF MUKWONAGO

By: \_\_\_\_\_  
Fred Winchowky, Village President

Attest: \_\_\_\_\_  
Judy A. Taubert, Village Clerk

**ACCEPTANCE**

This Site Plan and Architectural Review is accepted, and permittee agrees to abide by the terms thereof.

Village of Mukwonago

By: \_\_\_\_\_  
Representative

Instrument Development Corporation

By: \_\_\_\_\_  
Agent

Print Name: \_\_\_\_\_



**RESOLUTION 2019-003**

**RESOLUTION APPROVING SITE PLAN AND ARCHITECTURAL REVIEW FOR  
CONSTRUCTION OF A RETAIL BUILDING;  
C & H WOLF RUN, LLC, APPLICANT  
SOUTHWEST CORNER OF STH 83 AND WOLF RUN**

**WHEREAS**, pursuant to Section 100-601 of the Zoning Code, an application for a Site Plan and Architectural Review has been filed for the approval to construct a retail building of approximately 3,000 square feet, a permitted use within the B-2, General Business District, at the southwest corner of STH 83 and Wolf Run, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

**WHEREAS**, the application has been submitted by C & H Wolf Run, LLC, and

**WHEREAS**, the new retail building is intended to be occupied by Verizon Wireless, and

**WHEREAS**, the plan of operation and plans have been reviewed and recommended by the Village Plan Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the Site Plan and Architectural Review for construction of a retail building of approximately 3,000 square feet along with associated site improvements at the southwest corner of STH 83 and Wolf Run, based upon the plan of operation and plans submitted to the Village.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** this Site Plan and Architectural Review approval shall be subject to the following conditions:

1. Site Plan and Architectural Review approval for the construction of an addition of a 3,000 square feet retail building with associated site improvements at the southwest corner of STH 83 and Wolf Run shall be subject to all plans and information submitted by the property owner, Endpoint Solutions, Schroeder Holt Architects and other subconsultants with all plans and information on file in the office of the Zoning Administrator. The plans may be modified with the approval of the Zoning Administrator and Supervisor of Inspections to conform to Building and Fire Safety Codes and all plans may be further modified to conform to Village design standards. However, the basic layout and design of the site shall remain unchanged.
2. Prior to the start of any site construction or issuance of a building permit, whichever occurs first, the applicant and/or property owner shall submit to the Village Zoning Administrator written concurrence from the neighboring property owner regarding shared access and the shared dumpster enclosure location.
3. Prior to the start of any site construction or issuance of a building permit, whichever occurs first, the applicant and/or property owner shall sign the agreement with the Village allowing the owner to construct the Wolf Run median opening.
4. Prior to the start of any site construction or issuance of a building permit, whichever occurs first, the following shall occur:



- a. All final site development plans shall be consistent with the plans noted in Condition No. 1 and as modified pursuant to points listed within this Condition No. 4.
  - b. Approval of the site construction and building plans by the Fire Chief, which may include, but are not limited to, Knox Box and notification requirements, internal fire suppression, external fire department connection location and hydrant locations.
  - c. Approval of the site construction plans by the Utilities Director, especially approval of construction drawings of new Village sanitary sewer and/or water supply connections to the building.
  - d. Approval of building plans by the Supervisor of Inspections after receipt of approval of building plans by the State of Wisconsin.
  - e. The Supervisor of Inspections, the Utilities Director, the Public Works Director and the Village Engineer shall approve all site engineering and utility plans and documents, including a complete Erosion Control Plan.
  - f. Approval by the Zoning Administrator of the final landscape plan and final site lighting plan.
  - g. Approval of building plans shall include appropriate locations of the external mechanical equipment to be placed hidden from view from neighboring properties, as approved by the Zoning Administrator.
  - h. Approval of directional, no parking signs and other on-site traffic control signs locations by the Police Chief, which also may include pavement markings.
5. Furthermore, in addition to the requirements within Condition #4, before any site construction all Village Department Heads shall verify in writing they have approved the final plans and drawings within their purview; a pre-construction meeting shall be held with the applicant's representatives and contractors, and Village Department Heads and representatives; and all required fees owed by the applicant shall be paid to the Village.
6. Prior to temporary occupancy issuance, and if needed prior to final occupancy permit, the following shall occur:
- a. Completion of all site grading in accordance with submitted and approved plans.
  - b. Completion of the building in accordance with approved plans and all applicable codes.
  - c. Completion of paving of driveways and parking lots, including parking space pavement markings and all other pavement markings including handicapped parking signs, and installation of on-site traffic control signs.
  - d. Completion of all utility connections.
7. Prior to final occupancy permit, which shall be issued no later than 120 days after any temporary occupancy permit, the following shall occur:
- a. Completion of all items required in Condition No. 6.
  - b. Installation of dumpster enclosure, site lighting and site landscaping, as shown on approved plans.
8. All on-site signs (freestanding and wall signs) shall be approved by separate review and permit.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** the applicant, upon the approval of this Site Plan and Architectural Review shall agree to accept the same in writing.



Passed and dated this 16<sup>th</sup> day of January 2019.

VILLAGE OF MUKWONAGO

By: \_\_\_\_\_  
Fred Winchowky, Village President

Attest: \_\_\_\_\_  
Judy A. Taubert, Village Clerk

**ACCEPTANCE**

This Site Plan and Architectural Review is accepted, and permittee agrees to abide by the terms thereof.

Village of Mukwonago

By: \_\_\_\_\_  
Representative

C & H Wolf Run, LLC

By: \_\_\_\_\_  
Agent

Print Name: \_\_\_\_\_



# Verizon - Mukwonago

Highway 83 & Wolf Run, Mukwonago, WI 53149



## PROJECT TEAM:

OWNER:	ARCHITECT:	GENERAL CONTRACTOR/DEVELOPER:	STRUCTURAL ENGINEER:	CIVIL ENGINEER:
Cellular Sales 9040 Executive Park Drive Knoxville, TN 37923 TEL: (540) 209-2487 email warren.keays@cellularsales.com ATTN: Warren Keays	SHA, LLC 311 E. Chicago, Suite 310 Milwaukee, WI 53202 TEL: (414) 276-1760 email bborelli@sha-a2k.com ATTN: Brooke Borelli	Campbell Construction 461 River Crest Ct. Mukwonago, WI 53149 TEL: (262) 436-4760 email jay@campbellconstructionbbg.com ATTN: Jay Campbell	Pierce Engineers 181 N. Broadway Milwaukee, WI 53202 TEL: (414) 278-6060 email tjc@pierceengineers.com ATTN: Tom Cowan	Endpoint Solutions Corp. 6871 South Lovers Lane Franklin, WI 53132 TEL: (414) 427-1200 email ryan@endpointcorporation.com ATTN: Ryan Baeten

## GENERAL NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VISIT THE SITE AND BECOME FAMILIAR WITH THE SITE CONDITIONS.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS.
3. REFER TO THE SOILS REPORT FOR SUBSURFACE CONDITIONS, BEARING CAPACITIES, ETC. NOTIFY THE ARCHITECT, ENGINEER AND OWNER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS, SPECIFICATIONS OR SITE CONDITIONS.
4. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST BUILDING CODES, ORDINANCES AND REGULATIONS OF THE CITY OR COUNTY WITH JURISDICTION.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTING AS REQUIRED BY THE CONTRACT DOCUMENTS OR ANY GOVERNMENT AGENCY.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, UTILITIES, OTHER SERVICES AND RELATED TASKS NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS.
7. THE GENERAL CONTRACTOR IS TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS. COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKER AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO THE JOBSITE. WHERE DAMAGE OCCURS, REPAIR OR REPLACE DAMAGED AREA AND/OR MATERIAL AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST. THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL HOURS.
8. THE GENERAL CONTRACTOR SHALL BRING ANY REVISION OR ADDITIONAL WORK REQUIRED BY FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES TO THE ATTENTION OF THE ARCHITECT AND OWNER BEFORE PROCEEDING.
9. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING(S). BRING ALL UTILITY LINES (WATER, SEWER, GAS, STORM DRAIN, TELEPHONE AND ELECTRICAL, ETC.) INTO THE BUILDING AS INDICATED ON THE CONSTRUCTION DOCUMENTS. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT, OWNER & CIVIL ENGINEER.
10. NO BUILDING OR PORTION OF A BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE PRIOR TO THE ISSUANCE OF THE TEMPORARY CERTIFICATE OF OCCUPANCY. APPROVAL FOR OCCUPANCY IS ONLY GRANTED AFTER ACCEPTANCE BY GOVERNING AGENCIES.
11. THE REMOVAL OF ALL HAZARDOUS CONTAINING MATERIALS IS THE SOLE RESPONSIBILITY OF THE OWNER. SHOULD ANY MATERIALS BE ENCOUNTERED DURING ANY PHASE OF CONSTRUCTION, OR SUSPECTED TO BE HAZARDOUS, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY OWNER.

## PROJECT INFORMATION:

GOVERNING CODE:	WISCONSIN ADOPTED 2015 IBC
CONSTRUCTION TYPE:	VB
OCCUPANCY CLASSIFICATION:	GROUP M - MERCANTILE
OCCUPANCY SEPARATION:	NON SEPARATED USE
NUMBER OF STORIES ALLOWED:	1
NUMBER OF STORIES:	1
ALLOWABLE BUILDING AREA:	9,000sf
TOTAL BUILDING AREA:	3,000sf
ALLOWABLE BUILDING HEIGHT:	40'-0"
BUILDING HEIGHT:	22'-0"
SPRINKLER SYSTEM:	NONE
FIRE EXTINGUISHERS:	PER IFC

### ARCHITECTURAL

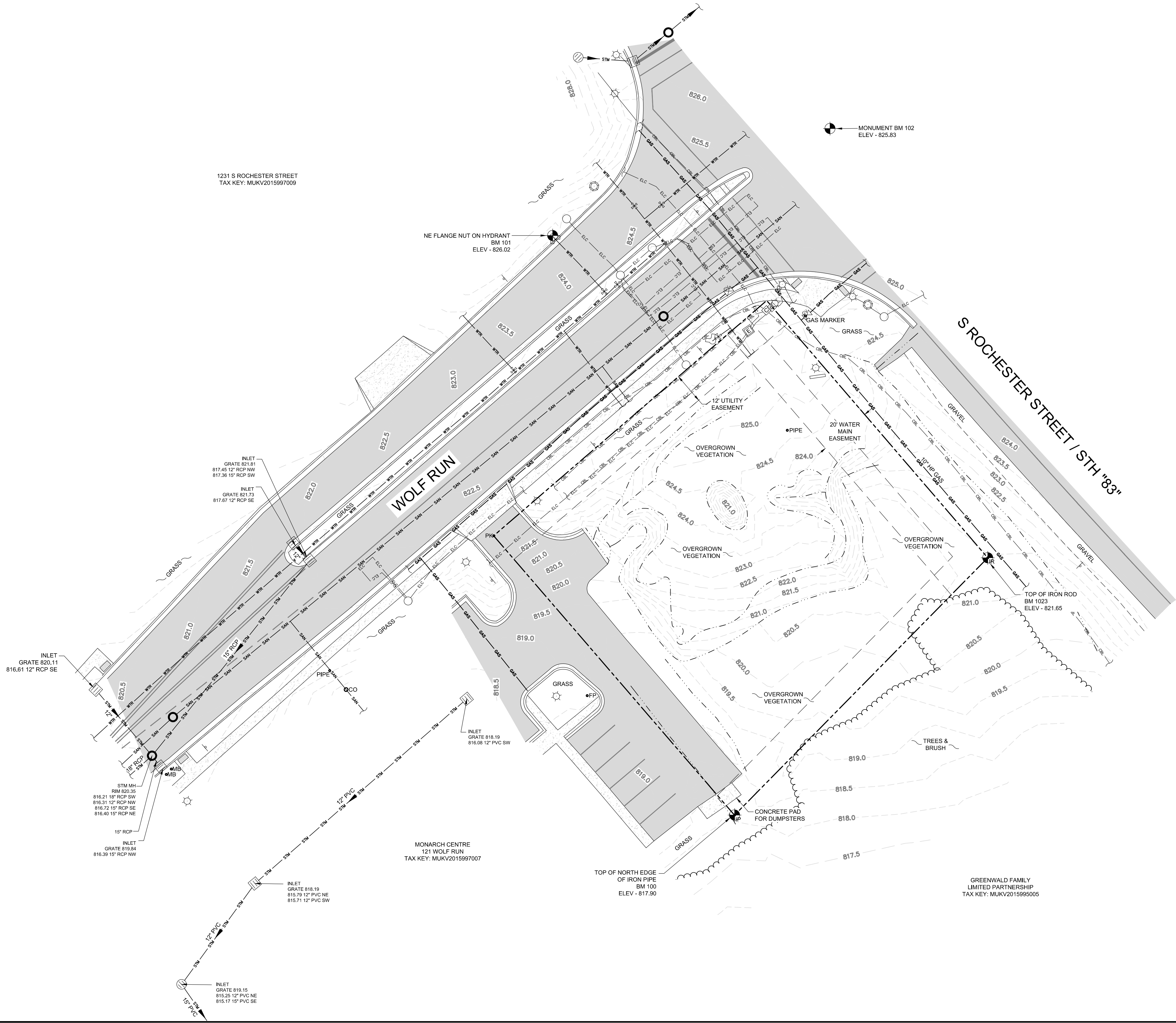
### STRUCTURAL

## SHEET INDEX:

CIVIL	
C1	PRE-CONSTRUCTION CONDITIONS
C2	SITE LAYOUT PLAN
C3	GRADING PLAN
C4	STORMWATER MANAGEMENT AND EROSION CONTROL PLAN
C5	EROSION AND SEDIMENT CONTROL DETAILS
C6	CONSTRUCTION DETAILS
ARCHITECTURAL	
A1.1	FLOOR PLAN
A1.2	ROOF PLAN
A2.1	EXTERIOR ELEVATIONS
A2.2	EXTERIOR ELEVATIONS
A2.3	RENDERINGS
A2.4	RENDERINGS
LANDSCAPE	
LT	LANDSCAPE PLAN

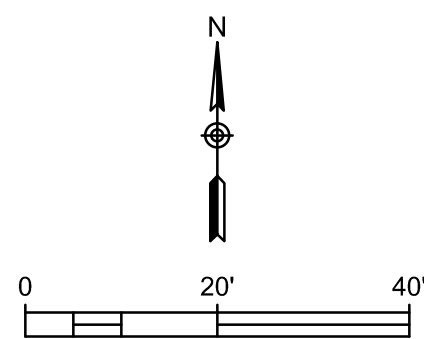


Dec 04, 2018 9:54am PLOTTED BY: ndraskovich SAVED BY: ndraskovich  
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IMAGES: T:\Template Forms\CADD\Logos\Endpoint Solutions HI-Res.jpg  
XREFS: \Endpoint Border-Verizon Mukwonago.dwg; \Survey Base-Verizon Site Mukwonago.dwg



PROPERTY DESCRIPTION:  
PARCEL 1 OF CERTIFIED SURVEY MAP NO. 7614,  
RECORDED FEBRUARY 23, 1995 IN VOLUME 65 OF  
CERTIFIED SURVEY MAPS ON PAGES 89-91, AS  
DOCUMENT NO. 2024733, BEING A REDIVISION OF PARCEL  
3, C.S.M. #6333 BEING LOCATED IN THE NORTHEAST 1/4  
OF THE SOUTHWEST 1/4 OF SECTION 36, TOWN 5 NORTH,  
RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO,  
COUNTY OF WAUKESHA, STATE OF WISCONSIN.  
  
THE LAND AREA OF THE SUBJECT PROPERTY IS 18,968  
SQUARE FEET OR 0.44 ACRES.

- APPROXIMATE PROPERTY LINE
- PAVEMENT/CONCRETE/EDGE OF GRASS
- PAVEMENT MARKING
- TOE OF SLOPE/SWALE
- TOP OF SLOPE
- EDGE OF TREES & BRUSH
- UNDERGROUND COMMUNICATIONS
- UNDERGROUND ELECTRIC LINE
- GAS LINE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN/SERVICE
- MAJOR CONTOUR, (2.5' INTERVAL)
- MINOR CONTOUR, (0.5' INTERVAL)
- ASPHALT
- CONCRETE
- BENCHMARK
- IRON PIPE FOUND
- IRON ROD FOUND
- PK NAIL FOUND
- CLEAN OUT
- FLAG POLE
- MAIL BOX
- SIGN
- GAS VALVE
- WATER VALVE
- HYDRANT
- STORM SEWER INLET
- ELECTRIC/UTILITY VAULT
- SANITARY/STORM MANHOLE
- LIGHT POLE
- COMMUNICATIONS PEDESTAL/BOX
- ELECTRIC TRANSFORMER
- END OF UTILITY
- END OF UTILITY LOCATE MARKING



SURVEY PERFORMED BY ENDPOINT SOLUTIONS CORP.  
ON 10/29/18 SURVEY GRADE GPS COORDINATES ARE  
BASED ON NAD 83 WISCONSIN STATE PLANE, SOUTH  
ZONE, US FOOT, VERTICAL DATUM NAVD 88.

PROPERTY BOUNDARY DRAWN PER CHAPUT LAND  
SURVEYORS MEATS & BOUNDS DESCRIPTION PER  
EXHIBIT DRAWING NO. 2767-jhc. PROPERTY BOUNDARY  
FIT TO FOUND IRON PIPE, IRON ROD AND PK NAIL FOR (3)  
THREE OF THE (4) FOUR PROPERTY CORNERS.

VERIZON MUKWONAGO

## PRE-CONSTRUCTION CONDITIONS

WOLF RUN & S ROCHESTER STREET  
MUKWONAGO, WISCONSIN 53149

**Endpoint Solutions**

6871 S. LOVERS LANE  
FRANKLIN, WI 53132  
PHONE: (414) 427-1200

DRAWN BY: NWD DATE: 12/04/18  
CHECKED BY: RJB DATE: 12/04/18  
APPROVED BY: WCV DATE: 12/04/18

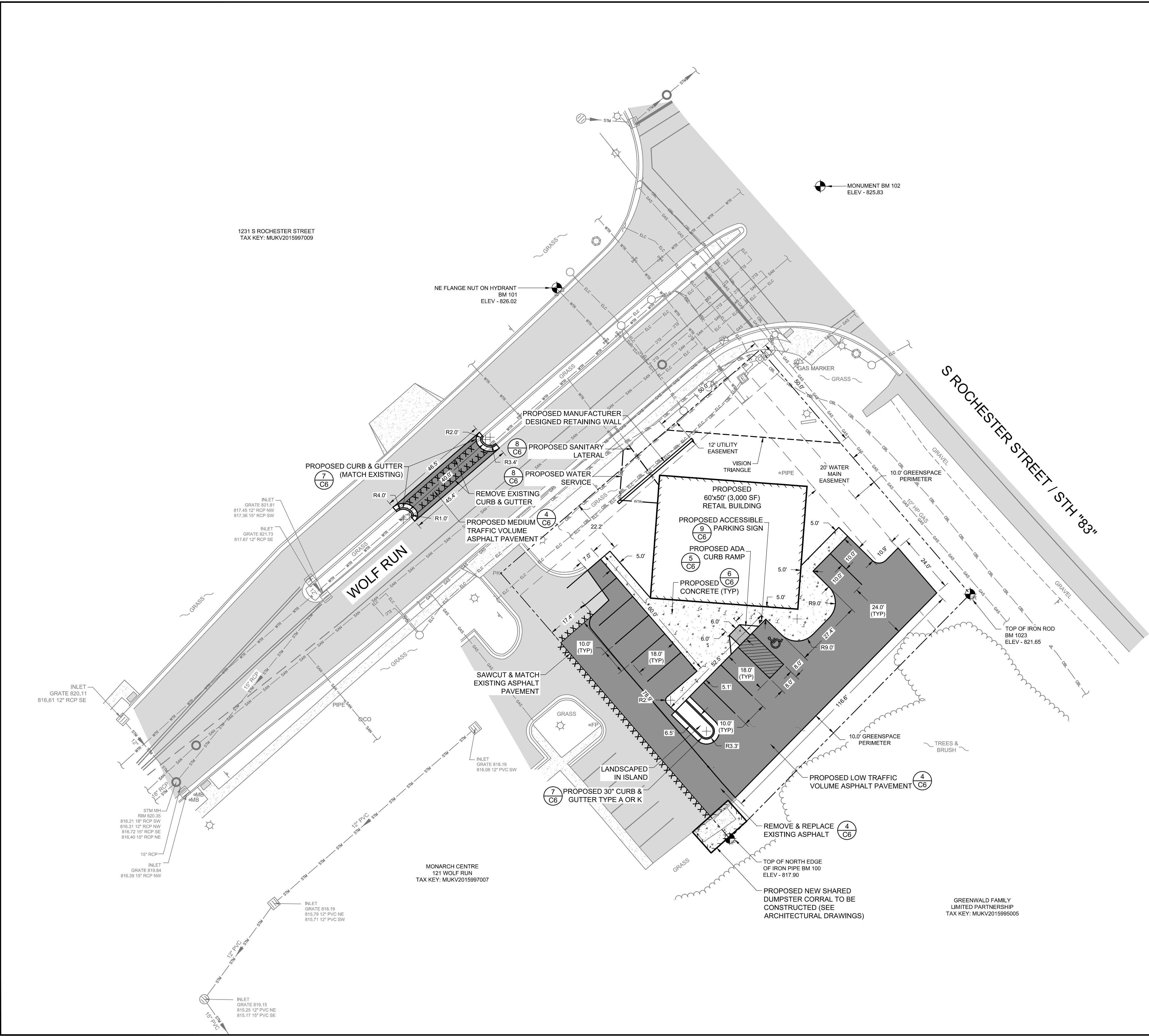
PROJECT NO.  
560-001-001

SHEET NO.  
**C1**

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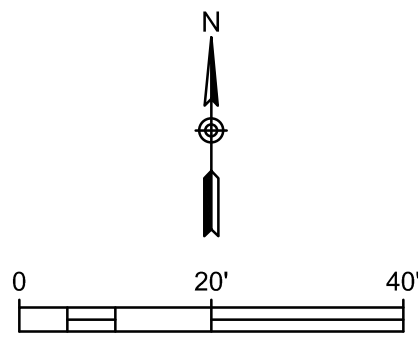


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PARCEL AREA	18,964 SF
NEW BUILDING	3,000 SF
NEW CONCRETE	1,690 SF
NEW ASPHALT	6,440 SF
EXISTING ASPHALT	760 SF
TOTAL IMERVIOUS AREA	11,890 SF
% IMPERVIOUS	62.7%

---	APPROXIMATE PROPERTY LINE
---	PAVEMENT/CONCRETE/EDGE OF GRASS
---	PAVEMENT MARKING
---	TOE OF SLOPE/SWALE
---	TOP OF SLOPE
---	EDGE OF TREES & BRUSH
---	UNDERGROUND COMMUNICATIONS
---	UNDERGROUND ELECTRIC LINE
---	GAS LINE
---	SANITARY SEWER
---	STORM SEWER
---	WATER MAIN/SERVICE
---	PROPOSED BUILDING
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED SANITARY LATERAL
---	PROPOSED WATER SERVICE
---	EXISTING ASPHALT
---	EXISTING CONCRETE
---	PROPOSED ASPHALT
---	PROPOSED CONCRETE
---	BENCHMARK
---	IRON PIPE FOUND
---	IRON ROD FOUND
---	PK NAIL FOUND
---	CLEAN OUT
---	FLAG POLE
---	MAIL BOX
---	SIGN
---	GAS VALVE
---	WATER VALVE
---	HYDRANT
---	STORM SEWER INLET
---	ELECTRIC/UTILITY VAULT
---	SANITARY/STORM MANHOLE
---	LIGHT POLE
---	COMMUNICATIONS PEDESTAL/BOX
---	ELECTRIC TRANSFORMER
---	END OF UTILITY
---	END OF UTILITY LOCATE MARKING



SURVEY PERFORMED BY ENDPOINT SOLUTIONS CORP.  
ON 10/29/18 SURVEY GRADE GPS. COORDINATES ARE  
BASED ON NAD 83 WISCONSIN STATE PLANE, SOUTH  
ZONE, US FOOT, VERTICAL DATUM NAVD 88.

PROPERTY BOUNDARY DRAWN PER CHAPUT LAND  
SURVEYORS MEATS & BOUNDS DESCRIPTION PER  
EXHIBIT DRAWING NO. 2767-jhc. PROPERTY BOUNDARY  
FIT TO FOUND IRON PIPE, IRON ROD AND PK NAIL FOR (3)  
THREE OF THE (4) FOUR PROPERTY CORNERS.

VERIZON MUKWONAGO

## SITE LAYOUT PLAN

WOLF RUN & S ROCHESTER STREET  
MUKWONAGO, WISCONSIN 53149

**Endpoint Solutions**

6871 S. LOVERS LANE  
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PHONE: (414) 427-1200

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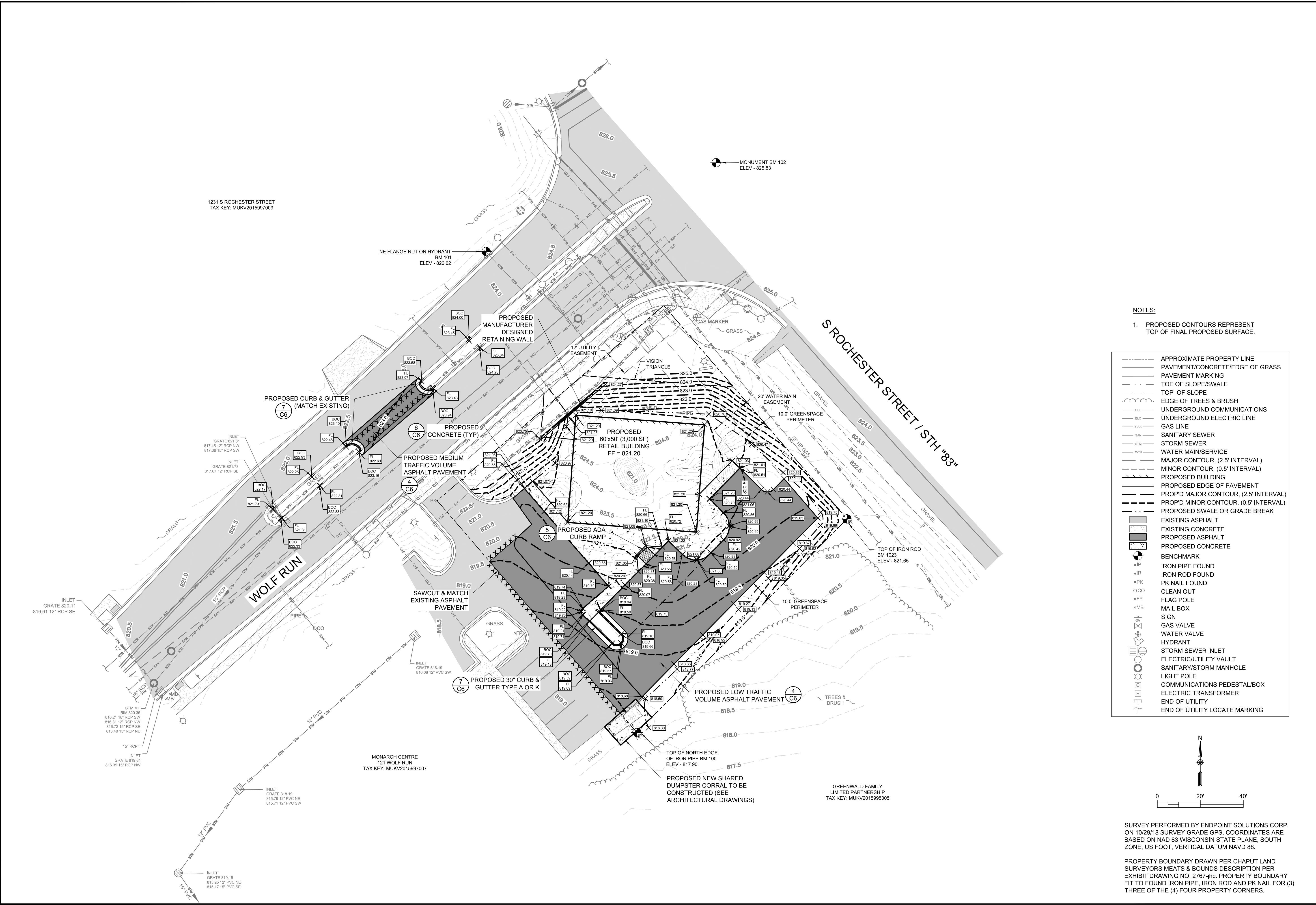
PROJECT NO.  
560-001-001

SHEET NO.  
**C2**

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Dec 04, 2018 9:55am PLOTTED BY: ndraskovich SAVED BY: ndraskovich  
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Endpoint Solutions

VERIZON MUKWONAGO  
GRADING PLAN  
WOLF RUN & S ROCHESTER STREET  
MUKWONAGO, WISCONSIN 53149

DRAWN BY: NWD DATE: 12/04/18  
CHECKED BY: RJB DATE: 12/04/18  
APPROVED BY: WCV DATE: 12/04/18

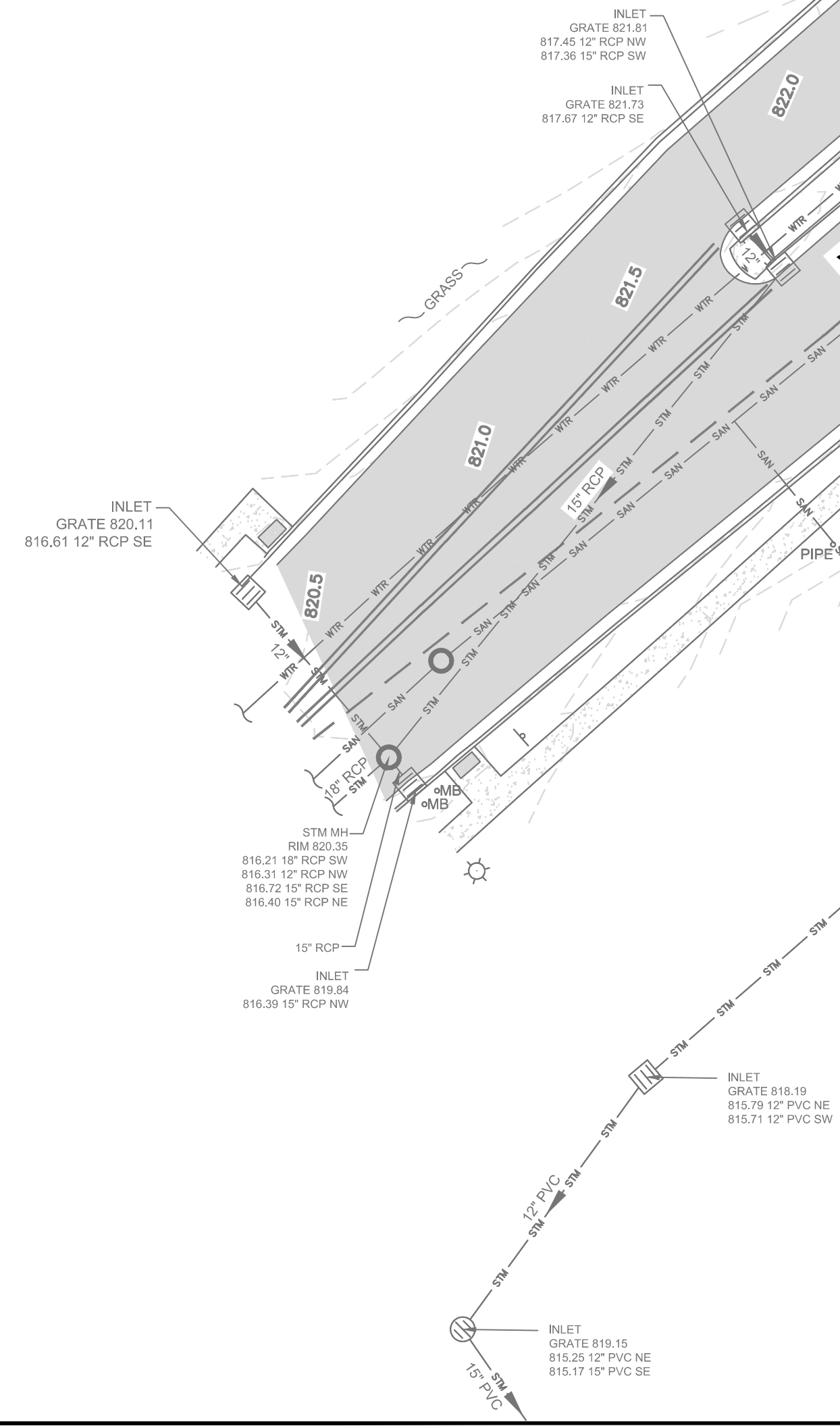
PROJECT NO.  
560-001-001

SHEET NO.  
C3

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ISSUED FOR PERMITTING

6871 S. LOVERS LANE  
FRANKLIN, WI 53132  
PHONE: (414) 427-1200

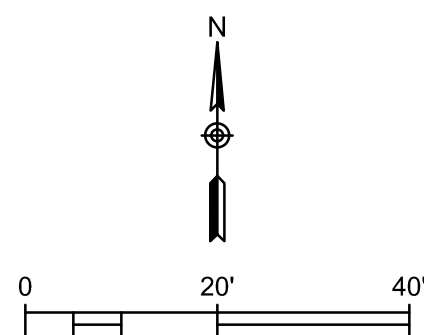




1. CONSTRUCT AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) CHAPTERS NR 151 AND NR 216, WISCONSIN ADMINISTRATIVE CODE, AND APPROPRIATE WDNR TECHNICAL STANDARDS. EROSION AND SEDIMENT CONTROL PRODUCTS SHALL BE LISTED IN THE WISCONSIN DEPARTMENT OF TRANSPORTATION PRODUCT ACCEPTABILITY LIST (WisDOT PAL). THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF THESE STATE REQUIREMENTS, TECHNICAL STANDARDS, AND WisDOT PAL.
2. IMPLEMENT EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) PRIOR TO SOIL DISTURBING ACTIVITIES (E.G., CLEARING, GRUBBING, TOPSOIL STRIPING, EXCAVATION, MATERIAL STOCKPILING, ETC.). INSTALL EROSION CONTROL MEASURES AROUND STOCKPILE LOCATIONS.
3. MINIMIZE DISTURBED AREA BY PHASING OR SEQUENCING CONSTRUCTION AND PRESERVING EXISTING VEGETATION WHERE POSSIBLE.
4. DIVERT STORM WATER AWAY FROM DISTURBED OR EXPOSED AREAS WHEN POSSIBLE.
5. PROTECT ADJACENT PROPERTIES WITH SEDIMENT BALE BARRIERS OR SILT FENCE UNTIL CONSTRUCTION IS COMPLETE IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS 1055 OR 1056, RESPECTIVELY.
6. INSTALL A GRAVEL TRACKING PAD AT EACH UNPAVED CONSTRUCTION AREA ENTRANCE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057. GRAVEL SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPED PERIODICALLY TO REMOVE SOIL, DIRT, AND/OR DUST.
7. PROTECT INLETS, CATCH BASINS, AND OTHER CONVEYANCE STRUCTURES WITH STRAW BALES, FILTER FABRIC, OR OTHER APPROPRIATE MEASURES IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1060.
8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1062.
9. PROVIDE DUST CONTROL TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
10. DURING DEWATERING ACTIVITIES, UTILIZE A COMPARTMENTED CONTAINER, SETTLING BASIN, FILTER, OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICE FOR TREATING SEDIMENT-LADEN WATER PRIOR TO DISCHARGE OFF-SITE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.
11. INSPECT THE SITE REGULARLY AND PROPERLY MAINTAIN BMPs, ESPECIALLY AFTER RAINSTORMS. AT MINIMUM, INSPECTIONS OF CONSTRUCTION BMPs ARE REQUIRED AT LEAST ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5 INCH OR MORE.
12. BMPs MUST BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION OR NOTIFICATION OF A PROBLEM.
13. KEEP THE CONSTRUCTION SITE CLEAN BY PUTTING TRASH IN TRASH CANS, KEEPING STORAGE BINS COVERED, AND PREVENTING OR REMOVING EXCESS SEDIMENT ON ROADS AND OTHER IMPERVIOUS SURFACES.

1. PROPOSED CONTOURS REPRESENT  
TOP OF FINAL PROPOSED SURFACE.

	APPROXIMATE PROPERTY LINE
	PAVEMENT/CONCRETE/EDGE OF GRASS
	PAVEMENT MARKING
	TOE OF SLOPE/SWALE
	TOP OF SLOPE
	EDGE OF TREES & BRUSH
	UNDERGROUND COMMUNICATIONS
	UNDERGROUND ELECTRIC LINE
	GAS LINE
	SANITARY SEWER
	STORM SEWER
	WATER MAIN/SERVICE
	MAJOR CONTOUR, (2.5' INTERVAL)
	MINOR CONTOUR, (0.5' INTERVAL)
	PROPOSED BUILDING
	PROPOSED EDGE OF PAVEMENT
	PROPD MAJOR CONTOUR, (2.5' INTERVAL)
	PROPD MINOR CONTOUR, (0.5' INTERVAL)
	PROPOSED SILT FENCE
	PROPOSED SWALE OR GRADE BREAK
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	BENCHMARK
	IRON PIPE FOUND
	IRON ROD FOUND
	PK NAIL FOUND
	CLEAN OUT
	FLAG POLE
	MAIL BOX
	SIGN
	GAS VALVE
	WATER VALVE
	HYDRANT
	STORM SEWER INLET
	ELECTRIC/UTILITY VAULT
	SANITARY/STORM MANHOLE
	LIGHT POLE
	COMMUNICATIONS PEDESTAL/BOX
	ELECTRIC TRANSFORMER
	END OF UTILITY
	END OF UTILITY LOCATE MARKING



SURVEY PERFORMED BY ENDPOINT SOLUTIONS CORP.  
ON 10/29/18 SURVEY GRADE GPS. COORDINATES ARE  
BASED ON NAD 83 WISCONSIN STATE PLANE, SOUTH  
ZONE, US FOOT, VERTICAL DATUM NAVD 88.

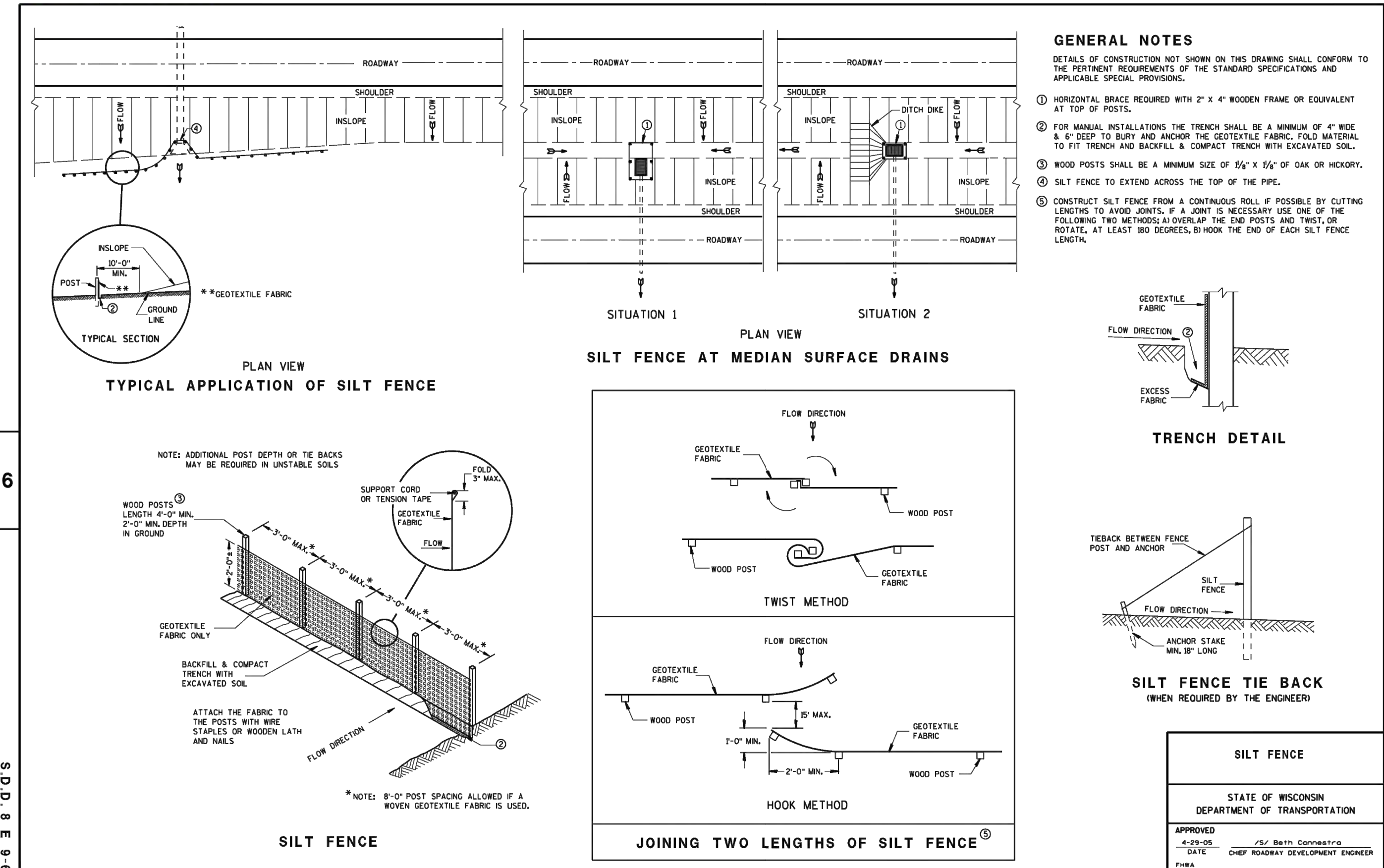
PROPERTY BOUNDARY DRAWN PER CHAPUT LAND  
SURVEYORS MEATS & BOUNDS DESCRIPTION PER  
EXHIBIT DRAWING NO. 2767-jhc. PROPERTY BOUNDARY  
FIT TO FOUND IRON PIPE, IRON ROD AND PK NAIL FOR (3  
THREE OF THE (4) FOUR PROPERTY CORNERS.

[illegible]



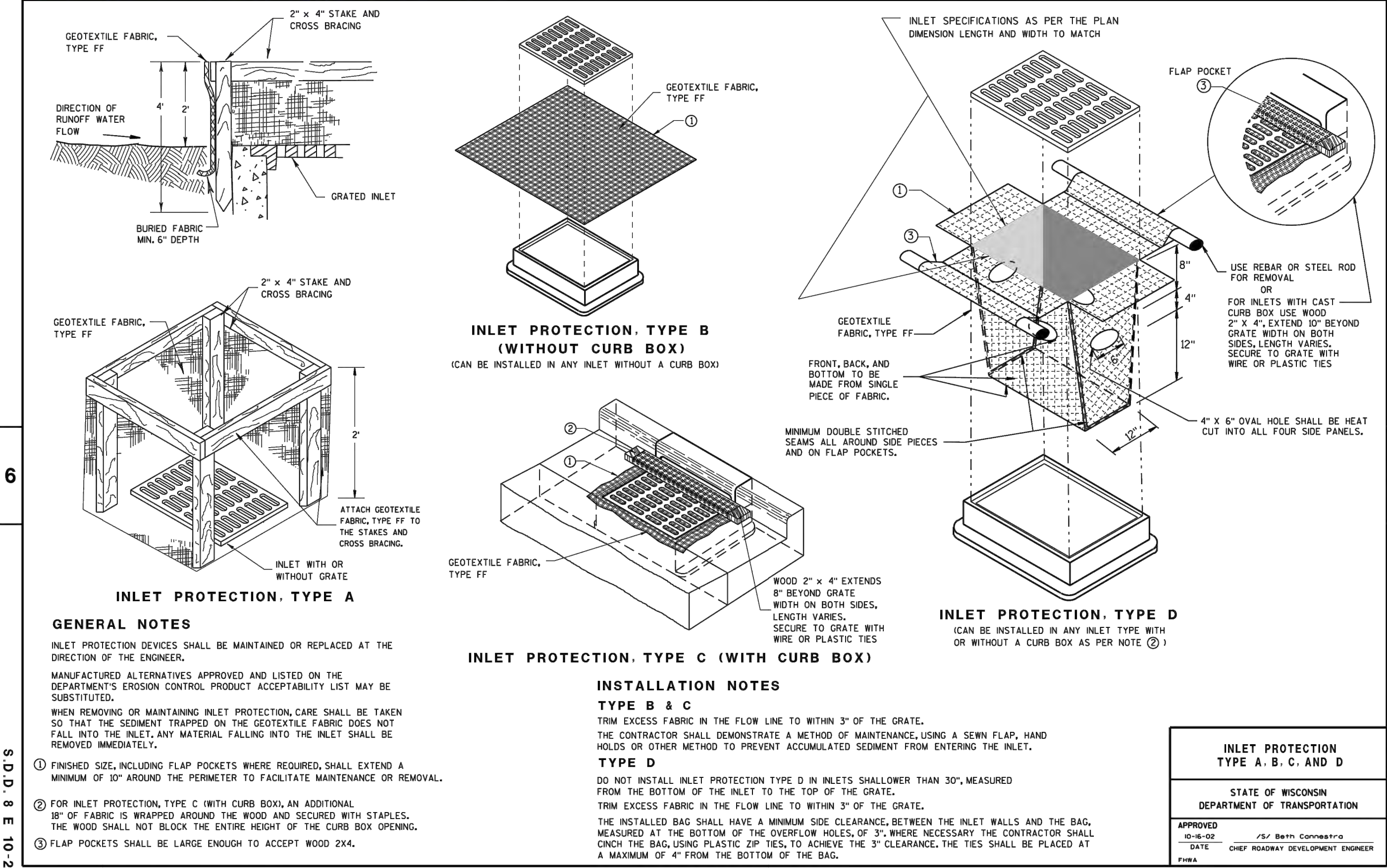
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8E9: Silt Fence

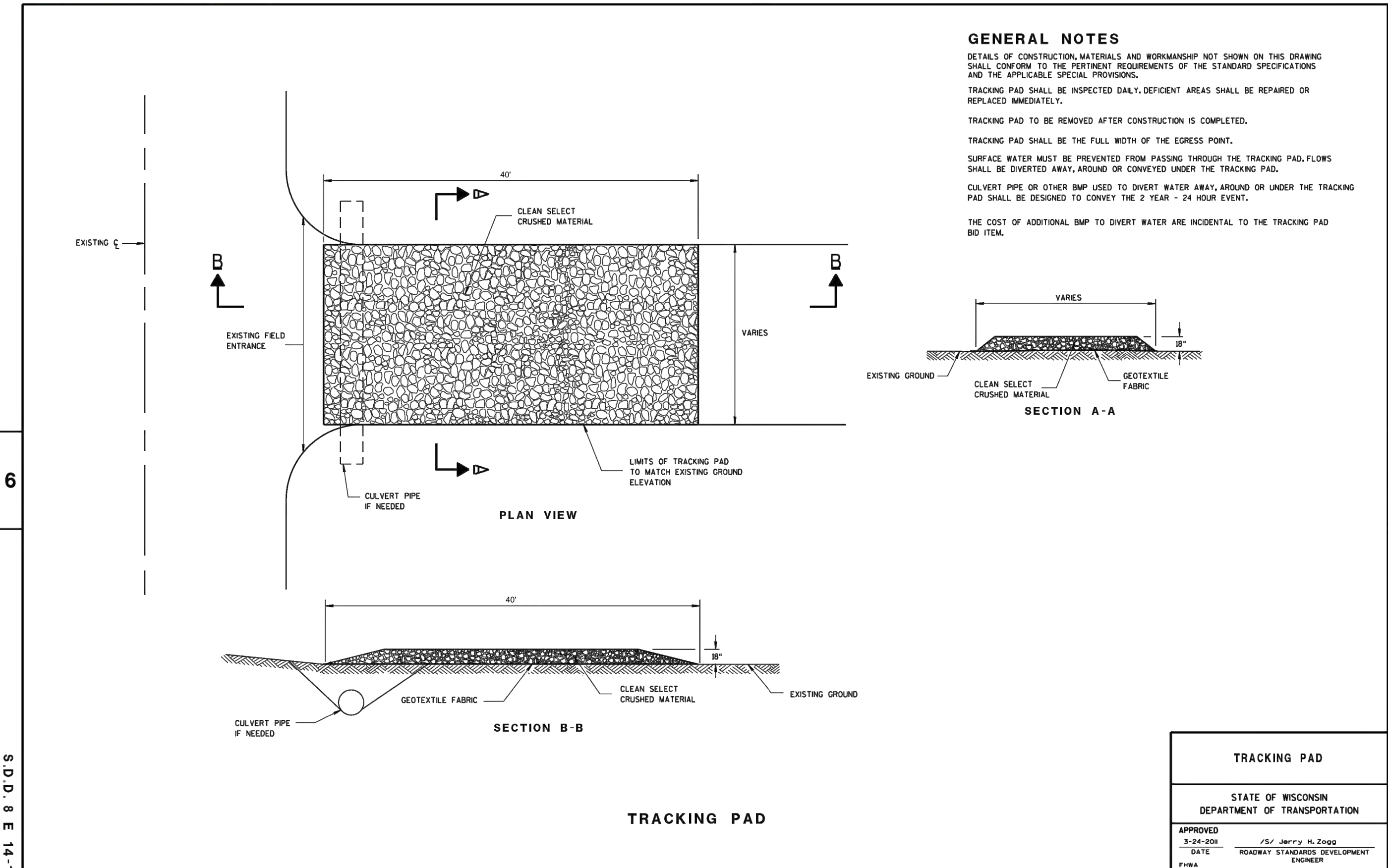


1 SILT FENCE  
C5 NOT TO SCALE

8E10: Inlet Protection Type A, B, C and D



2 INLET PROTECTION  
C5 NOT TO SCALE



3 TRACKING PAD  
C5 NOT TO SCALE

VERIZON MUKWONAGO  
EROSION CONTROL AND  
SEDIMENT DETAILS  
WOLF RUN & S ROCHESTER STREET  
MUKWONAGO, WISCONSIN 53149

DRAWN BY: NWD DATE: 12/04/18  
CHECKED BY: RJB DATE: 12/04/18  
APPROVED BY: WCW DATE: 12/04/18

PROJECT NO.  
560-001-001

SHEET NO.  
C5

Endpoint Solutions

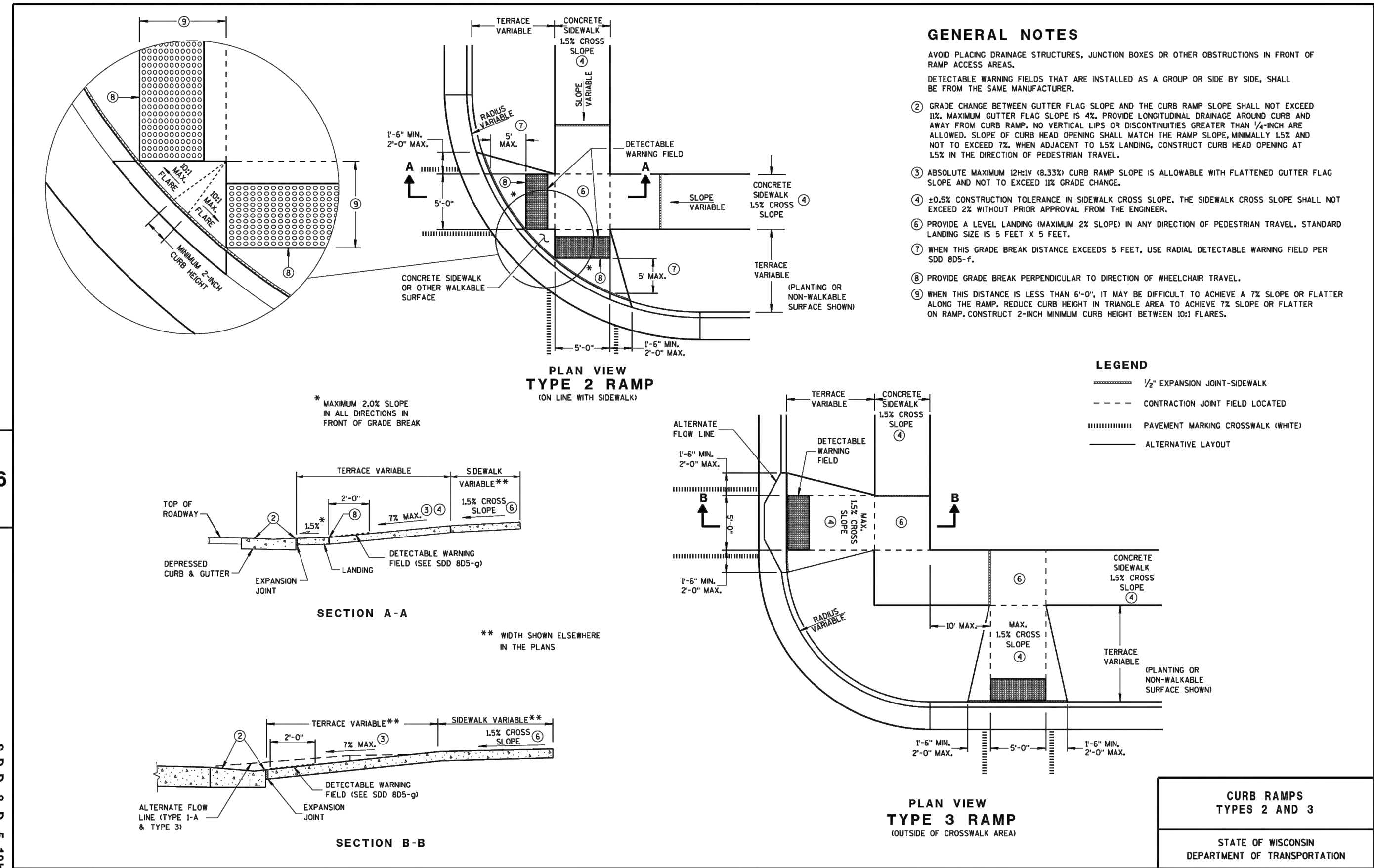
6871 S. LOVERS LANE  
FRANKLIN, WI 53132  
PHONE: (414) 427-1200

ISSUED FOR PERMITTING  
0 12/08/18

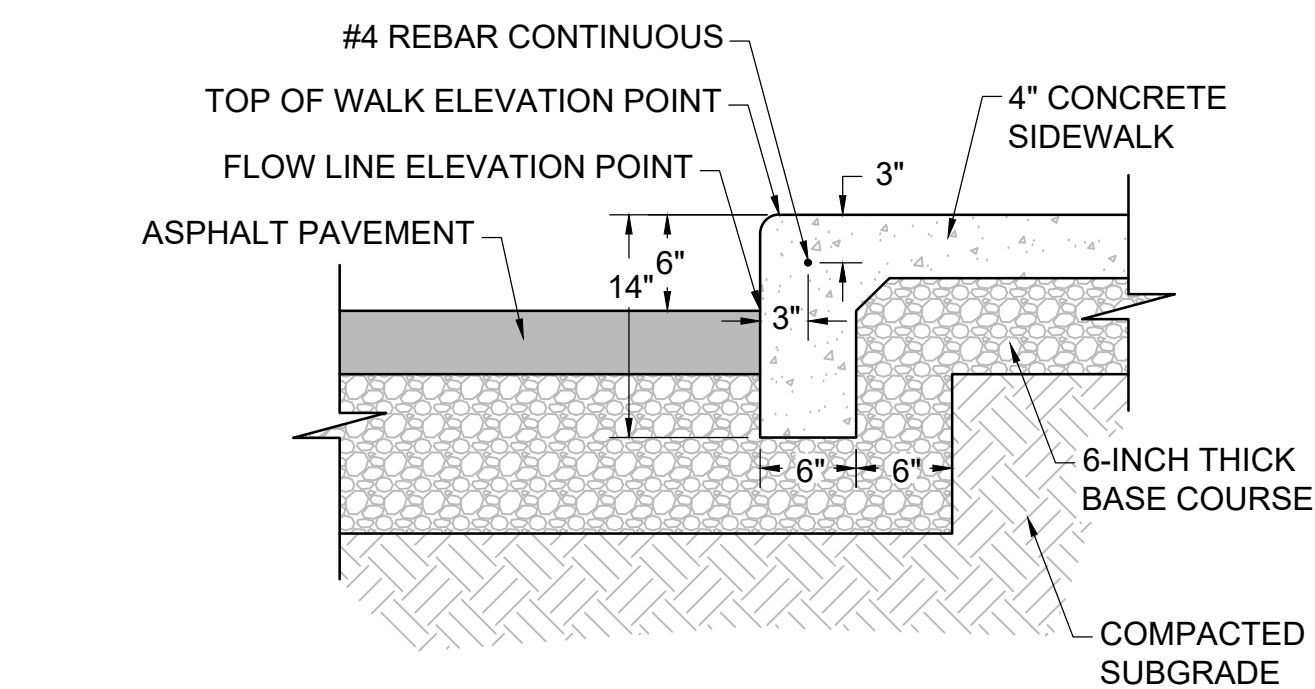


Dec 04, 2018 11:48pm PLOTTED BY: ndraskovich SAVED BY: ndraskovich  
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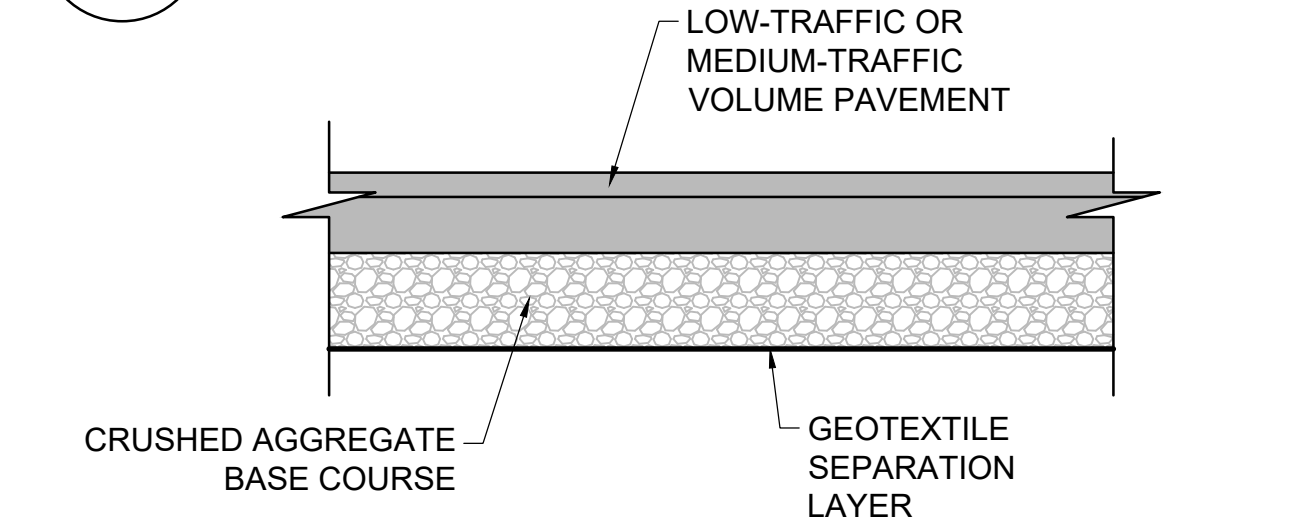
8D5 sheet b: Curb Ramps Types 2 and 3



5 ADA CURB RAMP DETAILS  
C6 NOT TO SCALE



6 CONCRETE SIDEWALK WITH THICKENED EDGE  
C6 NOT TO SCALE



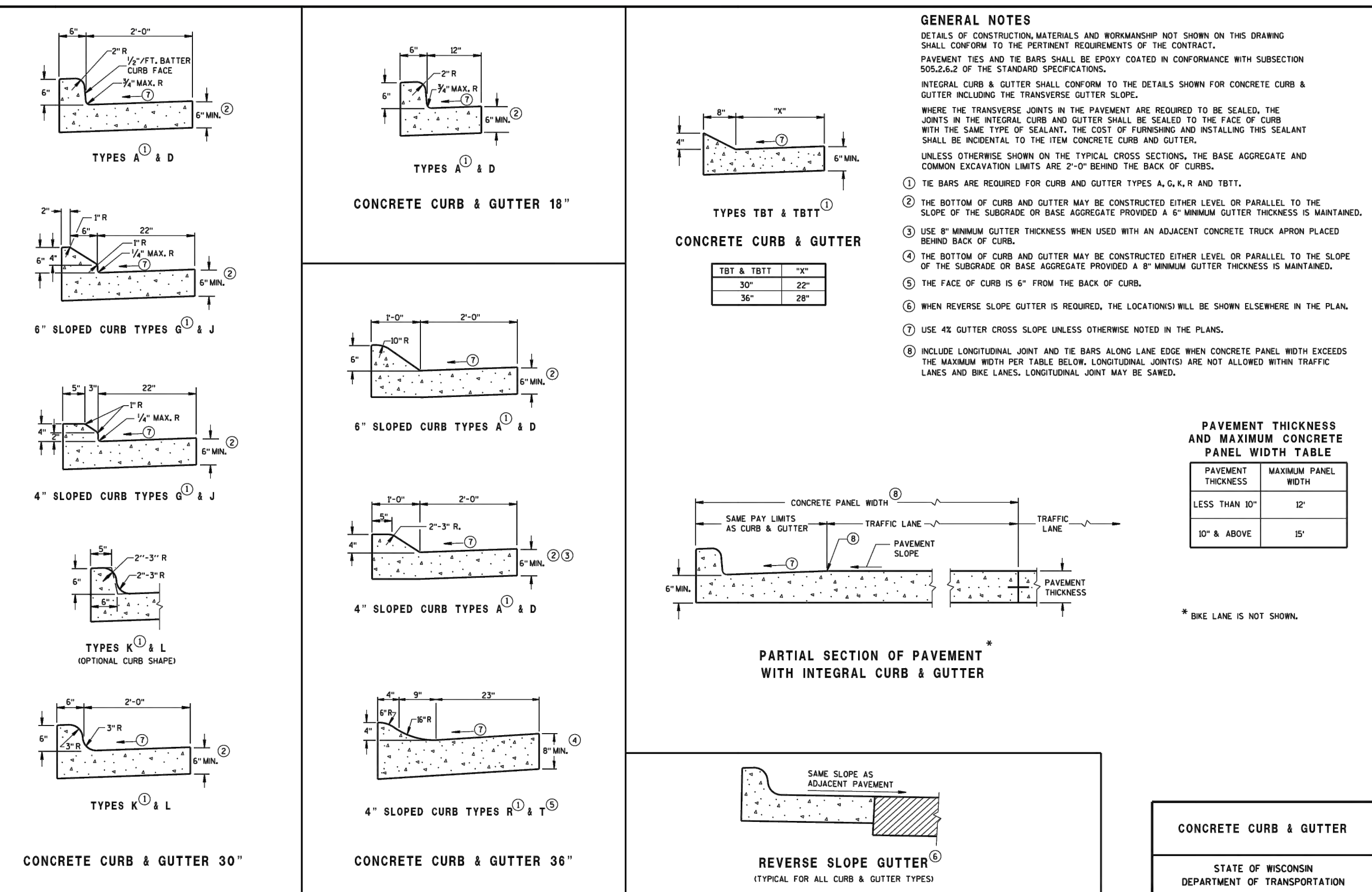
BITUMINOUS PAVEMENT SECTION COMPONENT	LOW-TRAFFIC	MEDIUM-TRAFFIC
WisDOT UPPER LAYER	1.75" (4 LT 58-28 S)	2.25" (5 MT 58-28 S)
WisDOT 455.2.5 TACK COAT (IF PAVING IS STAGED)	YES	YES
WisDOT LOWER LAYER	1.75" (4 LT 58-28 S)	2.75" (3 MT 58-28 S)
WisDOT 455.2.5 PRIME COAT	YES	YES
WisDOT 305, 1 1/2-INCH GRADATION, BASE COURSE	8"	10"
GEOTEXTILE SEPARATION FABRIC (WisDOT 645, TYPE SAS)	YES	YES

4 TYPICAL ASPHALT PAVEMENT  
C6 NOT TO SCALE

CONCRETE NOTES:

- MANUFACTURER QUALIFICATIONS: A FIRM EXPERIENCED IN MANUFACTURING READY-MIXED CONCRETE PRODUCTS AND THAT COMPLIES WITH ASTM C 94 REQUIREMENTS FOR PRODUCTION FACILITIES AND EQUIPMENT.
- REINFORCING BARS SHALL MEET ASTM A 615, GRADE 60, DEFORMED OR ASTM A 706, DEFORMED.
- PREPARE CONCRETE DESIGN MIXTURES FOR EACH TYPE AND STRENGTH OF CONCRETE, PROPORTIONED ON THE BASIS OF LABORATORY TRIAL MIXTURE OR FIELD TEST DATA, OR BOTH, ACCORDING TO ACI 301.
- PROPORTION NORMAL-WEIGHT CONCRETE MIXTURE AS FOLLOWS:
  - MINIMUM COMPRESSIVE STRENGTH: 4000 PSI AT 28 DAYS.
  - MINIMUM CEMENTITIOUS MATERIALS CONTENT: 520 LB/CU. YD.
  - SUMP LIMIT: 5 INCHES, PLUS OR MINUS 1 INCH.
  - AIR CONTENT: 5-1/2 PERCENT, PLUS OR MINUS 1.5 PERCENT AT POINT OF DELIVERY FOR 1-1/2-INCH NOMINAL MAXIMUM AGGREGATE SIZE.
  - AIR CONTENT: 6 PERCENT, PLUS OR MINUS 1.5 PERCENT AT POINT OF DELIVERY FOR 3/4-INCH NOMINAL MAXIMUM AGGREGATE SIZE.
- CONSTRUCT JOINTS TRUE TO LINE WITH FACES PERPENDICULAR TO SURFACE PLANE OF CONCRETE. CONSTRUCTION JOINTS SHALL BE INSTALLED SO STRENGTH AND APPEARANCE OF CONCRETE ARE NOT IMPAIRED. CONTRACTION JOINTS SHALL BE SPACED EQUAL TO THE SLAB WIDTH OR NO GREATER THAN 12-FEET, WHICHEVER IS LESS. CONSTRUCT JOINTS TO A DEPTH EQUAL TO AT LEAST ONE-FOURTH OF CONCRETE THICKNESS AS FOLLOWS:
  - GROOVED JOINTS: FORM CONTRACTION JOINTS AFTER INITIAL FLOATING BY GROOVING AND FINISHING EACH EDGE OF JOINT TO A RADIUS OF 1/8 INCH. REPEAT GROOVING OF CONTRACTION JOINTS AFTER APPLYING SURFACE FINISHES. ELIMINATE GROOVER TOOL MARKS ON CONCRETE SURFACES.
  - SAWED JOINTS: FORM CONTRACTION JOINTS WITH POWER SAWS EQUIPPED WITH SHATTERPROOF ABRASIVE OR DIAMOND-RIMMED BLADES. CUT 1/8-INCH-WIDE JOINTS INTO CONCRETE WHEN CUTTING ACTION WILL NOT TEAR, ABRASIVE, OR OTHERWISE DAMAGE SURFACE AND BEFORE CONCRETE DEVELOPS RANDOM CONTRACTION CRACKS.
- ISOLATION JOINTS IN SLABS-ON-GRADE: AFTER REMOVING FORMWORK, INSTALL JOINT-FILLER STRIPS AT SLAB JUNCTIONS WITH VERTICAL SURFACES, SUCH AS COLUMN PEDESTALS, FOUNDATION WALLS, GRADE BEAMS, AND OTHER LOCATIONS, AS INDICATED.
- CONCRETE FINISHING SHALL COMPLY WITH ACI 302.1R RECOMMENDATIONS FOR SCREEDING, RESTRAIGHTENING, AND FINISHING OPERATIONS FOR CONCRETE SURFACES. DO NOT WET CONCRETE SURFACES. PROVIDE A TROWEL AND FINE-BROOM FINISH BY FIRST APPLYING A TROWEL FINISH TO SURFACES, THEN WHILE CONCRETE IS STILL PLASTIC, SLIGHTLY SCARIFY SURFACE WITH A FINE BROOM.
- PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. COMPLY WITH ACI 306.1 FOR COLD-WEATHER PROTECTION AND ACI 301 FOR HOT-WEATHER PROTECTION DURING CURING.

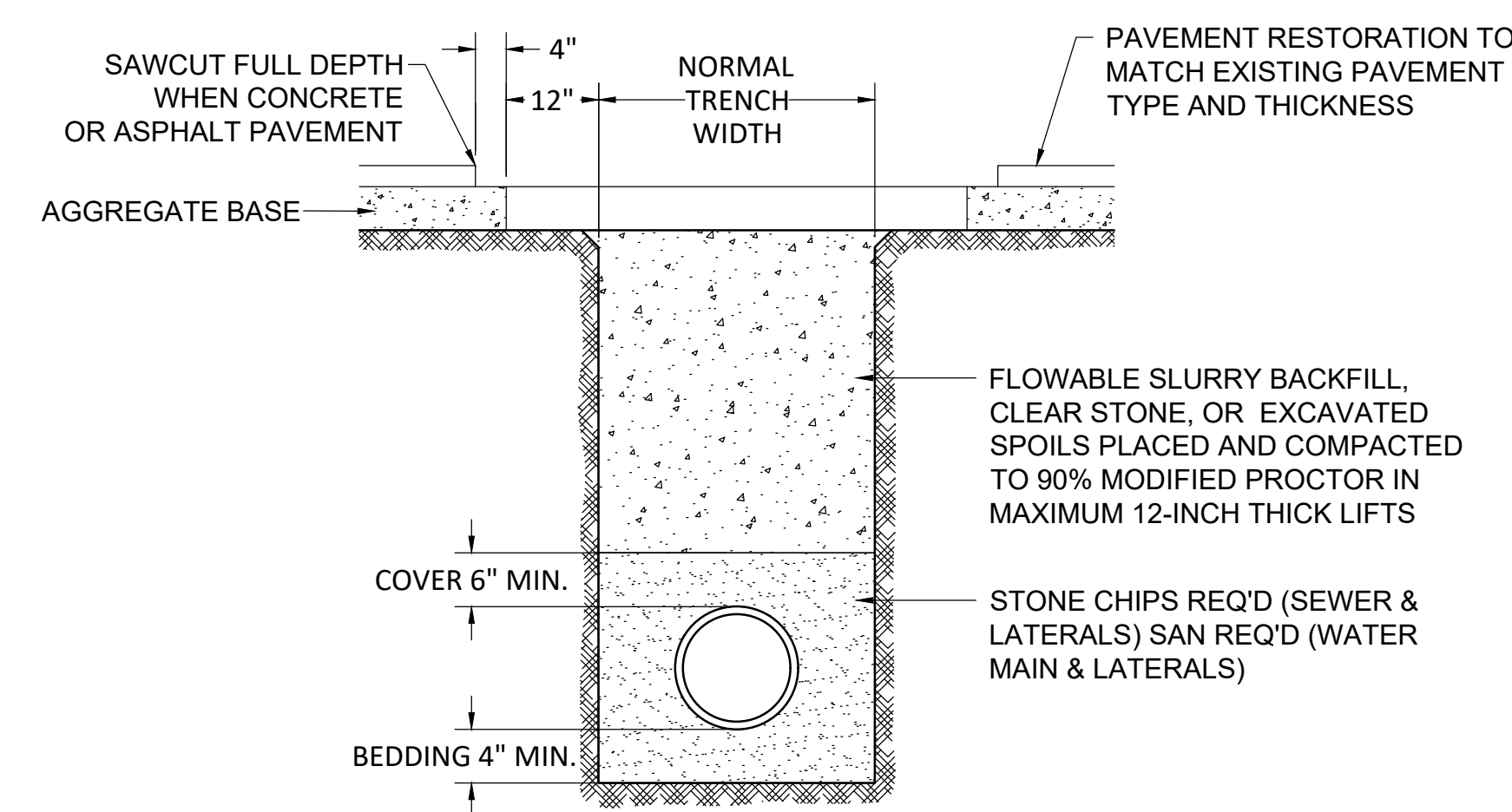
8D1 sheet a: Concrete Curb, Concrete Curb & Gutter and Ties



7 CURB AND GUTTER DETAILS  
C6 NOT TO SCALE

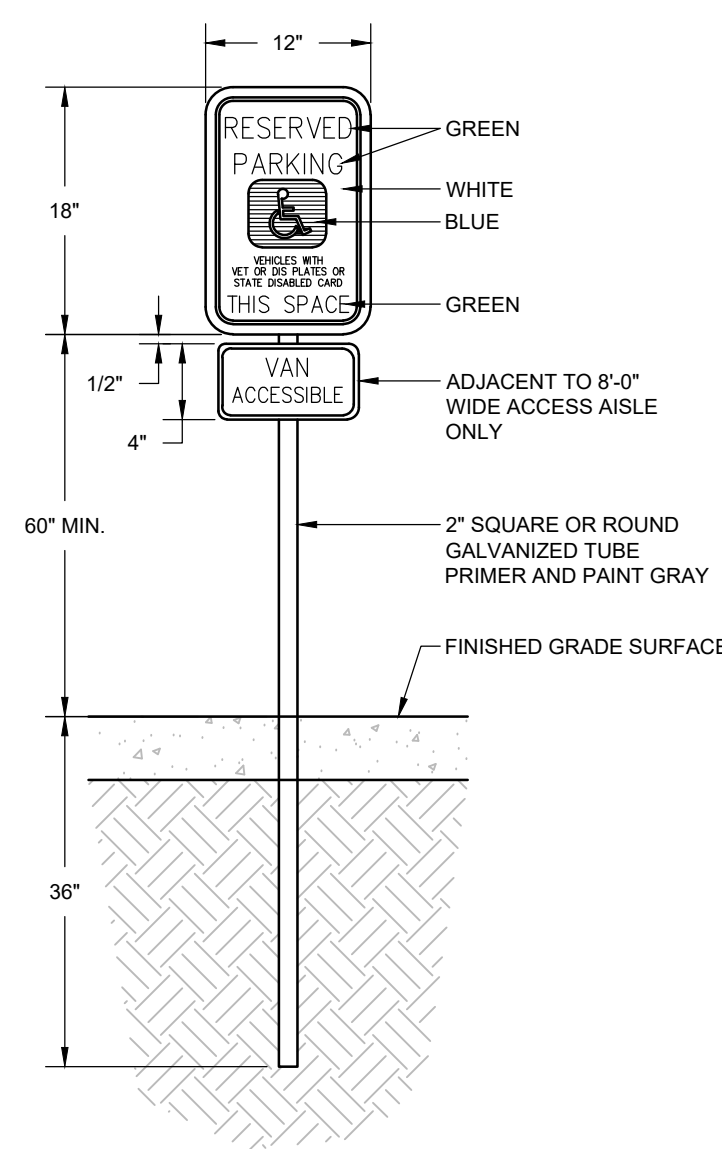
PLUMBING NOTES:

- EXTERIOR PLUMBING SHALL BE CONSTRUCTED OF APPROVED MATERIALS IN ACCORDANCE WITH SECTION SPS 384, WISCONSIN ADMINISTRATIVE CODE.
- WATER AND SEWER LATERAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN."



8 UTILITY TRENCH DETAIL  
C6 NOT TO SCALE

9 ACCESSIBLE PARKING SIGN  
C6 NOT TO SCALE



VERIZON MUKWONAGO

CONSTRUCTION DETAILS

WOLF RUN & S ROCHESTER STREET  
MUKWONAGO, WISCONSIN 53149

DRAWN BY: NWD DATE: 12/04/18  
CHECKED BY: RJB DATE: 12/04/18  
APPROVED BY: WCV DATE: 12/04/18

PROJECT NO.  
560-001-001

SHEET NO.

C6

Endpoint Solutions

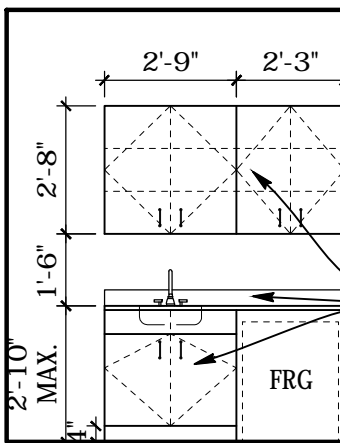
6871 S. LOVERS LANE  
FRANKLIN, WI 53132  
PHONE: (414) 427-1200

REV: DATE: 6 5 4 3 2 1 0  
ISSUED FOR PERMITTING



FLOOR PLAN GENERAL NOTES

1. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE ARCHITECTS ATTENTION PRIOR TO START OF FABRICATION / CONSTRUCTION.
2. A) PROVIDE 5⁄8" TYPE "X" GYPSUM BOARD AT ALL WALL LOCATIONS UNLESS OTHERWISE NOTED. B) PROVIDE 5⁄8" TYPE "X" MOISTURE RESISTANT GYPSUM BOARD AT PLUMBING PARTITIONS AND PARTITION FACE WITHIN 6'-0" OF ALL PLUMBING FIXTURES C) PROVIDE CEMENT BOARD AS BACK-UP AT ALL CERAMIC WALL TILE LOCATIONS. D) PROVIDE 5⁄8" TYPE "C" GYPSUM BOARD AT ALL CEILING LOCATIONS.
3. HOLD 3⁄8" CLEARANCE BETWEEN FLOOR AND GYPSUM BOARD. FILL GAP BETWEEN BOTTOM EDGE OF GYPSUM BOARD AND FLOOR WITH MOISTURE RESISTANT MASTIC CAULKING. STRIKE COMPOUND SMOOTH AND FLUSH WITH FACE OF PARTITION. REMOVE EXCESS MASTIC CAULKING FROM PARTITION AND FLOOR.
4. CHANGES IN FLOOR MATERIALS SHALL BE LOCATED AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE.
5. VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS TO MECHANICAL AND ELECTRICAL ITEMS.
6. SEAL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE BARRIERS TO MEET REQUIRED RATINGS. UTILIZE UL APPROVED METHODS.
7. PROVIDE 16 GAUGE SHEET METAL BANDING OR SOLID 2x BLOCKING AS REQUIRED TO SUPPORT ALL CABINETS, SHELVES, BUILT-INS, EQUIPMENT OR ACCESSORIES. COORDINATE WITH VENDOR DOCUMENTS WHERE SUCH CONDITIONS APPLY.
8. NOTIFY THE ARCHITECT IF ELECTRICAL / COMMUNICATION / HVAC / PLUMBING / ITEMS DEPICTED CONFLICT WITH ADA REQUIREMENTS OR INDUSTRY STANDARDS PRIOR TO INSTALLATION. NOTE: ALL DEVICES AND CONTROLS TO BE INSTALLED WITHIN A MAXIMUM OF 4" OF EACH OTHER HORIZONTALLY ( NOT 16" O.C. ) AND ALIGN THE BOTTOMS OF EACH ITEM. IN THE VERTICAL POSITION ALIGN THE ITEMS ON CENTERLINES.
9. DURING CONSTRUCTION , AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS.
10. LIGHTING, EXIT LIGHTING INFORMATION, ELECTRICAL DATA AND TELEPHONE INFORMATION SHOWN ARE FOR ELECTRICAL CONTRACTORS REFERENCE ONLY. CONTRACTOR SHALL ENSURE COORDINATION OF ELECTRICAL ITEMS WITH BUILDING CONSTRUCTION AND EQUIPMENT AND SHALL OBTAIN THE NEEDED INFORMATION TO PROVIDE A COMPLETE AND WORKING INSTALLATION.
11. CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES.
12. PROVIDE GFI ELECTRICAL OUTLETS AT LOCATIONS REQUIRED BY CODE.
13. CONTRACTOR TO INSTALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS.
14. ALL DOOR HARDWARE TO BE ADA-APPROVED LEVER SETS.



APPLIANCE SCHEDULE

ABBREV.	DESCRIPTION	MANUFACTURER	MODEL
FRG	UNDERCOUNTER REFRIGERATOR	SUMMIT	AL54 (ADA COMPLIANT DESIGN)

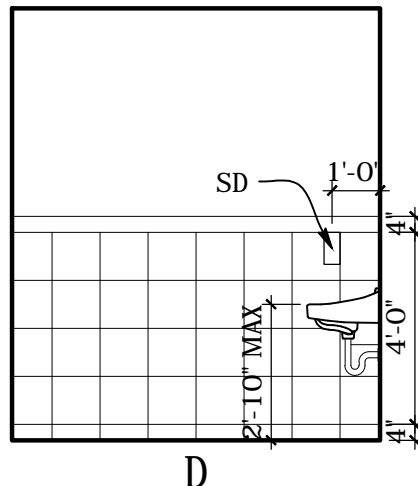
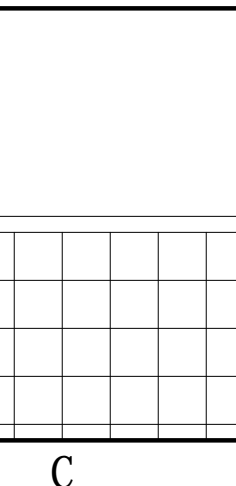
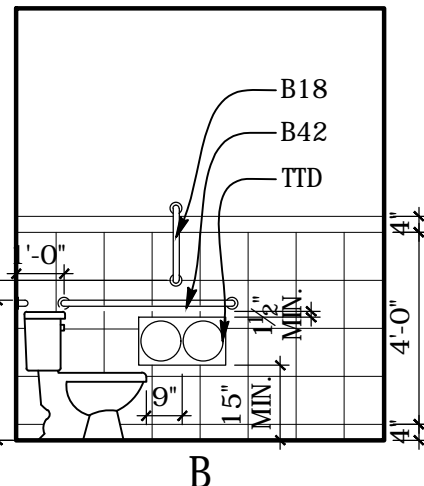
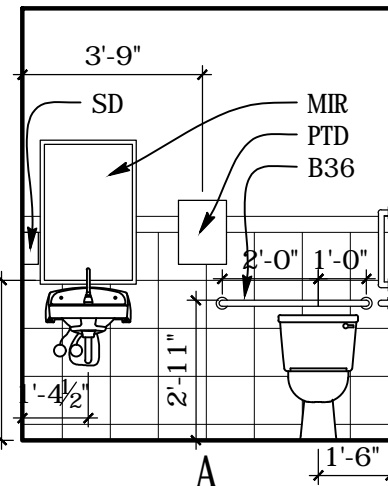
PLAM CABINETRY  
AND BACKSPLASH

3 BREAK AREA INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

TOILET ACCESSORY SCHEDULE

ABBREV.	DESCRIPTION	MANUFACTURER	MODEL	COLOR/FINISH
TTD	TOILET TISSUE DISPENSER	KIMBERLY CLARK	IN-SIGHT CORELESS JRT TWIN JUMBO ROLL BATH TISSUE	SMOKE
SD	SOAP DISPENSER	KIMBERLY CLARK	CASSETTE SKIN CARE DISPENSER, 1,000 ML BLACK	BLACK
PTD	MANUAL PAPER TOWEL DISPENSER	KIMBERLY CLARK	IN-SIGHT SANITOUCH DISPENSER, HARD ROLL	SMOKE/CREY
B42	42" GRAB BAR	BOBRICK	B-6806 X 42 STAINLESS STEEL GRAB BAR WITH SNAP FLANGE	SATIN FINISH
B36	36" GRAB BAR	BOBRICK	B-6806 X 36 STAINLESS STEEL GRAB BAR WITH SNAP FLANGE	SATIN FINISH
B18	18" GRAB BAR	BOBRICK	B-6806 X 18 STAINLESS STEEL GRAB BAR WITH SNAP FLANGE	SATIN FINISH
MIR	TLT MIRROR - 18" X 30"	BOBRICK	B-293 1830	STAINLESS STEEL

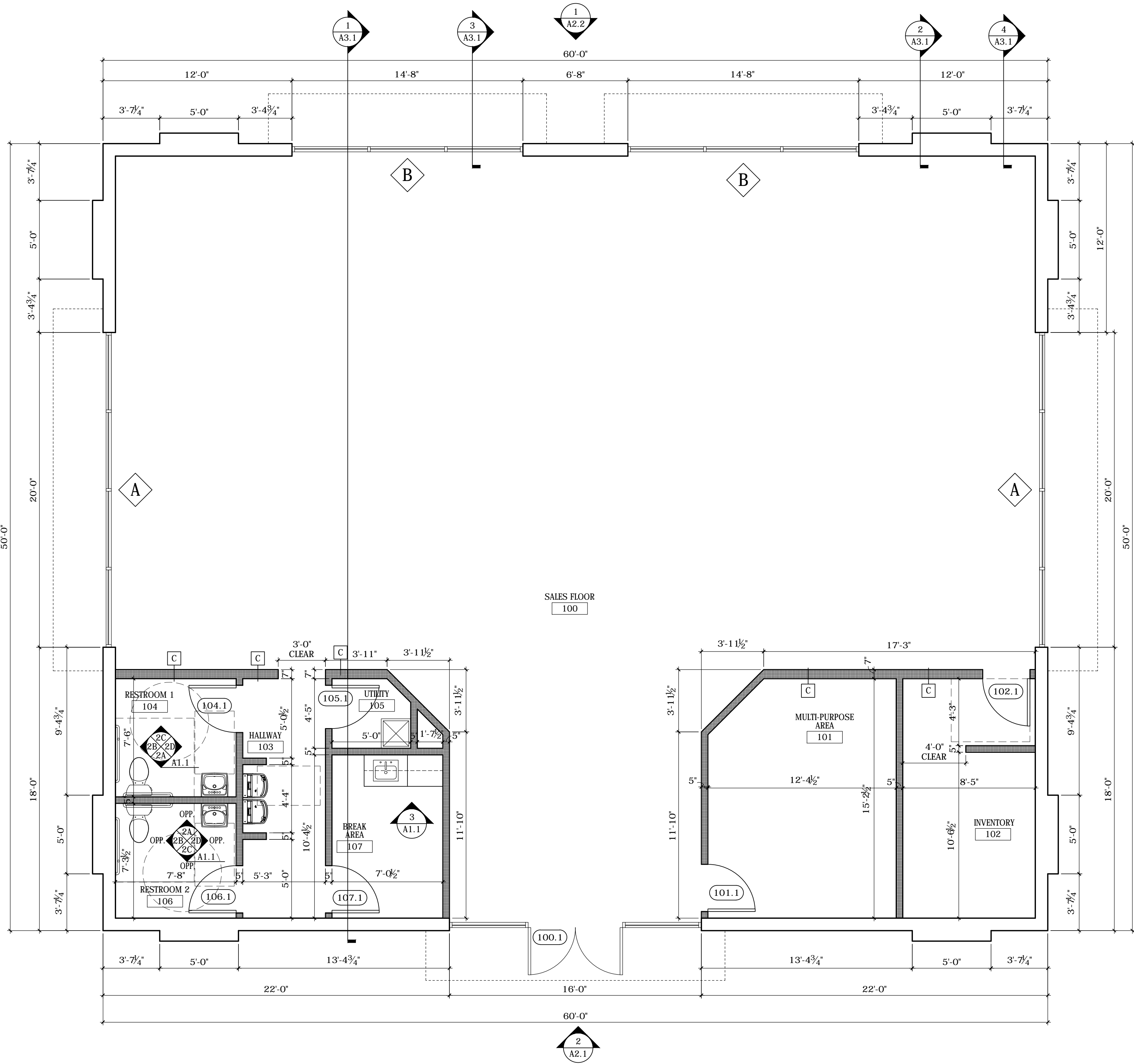


2 BATHROOM #1 INTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

WALL TYPE	DESIGN	DESCRIPTION	WALL TYPE	DESIGN	DESCRIPTION
A		INTERIOR WALL: 5⁄8" G.W.B. ON EXPOSED SIDE OF 2X4 WOOD STUDS @ 16 o.c. 3⁄2" SOUND BATT INSULATION. RUN STUDS AND GWB TO STRUCTURE NOTE: - USE M.R. G.W.B. IN BATHROOMS AT ALL WET LOCATIONS.	C		INTERIOR WALL: 5⁄8" G.W.B. ON BOTH SIDES OF 2X4 WOOD STUDS @ 16 o.c. 3⁄2" SOUND BATT INSULATION. RUN STUDS AND GWB TO STRUCTURE NOTE: - USE M.R. G.W.B. IN BATHROOMS AT ALL WET LOCATIONS.
B		INTERIOR WALL: 5⁄8" G.W.B. ON BOTH SIDES OF 2X4 WOOD STUDS @ 16 o.c. 3⁄2" SOUND BATT INSULATION. RUN STUDS AND GWB TO STRUCTURE NOTE: - USE M.R. G.W.B. IN BATHROOMS AT ALL WET LOCATIONS.	D		INTERIOR WALL: 5⁄8" G.W.B. ON BOTH SIDES OF 2X4 WOOD STUDS @ 16 o.c. 3⁄2" SOUND BATT INSULATION. RUN STUDS AND GWB TO 6" ABOVE FINISHED CEILING. NOTE: - USE M.R. G.W.B. IN BATHROOMS AT ALL WET LOCATIONS.

- WALL TYPE NOTES:
1. ALL WALLS TYPE B UNLESS NOTED OTHERWISE.
2. G.C. TO INSTALL BLOCKING AS REQUIRED FOR NECESSARY FIXTURES, GRAB BARS, AND CASEWORK.



1 FLOOR PLAN

SCALE: 1/4" = 1'-0"

NORTH

Verizon - Mukwonago

New Construction  
Highway 83 & Wolf Run  
Mukwonago WI

NO.	DATE	DESCRIPTION
1	12/10/18	Plan Commission
2		
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PROJECT #: 3967

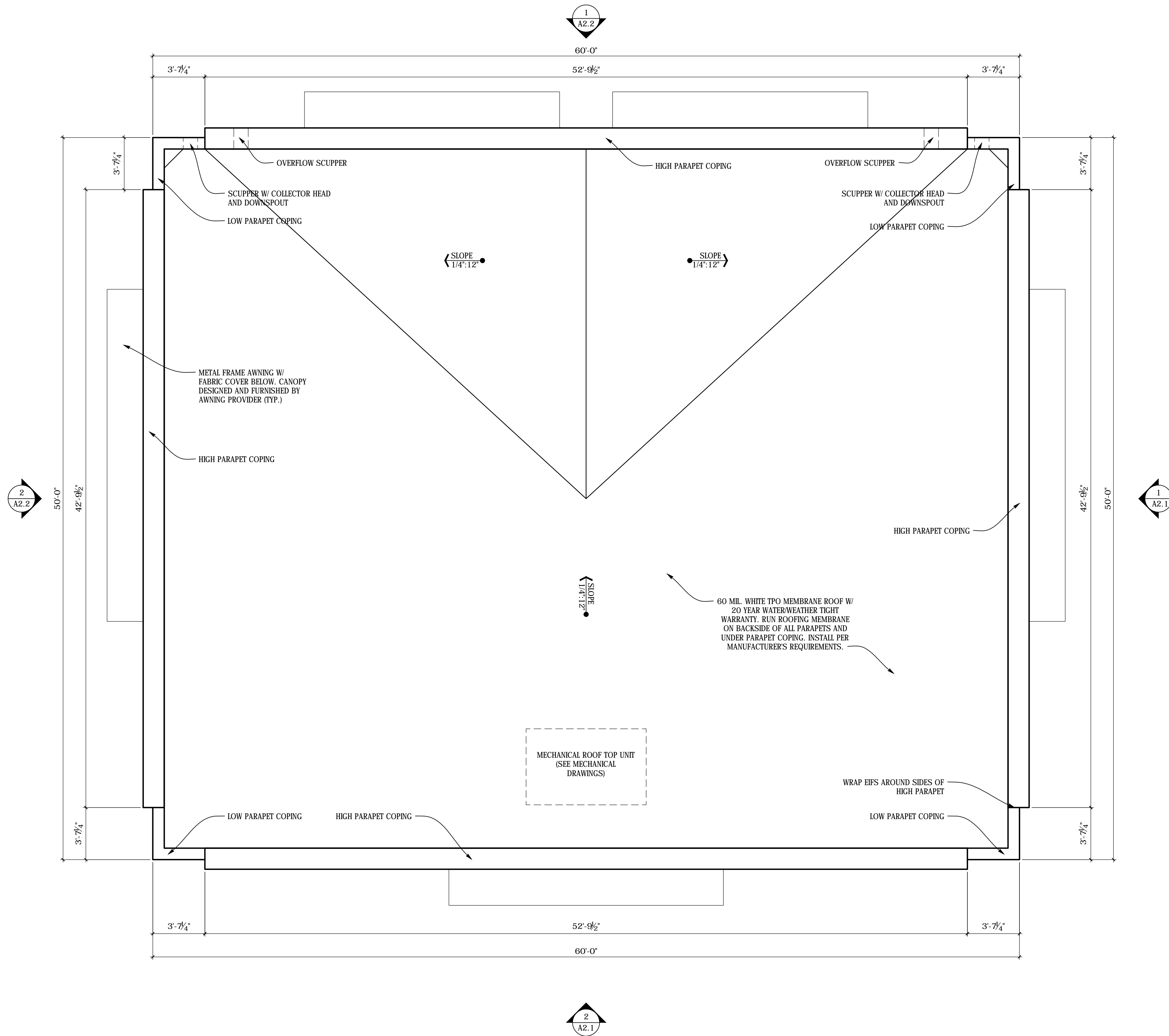
DATE:

FLOOR PLAN

A1.1

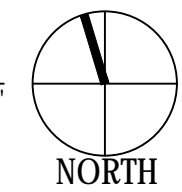
PLAN COMMISSION





1 ROOF PLAN

SCALE: 1/4" = 1'-0"



Verizon - Mukwonago  
New Construction  
Highway 83 & Wolf Run  
Mukwonago WI

NO.	DATE	DESCRIPTION
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PROJECT #: 3967

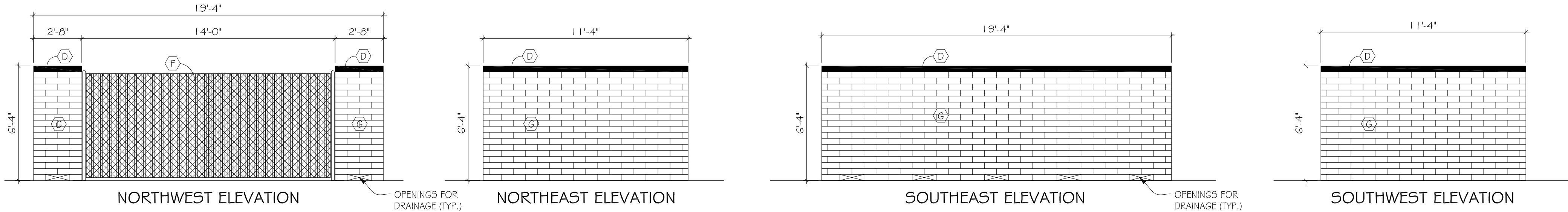
DATE:

ROOF PLAN

A1.2

PLAN COMMISSION

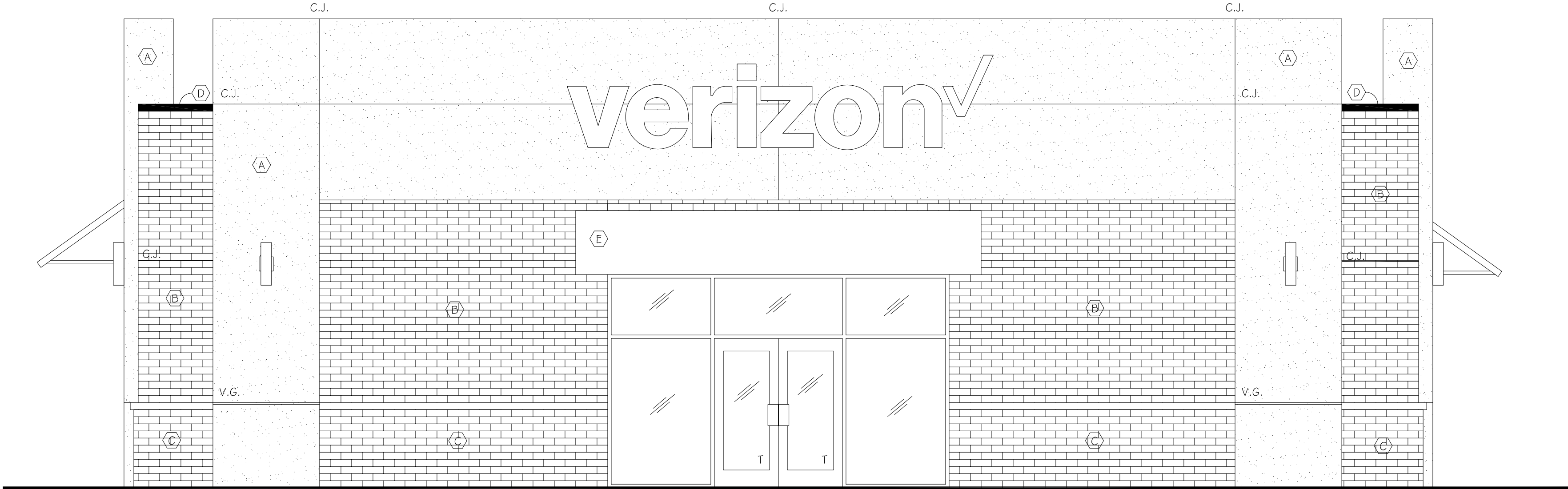




- ELEVATION LEGEND
- VISION GLASS
  - T - TEMPERED GLASS
  - C.J. - CONTROL JOINT
  - V.G. - "V" GROOVE TO ALIGN WITH SILL
  - WINDOW TYPE. REFER TO SHEET A8.1.

- MATERIAL LEGEND
- (A) EIFS - DRYVIT - IN COOL GRAY 10  
SHERWIN WILLIAMS 5W7075 WEB GRAY
  - (B) BRICK (FIELD) - MODULAR THIN BRICK  
INTERSTATE BRICK - PEWTER
  - (C) BRICK (WAINSCOT) - MODULAR STANDARD BRICK  
INTERSTATE BRICK - MIDNIGHT BLACK
  - (D) METAL TRIM -  
SHERWIN WILLIAMS 5W7068 GRIZZLE GRAY
  - (E) CANOPY FABRIC - SUNBRELLA  
CHARCOAL GREY 4644
  - (F) CHAINLINK GATE W/ BLACK SLAT SCREEN
  - (G) STRUCTURAL BRICK - 8X4X16 ATLAS  
INTERSTATE STRUCTURAL BRICK - PEWTER

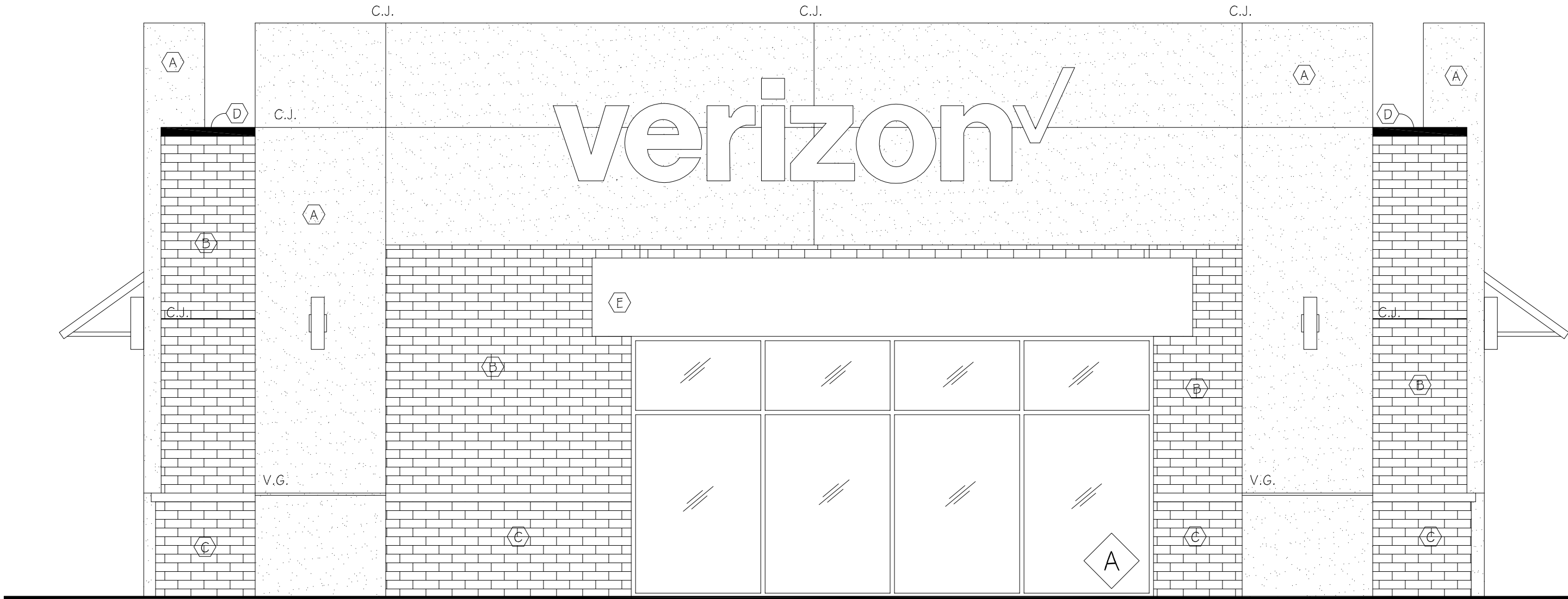
- HIGH PARAPET  
22'-0"
- LOW PARAPET  
18'-0"
- B.O. EIFS  
13'-6"
- T.O. AWNING  
13'-0"
- B.O. AWNING  
10'-0"
- TOP WAINSCOT  
4'-0"
- FINISH FLOOR  
0'-0"



2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

- HIGH PARAPET  
22'-0"
- LOW PARAPET  
18'-0"
- B.O. EIFS  
13'-6"
- T.O. AWNING  
13'-0"
- B.O. AWNING  
10'-0"
- TOP WAINSCOT  
4'-0"
- FINISH FLOOR  
0'-0"



1 EAST ELEVATION

SCALE: 1/4" = 1'-0"

Verizon - Mukwonago  
New Construction  
Highway 83 & Wolf Run  
Mukwonago WI

NO.	DATE	DESCRIPTION
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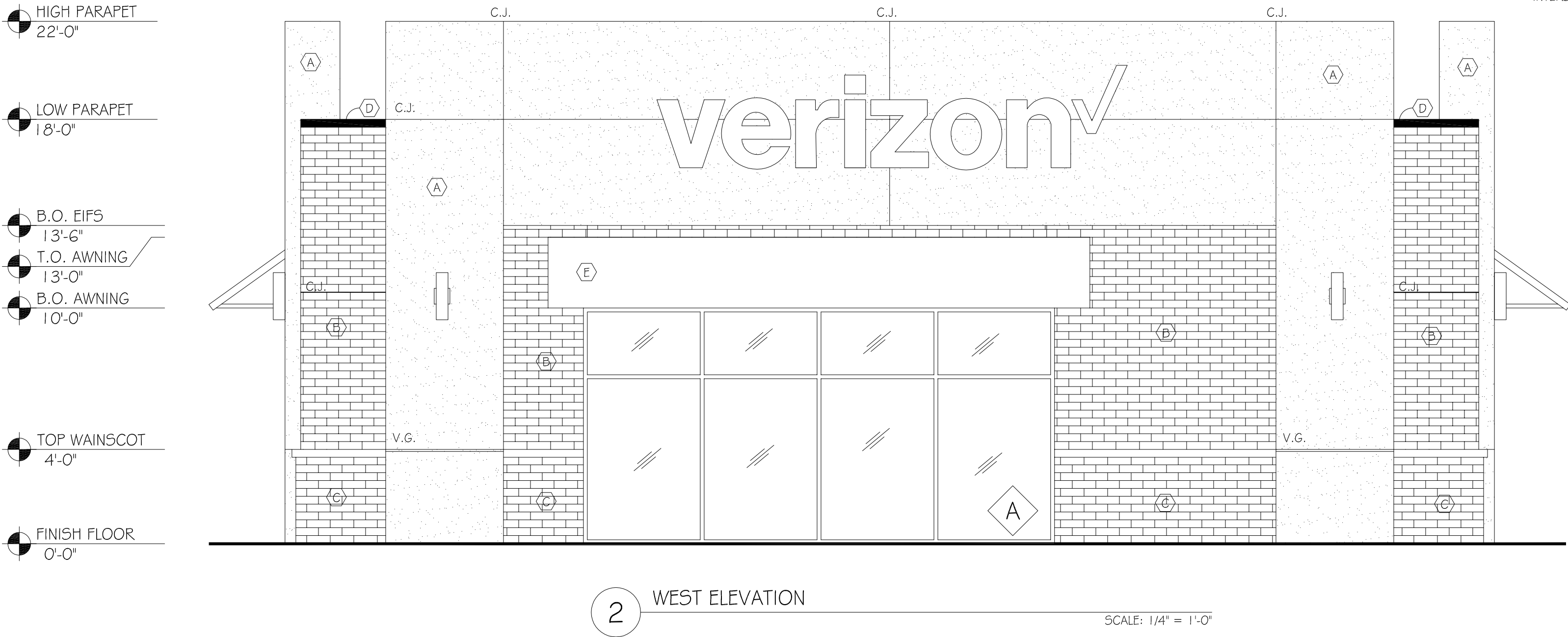
PROJECT #: 3967

DATE:

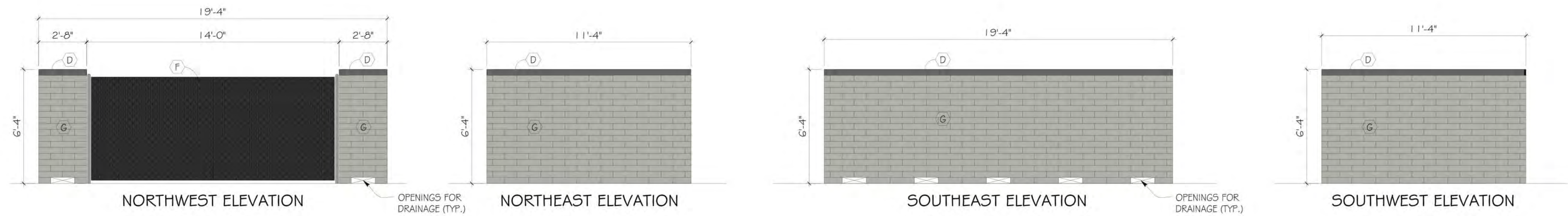
EXTERIOR ELEVATIONS

A2.1









3 TRASH ENCLOSURE

#### ELEVATION LEGEND

- VISION GLASS
- TEMPERED GLASS
- CONTROL JOINT
- V-GROOVE TO ALIGN WITH SILL
- WINDOW TYPE, REFER TO SHEET A8, I.

#### MATERIAL LEGEND

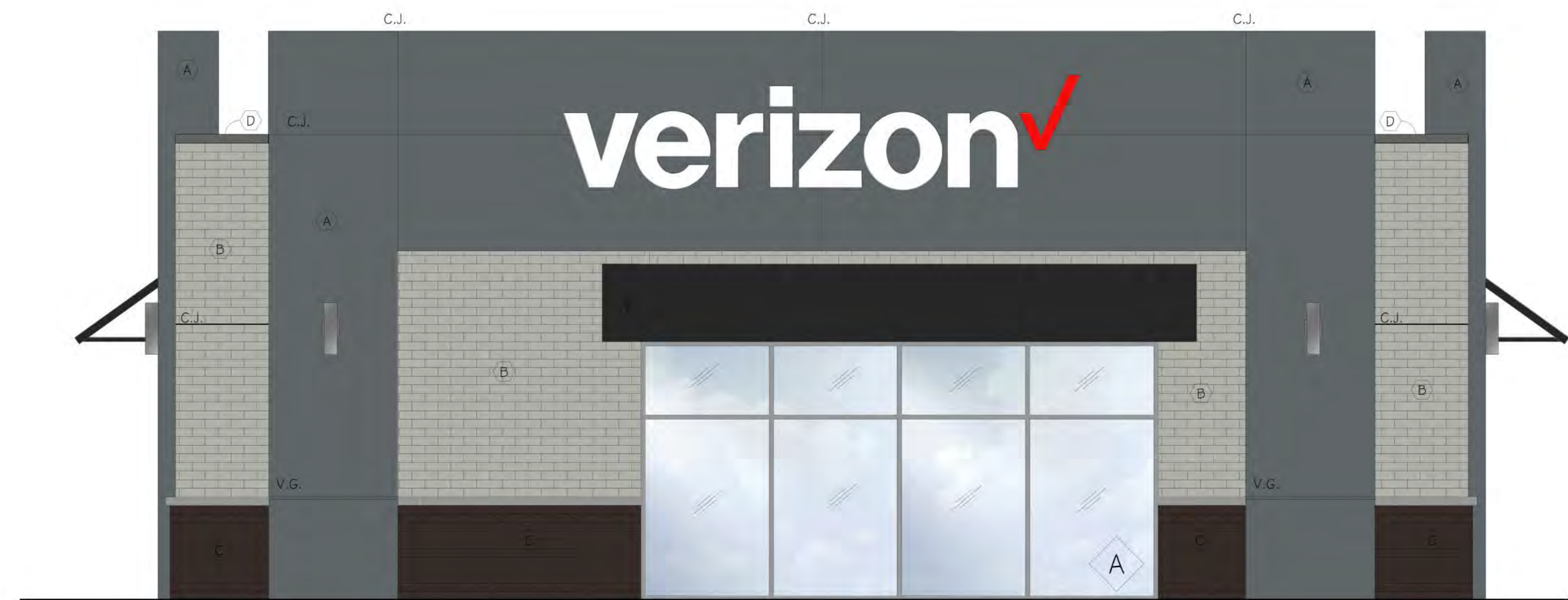
- EIFS - DRYVIT - IN COOL GRAY 10  
SHERWIN WILLIAMS SW7075 WEB GRAY
- BRICK (FIELD) - MODULAR THIN BRICK  
INTERSTATE BRICK - PEWTER
- BRICK (WAINSCOT) - MODULAR STANDARD BRICK  
INTERSTATE BRICK - MIDNIGHT BLACK
- METAL TRIM -  
SHERWIN WILLIAMS SW7068 GRIZZLE GRAY
- CANOPY FABRIC - SUNBRELLA  
CHARCOAL GREY 4644
- CHAINLINK GATE W/ BLACK SLAT SCREEN
- STRUCTURAL BRICK - 8X416 ATLAS  
INTERSTATE STRUCTURAL BRICK - PEWTER

- HIGH PARAPET  
22'-0"
- LOW PARAPET  
18'-0"
- B.O. EIFS  
13'-6"
- T.O. AWNING  
13'-0"
- B.O. AWNING  
10'-0"
- TOP WAINSCOT  
4'-0"
- FINISH FLOOR  
0'-0"



2 SOUTH ELEVATION

- HIGH PARAPET  
22'-0"
- LOW PARAPET  
18'-0"
- B.O. EIFS  
13'-6"
- T.O. AWNING  
13'-0"
- B.O. AWNING  
10'-0"
- TOP WAINSCOT  
4'-0"
- FINISH FLOOR  
0'-0"



1 EAST ELEVATION

**Verizon - Mukwonago**  
New Construction  
Highway 83 & Wolf Run  
Mukwonago WI

NO.	DATE	DESCRIPTION
1	12/10/18	Plan Commission
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PROJECT #: 3967

DATE:

EXTERIOR ELEVATIONS

A2.3

PLAN COMMISSION









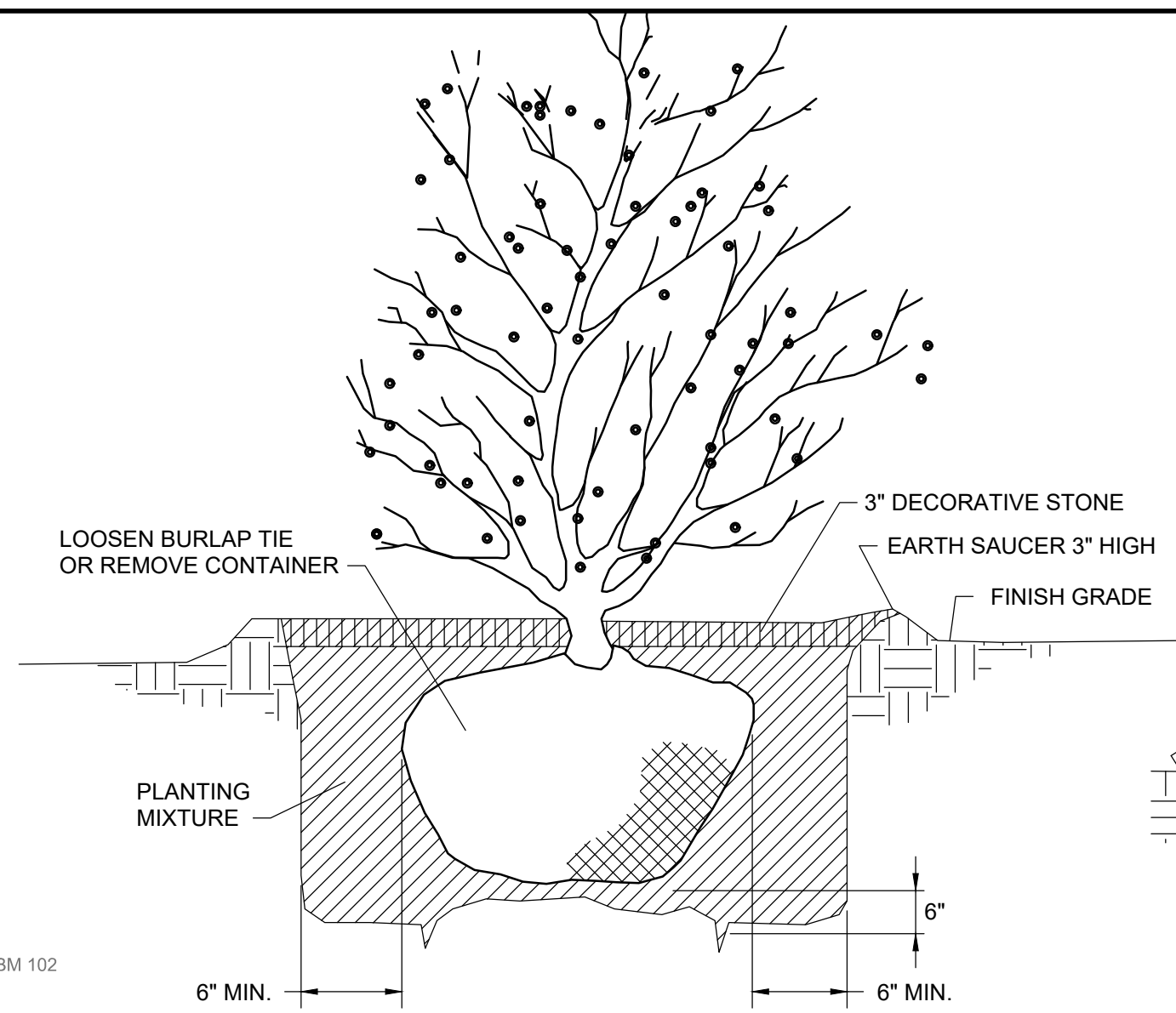


Dec 06, 2018 9:53am PLOTTED BY: ndraskovich SAVED BY: ndraskovich  
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IMAGES: T:\Template Forms\CADD\Logos\Endpoint\Solutions HI-Res.jpg  
REFS: \Endpoint Border-Verizon Mukwonago.dwg; \Campbell Const - 560\001 Verizon Cellular Sales\CAD\001-001\Survey Base-Verizon Site Mukwonago.dwg; \Proposed Grading Basecamp-Verizon Site Mukwonago.dwg

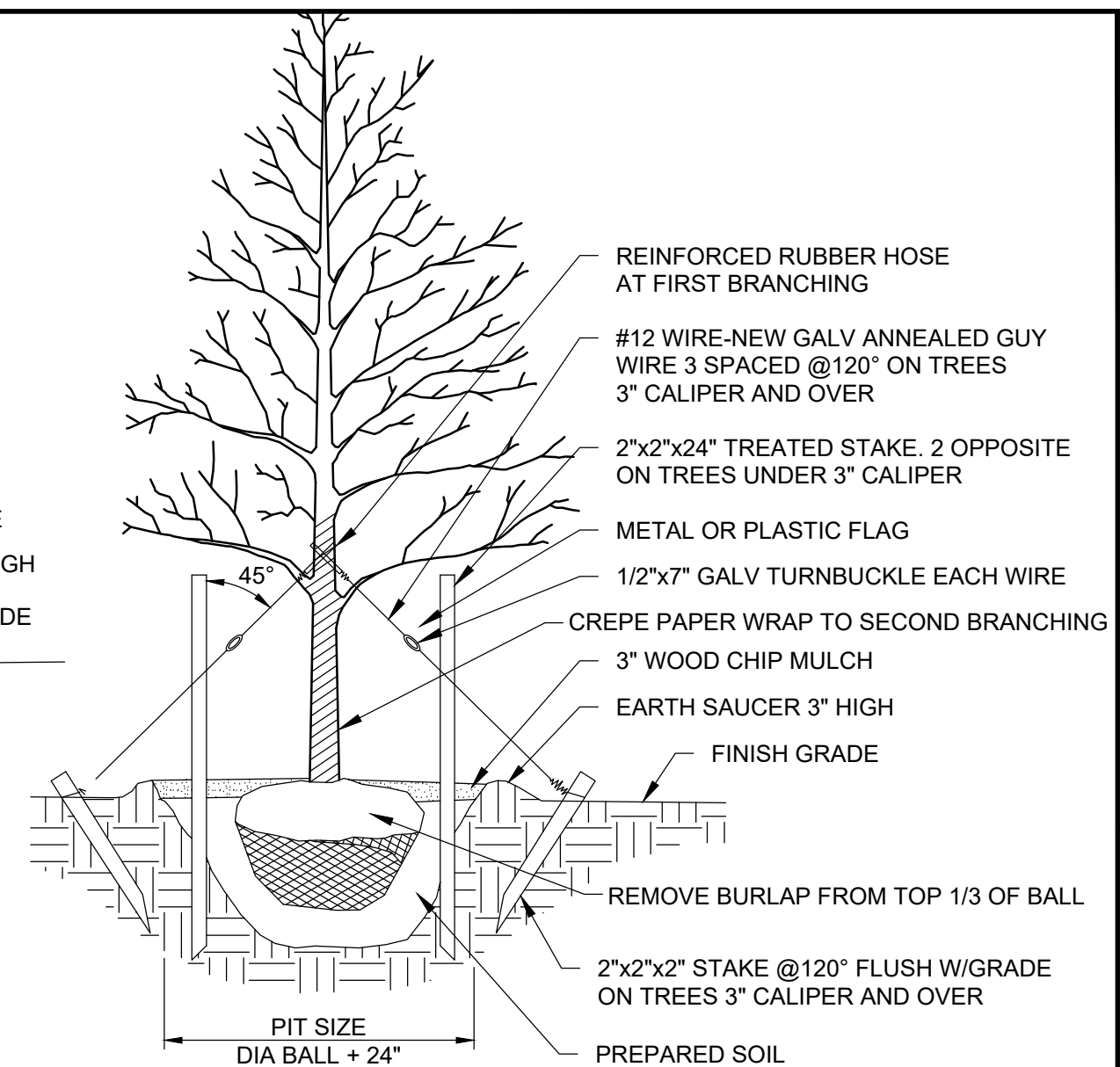
LANDSCAPING NOTES:

1. DECIDUOUS TREES SHALL BE A MINIMUM 2-1/2" CALIPER AND EVERGREENS A MINIMUM FOR FOUR FEET TALL AT TIME OF PLANTING.
2. ALL TREES SHALL BE HARDY, URBAN TOLERANT AND DISEASE RESISTANT.
3. LANDSCAPING SHALL BE COMPLETED WITHIN NINE MONTHS FOLLOWING ISSUANCE OF ANY TEMPORARY OCCUPANCY PERMIT.
4. PLANTINGS SHALL BE MAINTAINED. IF, AT ANY TIME, REQUIRED TREES DIE, ARE DAMAGED, OR ARE DESTROYED, SUCH TREES SHALL BE REPLACED IN THE ORIGINAL APPROXIMATE LOCATION.

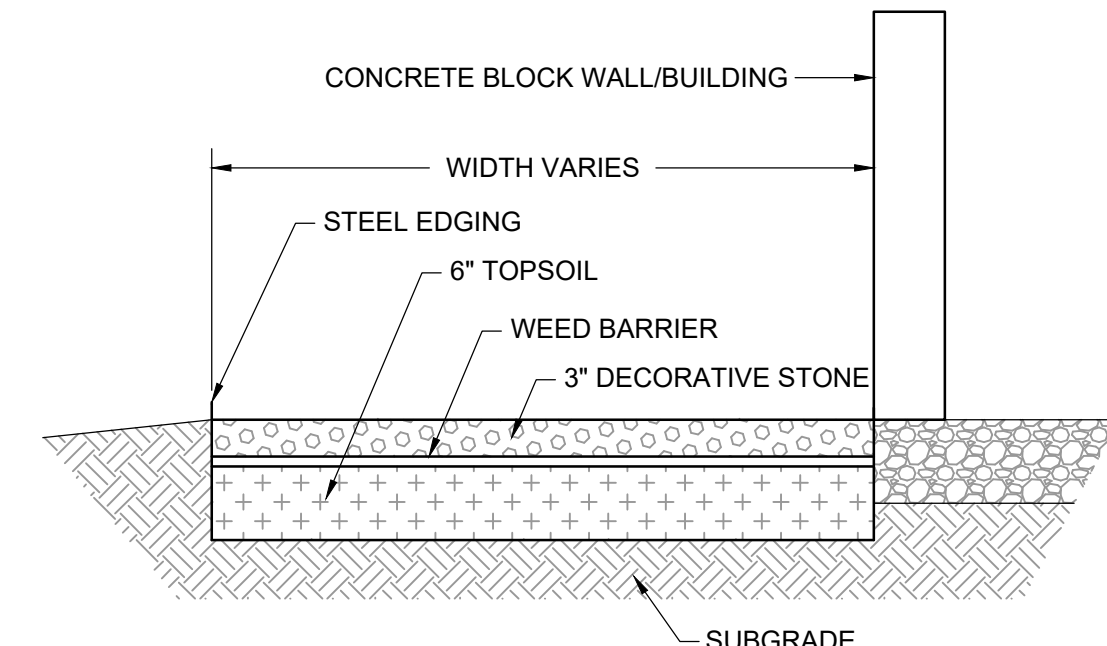
LANDSCAPE TABLE		
SYMBOL	DESCRIPTION	TOTAL
	SHADE TREE	6
	EVERGREEN TREE	9
	EVERGREEN SHRUB	19
	DECIDUOUS SHRUB	14
TOTAL SHRUBS		33
TOTAL TREES		15
TREES REQUIRED		14



2 SHRUB PLANTING DETAIL  
NOT TO SCALE

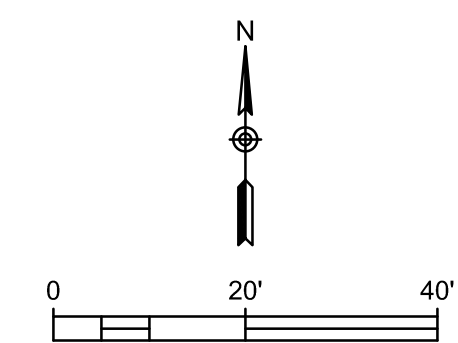


3 TREE PLANTING DETAIL  
NOT TO SCALE



1 PLANTER DETAIL  
NOT TO SCALE

- APPROXIMATE PROPERTY LINE
- PAVEMENT/CONCRETE/EDGE OF GRASS
- PAVEMENT MARKING
- TOE OF SLOPE/SWALE
- TOP OF SLOPE
- EDGE OF TREES & BRUSH
- UNDERGROUND COMMUNICATIONS
- UNDERGROUND ELECTRIC LINE
- GAS LINE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN/SERVICE
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT
- PROP'D MAJOR CONTOUR, (2.5' INTERVAL)
- PROP'D MINOR CONTOUR, (0.5' INTERVAL)
- PROPOSED SANITARY LATERAL
- PROPOSED WATER SERVICE
- EXISTING ASPHALT
- EXISTING CONCRETE
- PROPOSED BUILDING
- PROPOSED PLANTER
- PROPOSED GRASS
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- BENCHMARK
- IRON PIPE FOUND
- IRON ROD FOUND
- PK NAIL FOUND
- CLEAN OUT
- FLAG POLE
- MAIL BOX
- SIGN
- GAS VALVE
- WATER VALVE
- HYDRANT
- STORM SEWER INLET
- ELECTRIC/UTILITY VAULT
- SANITARY/STORM MANHOLE
- LIGHT POLE
- COMMUNICATIONS PEDESTAL/BOX
- ELECTRIC TRANSFORMER
- END OF UTILITY
- END OF UTILITY LOCATE MARKING



SURVEY PERFORMED BY ENDPOINT SOLUTIONS CORP.  
ON 10/28/18 SURVEY GRADE GPS. COORDINATES ARE  
BASED ON NAD 83 WISCONSIN STATE PLANE, SOUTH  
ZONE, US FOOT, VERTICAL DATUM NAVD 88.

PROPERTY BOUNDARY DRAWN PER CHAPUT LAND  
SURVEYORS MEATS & BOUNDS DESCRIPTION PER  
EXHIBIT DRAWING NO. 2767-jhc. PROPERTY BOUNDARY  
FIT TO FOUND IRON PIPE, IRON ROD AND PK NAIL FOR (3)  
THREE OF THE (4) FOUR PROPERTY CORNERS.

VERIZON MUKWONAGO  
LANDSCAPE PLAN  
WOLF RUN & S ROCHESTER STREET  
MUKWONAGO, WISCONSIN 53149

DRAWN BY: NWD DATE: 12/06/18  
CHECKED BY: RJB DATE: 12/06/18  
APPROVED BY: WCW DATE: 12/06/18

PROJECT NO.  
560-001-001  
SHEET NO.  
L1

**Endpoint Solutions**  
6871 S. LOVERS LANE  
FRANKLIN, WI 53132  
PHONE: (414) 427-1200

REV	DATE	ISSUED FOR PERMITTING
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0	12/06/18	



Village of Mukwonago  
440 River Crest Court, P.O. Box 206  
Mukwonago, WI 53149  
Phone: (262) 363-6420  
Fax: (262) 363-6425  
[www.villageofmukwonago.com](http://www.villageofmukwonago.com)

## VILLAGE OF MUKWONAGO

### SITE PLAN, ARCHITECTURAL, AND PLANNED UNIT DEVELOPMENT (PUD) APPLICATION

Application Fee: Below

Date Submitted: Thursday, November 6, 2018

#### FEES

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*(Please check one)*

- ☐ Minor Site Plan (Buildings less than 600 sq. ft.): \$135.00 plus \$.02 per sq. ft.
- ☒ Site Plan and/or Architectural Review: \$250.00 plus \$.02 per sq. ft. x 3000 sq. ft. = \$60 + \$250 = **\$310.00**
- ☐ Conceptual Site Plan and/or Architectural Review: \$200.00 plus \$.02 per sq. ft.
- ☐ Planned Unit Development (PUD) Review: \$185.00 plus \$25.00/unit
- ☐ Resubmittal of or Amendment to Site Plan and/or Architectural Review: \$200.00

#### CONTACTS

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##### Zoning and Planning Department

Contact: Bruce Kaniewski  
Phone: (414) 339-4105  
Fax: (262) 363-6425  
Email: [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com)

#### GUIDELINES

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The undersigned petition is to consider a request, as stated herein, for the specified parcel(s) of land and will be reviewed by the Plan Commission and Village Board of the Village of Mukwonago. The application packet must be filed with the Village Clerk **at least 30 days prior to the meeting** of the Planning Commission at which action is desired. The Plan Commission meets on the second Tuesday of each month at 6:30 p.m.

Materials listed below must be provided to the Village of Mukwonago in accordance with Village Municipal Code Chapter 100 Article IX. Section 100-601(f) and other pertinent sections of Village ordinances, and, as necessary, to permit review that is consistent with proper planning practice. The Village will strive to accommodate reasonable requests for informal preliminary staff review, however the Village shall not place any items on the agenda for Plan Commission consideration until such time as the application is complete in accordance with all requirements specified on this and other attached application forms.

Mail completed applications to: Village Planner  
ATTN: Site Plan/Architectural Plan/Planned Unit Development  
PO Box 206  
Mukwonago, WI 53149

Deliver to: Village Clerk's Office  
440 River Crest Court

Email to: [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com)

Complete, accurate and specific information must be entered. Please Print.

#### APPLICANT (Full Legal Name)

---

Name: Ryan J. Baeten, PE

Company: Endpoint Solutions Corp.

Address: 6871 S. Lovers Lane City: Franklin State: WI Zip: 53132

Daytime Phone: 414-858-1920 Fax: 414-427-1259

E-Mail: ryan@endpointcorporation.com



**APPLICANT IS REPRESENTED BY (Full Legal Name)**

---

Name: Jay Campbell

Company: C &amp; H Wolf Run LLC

Address: W735 Miramar Rd

City: East Troy

State: WI

Zip: 53120

Daytime Phone: 262-436-4760

Fax: 262-436-4761

E-Mail: Jay@campbellconstructionbbg.com

**ARCHITECT**

---

Name: Brooke Borelli

Company: Schroeder &amp; Holt Architects

Address: 311 East Chicago St., Suite 310

City: Milwaukee

State: WI

Zip: 53202

Daytime Phone: 414-267-1760

Fax: 414-267-1764

E-Mail: bborelli@sha-a2k.com

**PROFESSIONAL ENGINEER**

---

Name: Ryan J. Baeten, PE

Company: Endpoint Solutions Corp.

Address: 6871 S. Lovers Lane

City: Franklin

State: WI

Zip: 53132

Daytime Phone: 414-858-1920

Fax: 414-427-1259

E-Mail: ryan@endpointcorporation.com

**REGISTERED SURVEYOR**

---

Name: Donald C. Chaput

Company: Chaput Land Surveyors

Address: 234 W. Florida St.

City: Milwaukee

State: WI

Zip: 53204

Daytime Phone: 414-224-8068

Fax:

E-Mail: don@chaputlandsurveys.com

**CONTRACTOR**

---

Name: Jay Campbell

Company: Campbell Construction JD Inc.

Address: 461 River Crest Ct.

City: Mukwonago

State: WI

Zip: 53149

Daytime Phone: 262-436-4760

Fax: 262-436-4761

E-Mail: Jay@campbellconstructionbbg.com



## PROPERTY INFORMATION

---

Property Owner (s) (if different from applicant): C & H Wolf Run LLC

Address: W735 Miramar Rd City: East Troy State: WI Zip: 53120

Daytime Phone: 262-436-4760 Fax: 262-436-4761

E-Mail: Jay@campbellconstructionbbg.com

Present Zoning: B-2 Tax Key No(s): MUKV2015997006

Location/Address: south of the intersection of S. Rochester St. and Wolf Run

Present Use: Vacant Intended Use: Retail Business

## PROCEDURAL CHECKLIST FOR SITE PLAN/ARCHITECTURAL PLAN/PUD REVIEW AND APPROVAL

---

Submittals for review must include and be accompanied by the following:

### Application:

- ☐ Completed application form including the procedural checklist.
- ☐ Application fee: See page 1.
- ☐ Agreement for Reimbursable Services (separate application).

### Other Documents:

- ☐ Five(5) complete sets of Application and materials, in addition to the original, for Village of Mukwonago review.
  - ☐ Project Summary: Please attach a statement detailing the reasons and background for this request including: details of proposal, services provided, wares sold, plans and hours of operation, number of employees, frequency of customer visits, frequency of deliveries to site, description of any interior/exterior modifications or additions to be made to property, any outside storage (dumpsters, trucks, materials...), number of parking stalls, screening/buffer type, any other information available. **PLEASE EXPLAIN IN DETAIL.**
  - ☐ **Electronic Submittals are required.** Email (or CD ROM) with all plans and submittal materials in Adobe PDF to [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com).
  - ☐ Any additional information as determined by Village staff.
- Upon receipt of a complete submittal, staff review will be conducted within ten business days.
  - All Site Plan, Architectural, and Planned Unit Development review requests require Plan Commission review and Village Board approval.



## CERTIFICATION


Applicant hereby certifies that:

1. All of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.
2. Affirms that no Village of Mukwonago elected or appointed official or employee has a proprietary interest in the above referenced property for which this applications being filed (except as stated below under "Exceptions").
3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project (except as stated below under "Exceptions").
4. Applicant has read and understands all information in this packet.

Applicant further understands the policies of the Village regarding change of zonings and property development. Conditions of the resolution regarding all approvals are strictly followed. Certificates of Occupancy are not given until all conditions of approval have been met

By the execution of this application, applicant hereby authorizes the Village of Mukwonago or its agents to enter upon the property during the hours of 7:00 am to 7:00 pm daily for the purpose of inspection. Applicant grants this authorization to enter even if this land has been posted against trespassing pursuant to Section 943.13 WI Stats.

*(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).*

  
Signature - Property Owner

Jay Campbell member  
Name & Title (PRINT)

11/28/18  
Date

  
Signature - Applicant

Ryan J. Baeten, PE, Senior Engineer  
Name & Title (PRINT)

November 30, 2018  
Date

\_\_\_\_\_  
Signature - Property Owner

\_\_\_\_\_  
Name & Title (PRINT)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature - Applicant's Representative

\_\_\_\_\_  
Name & Title (PRINT)

\_\_\_\_\_  
Date

FOR OFFICE USE ONLY	
Date Paid	Receipt #
Plan Commission Date(s)	Village Board Date(s)
Escrow Required? <input type="checkbox"/> Yes <input type="checkbox"/> No	Escrow Amount
Plan Commission Disposition	
Village Board Disposition	



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 20\_\_\_\_

Department of Administration



**OWNER:**  
BIELINSKI HOMES, INC.  
1830 MEADOW LN. SUITE A  
PEWAUKEE, WISCONSIN 53072  
PHONE: (262) 548-5570

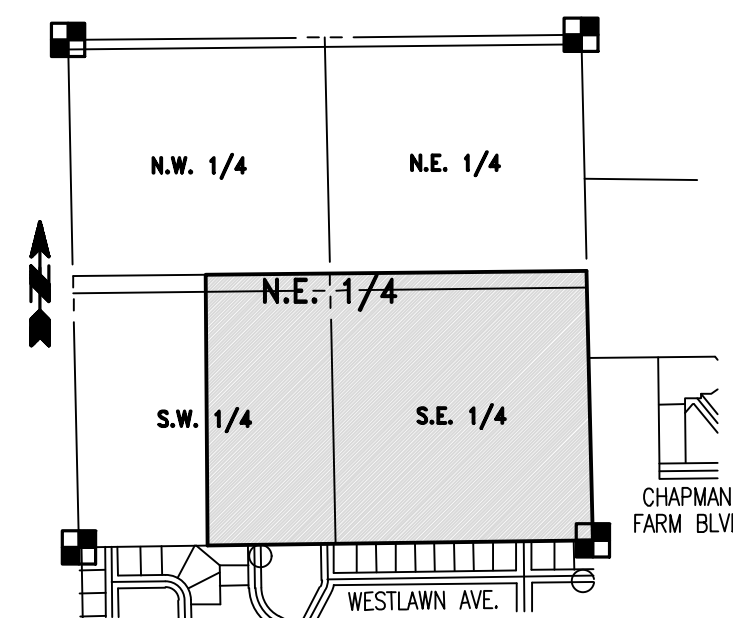
# CHAPMAN FARMS

BEING A REDIVISION OF OUTLOT 2 OF C.S.M. 11755, LOCATED IN A PART OF THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 22, TOWN 5 NORTH, RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.

UNPLATTED LANDS

N.E. CORNER,  
SEC. 22-5-18  
WIS. STATE PLANE COORD.  
SYSTEM - SOUTH ZONE  
FOUND CONC. MON. W/ BRASS CAP  
N=327,384.52 E=2,443,459.79

TRUE NORTH  
GRID NORTH  
+01°08'37"



**LOCALITY MAP:**  
N.E. 1/4, SEC. 22, T. 5 N., R. 18 E.  
SCALE: 1"=1000'

**SCALE: 1" = 100'**  
0 100 200

## BASEMENT RESTRICTION FOR GROUNDWATER NOTE:

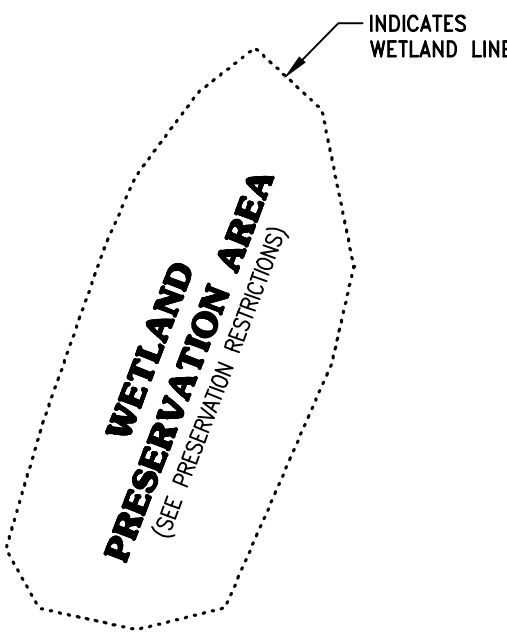
Although all Lots in the Subdivision have been reviewed and approved for development with single-family residential use in accordance with Section 236 Wisconsin Statutes, some Lots contain soil conditions that, due to the possible presence of groundwater near the surface, may require additional soil engineering and foundation design with regard to basement construction. It is recommended that a licensed professional engineer design a basement and foundation that will be suitable to withstand the various problems associated with saturated soil conditions on basement walls or floors or that other special measures be taken. Soil conditions should be subject to each owner's special investigation prior to construction and no specific representation is made herein.

## WETLAND PRESERVATION RESTRICTIONS:

Those areas identified as WETLAND on this Plat shall be subject to the following restrictions:

- Grading, filling and removal of topsoil or other earthen materials are prohibited, unless specifically authorized by the municipality in which this land is located and, if applicable, the Waukesha County Department of Parks and Land Use, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
- The removal or destruction of any vegetative cover, i.e., trees, shrubs, grasses, etc., is prohibited, with the exception that dead, diseased, or dying vegetation may be removed, at the discretion of the landowner and with approval from the municipality in which this land is located and, if applicable, the Waukesha County Department of Parks and Land Use-Planning and Zoning Division. Silvicultural thinning, upon the recommendation of a forester or naturalist and with approval from the municipality in which this land is located and, if applicable, the Waukesha County Department of Parks and Land Use-Planning and Zoning Division shall also be permitted. The removal of any vegetative cover that is necessitated to provide access or service to an approved residence or accessory building, shall be permitted only when the access or service cannot be located outside of the Conservancy/Wetland/Floodplain/Primary Environmental Corridor and with approval from the municipality in which this land is located and, if applicable, the Waukesha County Department of Parks and Land Use-Planning and Zoning Division.
- Grazing by domesticated animals, i.e., horses, cows, etc., is prohibited within the Conservancy/Wetland/Floodplain area and shall be discouraged to the greatest extent possible within the Primary Environmental Corridor area.
- The introduction of plant material not indigenous to the existing environment is prohibited.
- Ponds may be permitted subject to the approval of the municipality in which they are located and, if applicable, the Waukesha County Department of Parks and Land Use, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
- The construction of buildings is prohibited.

**OUTLOT 3**  
2085343 SF  
(RETAINED BY THE  
OWNER/DEVELOPER FOR  
FUTURE DEVELOPMENT)



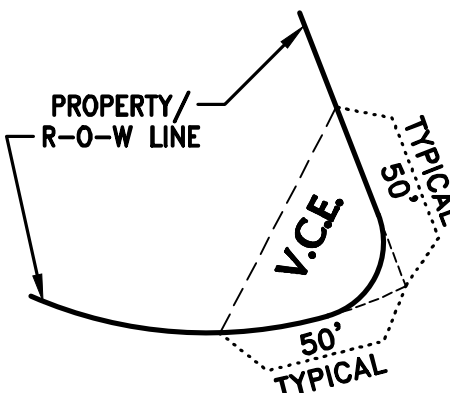
UNPLATTED  
LANDS

## GENERAL NOTES:

- Indicates Set 1.270" outside diameter x 18" long Reinforcing Bar weighing 4.303 lbs. per lineal foot. All other Lot and Outlot corners are staked with 0.750" outside diameter x 18" long Reinforcing Bar weighing 1.502 lbs. per lineal foot.
- All linear measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to nearest second and computed to the nearest half-second.
- All bearings are referenced to the Grid North of the Wisconsin State Plane Coordinate System (NAD 1927 datum) - South Zone, in which the South line of the N.E. 1/4 of Section 22, T. 5 N., R. 18 E., is taken to bear North 89°14'12" East.
- The Public Storm Sewer and Drainage Easements, Public Stormwater Drainage Easement and Public Sanitary Sewer and Watermain Easement are herein granted to the Village of Mukwonago.
- The 35' wide Temporary Access Easement is in favor of the Unplatted Lands to the East. Easement to terminate when Outlot 3 is fully developed.
- The Owners of the residential Lots within this Subdivision and any future additions to this Subdivision shall each own an equal undivided fractional interest in Outlots 1 AND 2 of this Subdivision and designated Outlots within any future additions to this Subdivision. Waukesha County shall not be liable for any fees or special charges in the event they become the owner of any Lot or Outlot in the Subdivision by reason of tax delinquency.
- Stormwater Management Facilities are located on Outlots 1, 2 and 3 of this Subdivision. The Owners of the residential Lots within this Subdivision and any future additions to this Subdivision shall each be liable for an equal undivided fractional share of the cost to repair, maintain or restore said Stormwater Management Facilities within this Subdivision. Said repairs, maintenance and restoration shall be performed by the Owners of all Lots within this Subdivision.
- Outlot 3 to be retained by the Owner/Developer (Bielinski Homes, Inc.) for future development.
- Outlot 4 is herein dedicated to the Public for Park purposes.
- The Wetland boundary shown on Outlot 3 was field delineated and field located by Stantec Consulting, Inc. in November, 2017. See Preservation Restrictions.
- The future Driveway locations for Lots 4, 5 and 6 are restricted to be located outside of the Roundabout return areas. Refer to the Subdivision's Construction Plan Set for potential Driveway locations on file at the Village of Mukwonago.

UNPLATTED  
LANDS

## VISION CORNER EASEMENT DETAIL (V.C.E.)



## V.C.E. APPLIES TO:

Lots 1, 2 and 3 are herein subject to a Vision Corner Easement as shown on this plat in that no structure or improvements of any kind are permitted within the Vision Corner. No vegetation (except trees) shall exceed a maximum height of 30 inches, as measured from the road edge to the top of the vegetation, in the location designated as the vision corner. Trees in the vision corner shall be trimmed to a height of 60 inches, as measured from the road edge to the bottom branches, to allow for a clear view of oncoming traffic.

## ZONING DATA:

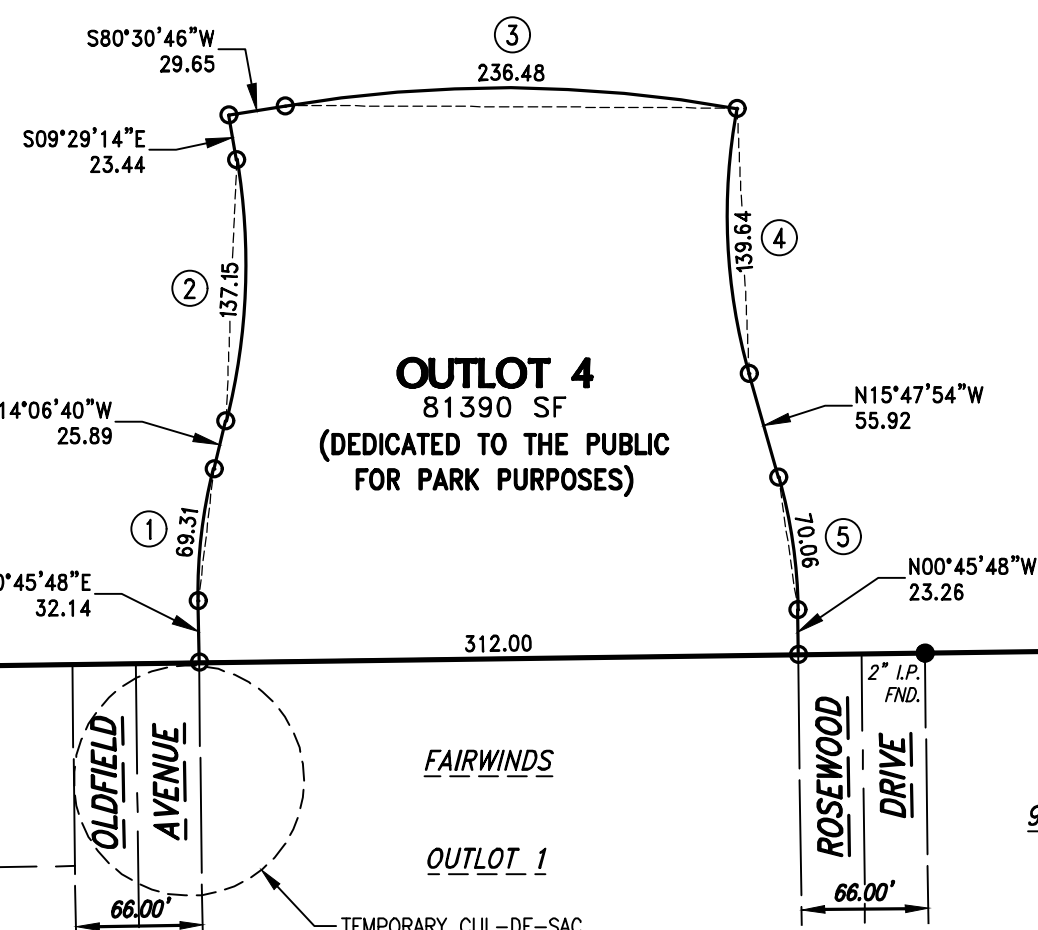
CATEGORY - "R-1" Single-Fam (Lots 4, 5, 6 & 7)  
Minimum Lot Area = 15,000 S.F.  
Minimum Lot Width Interior = 100 ft. ● FSB  
Minimum Lot Width corner = 120 ft. ● FSB  
Minimum Building Setbacks:  
Front Setback/Street ..... 35 ft.  
Interior Side Yard (1-Story) ... 15 ft.  
Interior Side Yard (Others) ... 20 ft. one side  
Rear Yard ..... 15 ft. other side  
40 ft.

Note: Lots 1, 2 & 3 are zoned "R-5" Multi-Family and will contain a future Condominium Development.

OUTLOT 1  
C.S.M. #11755

1411.78  
S00°30'47"E

CENTER,  
SEC. 22-5-18  
WIS. STATE PLANE COORD.  
SYSTEM - SOUTH ZONE  
FOUND CONC. MON.  
W/ BRASS CAP  
N=324,715.47  
E=2,440,844.71



S. LINE, N.E. 1/4, SEC. 22-5-18  
(N89°14'12"E 2677.10)

2005.46

N89°14'12"E

95 96 97 98 99 100 101 102 103 104 105 106

14-023-966-02

THIS INSTRUMENT WAS DRAFTED BY GRADY L. GOSSER, P.L.S. (S-2972)

DATED THIS 6TH DAY OF DECEMBER, 2018

SHEET 1 OF 3



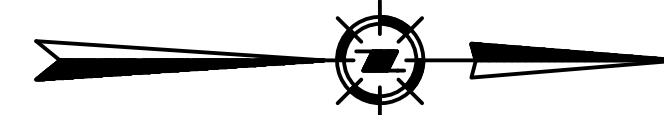
# CHAPMAN FARMS

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There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 20\_\_\_\_

Department of Administration



SCALE: 1" = 60'

0 60 120



12660 W. North Avenue  
Building "D"  
Brookfield, WI 53005  
Phone: (262) 790-1480  
Fax: (262) 790-1481

OUTLOT 3  
2085343 SF  
(RETAINED BY THE OWNER/DEVELOPER  
FOR FUTURE DEVELOPMENT)

OUTLOT 2  
11801 SF

3  
111571 SF

2  
193241 SF

1  
93815 SF

(P.O.B)  
E. 1/4 CORNER,  
SEC. 22-5-18  
WIS. STATE PLANE COORD.  
SYSTEM - SOUTH ZONE  
FOUND CONC. MON. W/ BRASS CAP  
N=324,751.13 E=2,443,521.40

N.E. CORNER,  
SEC. 22-5-18  
WIS. STATE PLANE COORD.  
SYSTEM - SOUTH ZONE  
FOUND CONC. MON. W/ BRASS CAP  
N=327,384.52 E=2,443,459.79



# CHAPMAN FARMS

BEING A REDIVISION OF OUTLOT 2 OF C.S.M. 11755, LOCATED IN A PART OF THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 22, TOWN 5 NORTH, RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.

## SURVEYOR'S CERTIFICATE:

STATE OF WISCONSIN )  
 ) SS  
COUNTY OF WAUKESHA)

I, Grady L. Gosser, Professional Land Surveyor, do hereby certify:

That I have surveyed, divided and mapped a redivision of Outlot 2 of Certified Survey Map No. 11755, recorded in the Office of the Register of Deeds for Waukesha County on August 31, 2018, in Book 118 of Certified Survey Maps, at Pages 128 through 130 inclusive, as Document No. 4358666, located in a part of the Northwest 1/4, Northeast 1/4, Southwest 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 22, Town 5 North, Range 18 East, in the Village of Mukwonago, Waukesha County, Wisconsin, now being more particularly bounded and described as follows:

Said Parcel contains 2,810,100 Square Feet (or 64.5110 Acres) of land, more or less.

That I have made such survey, land division and map by the direction of BIELINSKI HOMES, INC., owner of said lands.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Mukwonago in surveying, dividing and mapping the same.

Dated this 6th Day of DECEMBER, 20 18.



*Grady L. Gosser*  
Grady L. Gosser, P.L.S.  
Professional Land Surveyor, S-2972  
TRIO ENGINEERING, LLC  
12660 W. North Avenue, Building "D"  
Brookfield, WI 53005  
Phone: (262)790-1480 Fax: (262)790-1481

## CERTIFICATE OF COUNTY TREASURER:

STATE OF WISCONSIN )  
 ) SS  
COUNTY OF WAUKESHA)

I, Pamela F. Reeves, being duly elected, qualified and acting Treasurer of the County of Waukesha, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of this Day of , 20 on any of the land included in the Plat of "CHAPMAN FARMS".

*Pamela F. Reeves*  
Pamela F. Reeves, County Treasurer

## CERTIFICATE OF VILLAGE TREASURER:

STATE OF WISCONSIN )  
 ) SS  
COUNTY OF WAUKESHA)

I, Judith A. Taubert, being duly appointed, qualified and acting Treasurer of the Village of Mukwonago, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or special assessments as of this Day of , 20 on any of the land included in the Plat of "CHAPMAN FARMS".

*Judith A. Taubert*  
Judith A. Taubert, Village Treasurer

## UTILITY EASEMENT PROVISIONS:

An easement for electric, natural gas, and communications service is hereby granted by

BIELINSKI HOMES, INC., Grantor, to

WISCONSIN ELECTRIC POWER COMPANY, a Wisconsin corporation doing business as We Energies, Grantee,

WISCONSIN BELL, INC., d/b/a AT&T Wisconsin, a Wisconsin Corporation, Grantee, and

TIME WARNER ENTERTAINMENT COMPANY, L.P., Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

## CORPORATE OWNER'S CERTIFICATE OF DEDICATION:

BIELINSKI HOMES, INC., a Corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said Corporation has caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat. I also certify that this plat is required by S.236.10 or S.236.12 to be submitted to the following for approval or objection.

### APPROVING AGENCIES:

1. Village of Mukwonago

### AGENCIES WHO MAY OBJECT:

1. State of Wisconsin, Department of Administration  
2. Waukesha County, Department of Parks and Land Use

Witness the hand and seal of said Owner this day of , 20.

BIELINSKI HOMES, INC.

*Frank Bielinski*  
Frank Bielinski, Vice President

STATE OF WISCONSIN )  
 ) SS  
COUNTY OF )

Personally came before me this day of , 20, the above named Frank Bielinski, Vice President of the above named Corporation, to me known to be the person who executed the foregoing instrument, and to me known to be such Vice President of said Corporation, and acknowledged that he executed the foregoing instrument as such officer as the deed of said Corporation, by its authority.

Print Name: \_\_\_\_\_  
Public, \_\_\_\_\_ County, WI  
My Commission Expires: \_\_\_\_\_

## CONSENT OF CORPORATE MORTGAGEE:

CITIZENS BANK, a Corporation duly organized and existing by virtue of the laws of the State of Wisconsin, Mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedicating of the land described on this Plat, and does hereby consent to the above certificate of BIELINSKI HOMES, INC., owner, this day of , 20.

CITIZENS BANK

STATE OF WISCONSIN )  
 ) SS  
COUNTY OF )

Personally came before me this day of , 20, the above named of the above named Corporation, to me known to be the person who executed the foregoing instrument, and to me known to be such of said Corporation, and acknowledged that he executed the foregoing instrument as such officer as the deed of said Corporation, by its authority.

Print Name: \_\_\_\_\_  
Public, \_\_\_\_\_ County, WI  
My Commission Expires: \_\_\_\_\_



12660 W. North Avenue  
Building "D"  
Brookfield, WI 53005  
Phone: (262) 790-1480  
Fax: (262) 790-1481

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified , 20

Department of Administration



## VILLAGE BOARD APPROVAL:

Resolved, that the plat of "CHAPMAN FARMS", being located in a part of the Northwest 1/4, Northeast 1/4, Southwest 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 22, Town 5 North, Range 18 East, in the Village of Mukwonago, Waukesha County, Wisconsin, is hereby approved conditionally by the Village of Mukwonago Board.

*Fred Winchowky*  
Fred Winchowky, Village President

I hereby certify that the foregoing is a copy of a Resolution adopted by the Village Board of the Village of Mukwonago, and that all conditions of approval have been met as of this Day of , 20.

*Judith A. Taubert*  
Judith A. Taubert, Village Clerk

## CURVE TABLE:

NO.	LOT(S)	RADIUS	CENTRAL ANGLE	ARC	CHORD	CHORD BEARING	TANGENT IN	TANGENT OUT
1	OUTLOTS 3/4	267.00	14°52'28"	69.31	69.12	S06°40'26"W	S14°06'40"W	S00°45'48"E
2	OUTLOTS 3/4	333.00	23°35'54"	137.15	136.18	N02°18'43"E	N14°06'40"E	N09°29'14"W
3	OUTLOTS 3/4	690.00	19°38'12"	236.48	235.32	N89°40'08"W	N79°51'02"W	S80°30'46"W
4	OUTLOTS 3/4	303.00	26°24'16"	139.64	138.40	S02°35'46"E	S10°36'22"W	S15°47'54"E
5	OUTLOTS 3/4	267.00	15°02'06"	70.06	69.86	N08°16'51"W	N00°45'48"W	N15°47'54"W
6	C/L	300.00	33°27'39"	175.20	172.72	N17°29'37.5"W	N00°45'48"W	N34°13'27"W
	EAST	340.00	20°27'31"	121.40	120.76	N10°59'33.5"W	N00°45'48"W	N21°13'19"W
	1	340.00	14°55'28"	88.56	88.31	N08°13'32"W	N00°45'48"W	N15°41'16"W
	OUTLOT 1	340.00	5°32'03"	32.84	32.83	N18°27'17.5"W	N15°41'16"W	N21°13'19"W
	WEST	260.00	19°09'11"	86.91	86.51	N10°20'23.5"W	N00°45'48"W	N19°54'59"W
	7	260.00	9°34'17"	43.43	43.38	N05°32'56.5"W	N00°45'48"W	N10°20'05"W
	6	260.00	9°34'54"	43.48	43.43	N15°07'32"W	N10°20'05"W	N19°54'59"W
7	C/L	400.00	11°19'35"	79.07	78.94	S28°33'39.5"E	S22°53'52"E	S34°13'27"E
	NORTHEAST	360.00	11°19'35"	71.17	71.05	S28°33'39.5"E	S22°53'52"E	S34°13'27"E
	4	360.00	9°37'02"	60.43	60.36	S29°24'56"E	S24°36'25"E	S34°13'27"E
	OUTLOT 3	360.00	1°42'33"	10.74	10.74	S23°45'08.5"E	S22°53'52"E	S24°36'25"E
	5	440.00	6°29'27"	49.85	49.82	S26°08'35.5"E	S22°53'52"E	S29°23'19"E
8	6	90.00	89°54'04"	141.22	127.17	N64°52'01"W	N19°54'59"W	S70°10'57"W
9	5	80.00	99°34'16"	139.03	122.18	N20°23'49"E	N70°10'57"E	N29°23'19"W
10	4	90.00	38°37'05"	60.66	59.52	S53°31'59.5"E	S34°13'27"E	S72°50'32"E
11	4	90.00	36°58'31"	58.08	57.08	N88°40'12.5"E	S72°50'32"E	N70°10'57"E
12	OUTLOT 1	80.00	91°24'16"	127.62	114.52	S24°28'49"W	S70°10'57"W	S21°13'19"E
13	C/L	250.00	19°11'16"	83.72	83.33	S79°46'35"W	S89°22'13"W	S70°10'57"W
	SOUTH	210.00	19°11'16"	70.33	70.00	S79°46'35"W	S89°22'13"W	S70°10'57"W
	OUTLOT 1	210.00	7°47'24"	28.55	28.53	S74°04'39"W	S77°58'21"W	S70°10'57"W
	1	210.00	11°23'52"	41.78	41.71	S83°40'17"W	S89°22'13"W	S77°58'21"W
	3	290.00	18°03'36"	91.41	91.03	S79°12'45"W	S88°14'33"W	S70°10'57"W
14	C/L	200.00	14°38'02"	51.08	50.94	N07°56'48"W	N00°37'47"W	N15°15'49"W
	2	230.00	14°38'02"	58.74	58.58	N07°56'48"W	N00°37'47"W	N15°15'49"W
	3	170.00	14°38'02"	43.42	43.30	N07°56'48"W	N00°37'47"W	N15°15'49"W
15	C/L	220.00	25°36'16"	98.31	97.50	S02°27'41"E	S10°20'27"W	S15°15'49"E
	2	190.00	25°36'16"	84.91	84.20	S02°27'41"E	S10°20'27"W	S15°15'49"E
	3	250.00	25°36'16"	111.72	110.79	S02°27'41"E	S10°20'27"W	S15°15'49"E
16	C/L	300.00	14°59'22"	78.48	78.26	N02°50'46"E	N10°20'27"E	N04°38'55"W
	2	330.00	14°59'22"	86.33	86.09	N02°50'46"E	N10°20'27"E	N04°38'55"W
	3	270.00	14°59'22"	70.64	70.43	N02°50'46"E	N10°20'27"E	N04°38'55"W
17	C/L	600.00	2°45'54"	28.95	28.95	S03°15'58"E	S01°53'01"E	S04°38'55"E
	2	570.00	2°45'54"	27.51	27.50	S03°15'58"E	S01°53'01"E	S04°38'55"E
	3	630.00	2°45'54"	30.40	30.40	S03°15'58"E	S01°53'01"E	S04°38'55"E
18	C/L	100.00	88°40'59"	154.78	139.79	N46°13'30.5"W	N01°53'01"W	S89°26°00"W
	2	130.00	88°40'59"	201.22	181.72	N46°13'30.5"W	N01°53'01"W	S89°26°00"W
	3	70.00	88°40'59"	108.35	97.85	N46°13'30.5"W	N01°53'01"W	S89°26°00"W
19	C/L	180.00	20°49'58"	65.45	65.09	S80°09'01"E	S69°44'02"E	N89°26°00"E
	2	150.00	20°49'58"	54.54	54.24	S80°09'01"E	S69°44'02"E	N89°26°00"E
	3	210.00	20°49'58"	76.36	75.94	S80°09'01"E	S69°44'02"E	N89°26°00"E
20	OUTLOTS 2/3	260.00	11°31'05"	52.27	52.18	S22°40'24.5"W	S28°25'57"W	S16°54'52"W
21	TOTAL	333.00	28°59'57"	168.54	166.75	N13°55'58.5"E	N28°25'57"E	N00°34°00"W
	OUTLOTS 2/3	333.00	2°59'51"	17.42	17.42	N26°56'01.5"E	N28°25'57"E	N25°26°06"E
	OUTLOT 3/R.O.W.	333.00	10°20'15"	60.08	60.00	N20°15'58.5"E	N25°26°06"E	N15°05°51"E
	LOT 2/OUTLOT 3	333.00	15°39'51"	91.04	90.76	N07°15'55.5"E	N15°05°51"E	N00°34°00"W



Village of Mukwonago  
440 River Crest Court, P.O. Box 206  
Mukwonago, WI 53149  
Phone: (262) 363-6420  
Fax: (262) 363-6425  
[www.villageofmukwonago.com](http://www.villageofmukwonago.com)

## VILLAGE OF MUKWONAGO

### FINAL PLAT REVIEW APPLICATION

Application Fee: \$250 + \$11 per lot

Date Submitted: \_\_\_\_\_

#### CONTACTS

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##### Zoning and Planning Department

Contact: Bruce Kaniewski  
Phone: (414) 339-4105  
Fax: (262) 363-6425  
Email: [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com)

#### GUIDELINES

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It is recommended that, prior to the filing of an application for the approval of a final plat, the subdivider should first inform the Village Clerk of the subdivider's plans and then consult with the Zoning Administrator, the Village Engineer and/or the Village Planner in order to obtain advice and assistance.

The undersigned petition is to consider a request, as stated herein, for the specified parcel(s) of land and will be reviewed by the Plan Commission and Village Board of the Village of Mukwonago. The application packet must be filed with the Village Clerk **at least 30 days prior to the meeting** of the Planning Commission at which action is desired. The Plan Commission meets on the second Tuesday of each month at 6:30 p.m.

Materials listed below must be provided to the Village of Mukwonago in accordance with Village Municipal Code Chapter 45 Article II. and other pertinent sections of Village ordinances, State statutes and as necessary to permit review that is consistent with proper planning practice. The Village will strive to accommodate reasonable requests for informal conceptual review, however the Village shall not place any items on the agenda for Plan Commission consideration until such time as the application is complete in accordance with all requirements specified on this and other attached application forms. In the case of a final plat the submittal date, for the purposes of WI Stats. Chapter 236, is the date that the entire application packet is completed (as dated below by Village Staff).

Mail completed applications to: Village Planner  
ATTN: Final Plat Review  
PO Box 206  
Mukwonago, WI 53149  
Deliver to: Village Clerk's Office  
440 River Crest Court  
Email to: [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com)

Complete, accurate and specific information must be entered. Please Print.

#### APPLICANT (Full Legal Name)

---

Name: Frank & Harry Bielinski  
Company: Bielinski Homes, Inc.  
Address: 1830 Meadow Ln. STE. A City: Waukegan State: WI Zip: 53072  
Daytime Phone: 262-542-9494 Fax: 262-547-6331  
E-Mail: bielinski.com



## PROPERTY INFORMATION

Property Owner (s) (if different from applicant): Bielinski Homes, Inc  
Address: 1830 Meadow Ln STE A City: Pewaukee State: WI Zip: 53072  
Daytime Phone: 262-542-9494 Fax: 262-547-6331  
E-Mail: Bielinski.com  
Present Zoning: R-5 Tax Key No(s): \_\_\_\_\_  
Location/Address: Chapman Farms west of HWY 93 & Chapman Blvd.  
Present Use: Ag. Intended Use: condominiums

## PROCEDURAL CHECKLIST FOR FINAL PLAT REVIEW AND APPROVAL

Submittals for review must include and be accompanied by the following:

### Application:

- ☐ Completed application form including the procedural checklist.
- ☐ Application fee: \$250 + \$11 per lot
- ☐ Agreement for Reimbursable Services (separate application).

### Other Documents:

- ☐ Project Summary: Please attach a statement detailing the reasons and background for this request. **PLEASE EXPLAIN IN DETAIL.**
- ☐ The following number of full sets of plat:
  - ☐ Two (2) copies are required for staff.
  - ☐ Four (4) copies are required for each County Planning Commission.
  - ☐ Two (2) copies are required if shorelands or wetlands are involved.
  - ☐ Two (2) copies are required if abutting a highway.
  - ☐ Three (3) copies are required for the utilities.
  - ☐ One (1) copy is required for each school district.
- ☐ **Electronic Submittals are required.** Email (or CD ROM) with all plans and submittal materials in Adobe PDF to [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com).
- ☐ Any additional information as determined by Village staff.



**RESOLUTION 2019-004**

**RESOLUTION APPROVING A FINAL PLAT OF CHAPMAN FARMS  
BIELINSKI HOMES, APPLICANT**

**WHEREAS**, pursuant to Chapter 45 of Municipal Code, known as the Land Division Ordinance, an application for a Final Plat of Subdivision, which is the first phase of development for the vacant 64.5-acre property located immediately north of the Fairwinds Subdivision, in the Village of Mukwonago, was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

**WHEREAS**, the application was submitted by Bielinski Homes, and

**WHEREAS**, the Preliminary Plat of Subdivision was approved by the Village Board on April 18, 2018, and

**WHEREAS**, the Preliminary Plat of Subdivision has been reviewed and recommended by the Village Plan Commission, finding that this first phase Final Plat is in substantial compliance with the Preliminary Plat and with the conditions of approval of the Preliminary Plat and conforms to Village zoning of the property, and further finding that conditional approval of this Final Plat will require subsequent approvals of construction drawings and documents before development of the property will commence, and

**WHEREAS**, the Village Plan Commission further recommends the Village Board adopt the Final Plat allowing a 60-foot wide public street right-of-way for Sandhill Lane to provide access to the condominium area of the development, in lieu of the required 66-foot wide public street right-of-way, pursuant to Section 45-22 of Municipal Code that allows the Village Board to grant exceptions and modifications to standards of Chapter 45, and

**WHEREAS**, the Plan Commission found in recommending for the exception and modification there are exceptional circumstances for allowing the narrower right-of-way, as a public right-of-way was a requirement of Preliminary Plat approval by the Village and the width is consistent with past practice for condominium development, the exception is necessary for the preservation of property rights, and the exception does not create detriment to adjacent property.

**NOW, THEREFORE, BE IT RESOLVED** by the Village Board of the Village of Mukwonago, Wisconsin, the Village Board hereby approves the 7-Lot and 4-Outlot Final Plat of Chapman Farms Subdivision submitted by Bielinski Homes, prepared by Grady L. Gosser, Land Surveyor, dated December 6, 2018.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** approval of the Final Plat shall be subject to the following conditions:

1. Approval is granted for the Chapman Farms Final Plat pursuant to the plat dated December 6, 2018 prepared by Grady L. Gosser, further subject to conditions of this approval.
2. Pursuant to Section 45-22 of the Municipal Code, the Village Board accepts the recommendation and findings of the Plan Commission to allow Sandhill Lane to be platted as a 60-foot wide right-of-way.



3. The final plat shall not be signed by Village officials and recorded until the following items are satisfied:
  - a. Comments of the Wisconsin Department of Administration and Waukesha County are addressed on the final plat.
  - b. Comments from the Village Engineer's office and the Village Planner/Zoning Administrator (that include all Village staff comments) are addressed on the final plat.
  - c. Village Board approved Developer Agreements are signed by the applicant.
  - d. Village Board approved Storm Water Maintenance Agreement is signed by the applicant.
  - e. Submittal of the required Letter of Credit(s) by the applicant, in a form approved by the Village Attorney.
  - f. Submittal and approval by Village staff of Deed Restrictions and Homeowner Association Documents.
  - g. Written verification from the Village Engineer's office and the Village Planner/Zoning Administrator that all required modifications have been included on the final plat.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** the applicant, upon the approval of this Certified Survey Map, shall agree to accept the same in writing.

Passed and dated this 19<sup>th</sup> day of January 2019.

VILLAGE OF MUKWONAGO

By: \_\_\_\_\_  
Fred Winchowky, Village President

Attest: \_\_\_\_\_  
Judith A. Taubert, Village Clerk



W233 N2080 Ridgeview Parkway • Waukesha, WI 53188-1020 • Tel. (262) 542-5733

December 26, 2018

Mr. Fred Winchowky  
Village President  
Village of Mukwonago  
P.O. Box 206  
Mukwonago, WI 53149

Re: Chapman Farms CSM Review  
Final Plat

Dear President Winchowky:

We have reviewed the above CSM as requested by Village Staff and have the following comments:

In accordance with State Statutes:

1. 236.20 (2) (c): All easements or restrictions created by the plat must be retraceable as shown by the Plat.
2. A Utility Easement Provisions note is on Sheet 3 of 3. This note is not retraceable. Further it references "Utility Easement Areas" as shown on the plat. No areas or typical easement details are shown. See also 236.20 (2) (f).
3. A Vision Corner Easement Detail is shown on Sheet 1 of 3. The notes indicate this detail applies to Lots 1, 2 and 3. But not Out Lot 1 (O.L. 1) nor lots 4, 5 and 6 which are in the corners of the right of way. At a minimum, Lot 1 should be removed from this note.
4. Does the proposed round a bout at this intersection require additional vision corner easements? If the answer is yes, then detailed easements should be shown for lots 4, 5 and 6 and Out Lot 1.
5. 236.20 (3) (d) The names of adjoining streets, land divisions, etc. in their proper location, underscored by dashed or dotted lines. Chapman Farm Boulevard, which was dedicated by CSM No. 11714, is not shown nor labeled.
6. The Public Stormwater Drainage Easement on south side of lot 1 (Rain Garden 4) must be located in an Outlot and not an easement.



Mr. Fred Winchowky  
Village of Mukwonago  
December 26, 2018  
Page 2

In accordance with Village of Mukwonago Land Division Ordinance other comments and concerns relating to the technical review of the construction drawings and storm water management plan will be forthcoming under separate cover.

Please contact me if you have any questions.

Very truly yours,

RUEKERT & MIELKE, INC.



Christopher J. Ruetten, P.L.S.  
Professional Land Surveyor  
[cruetten@ruekert-mielke.com](mailto:cruetten@ruekert-mielke.com)

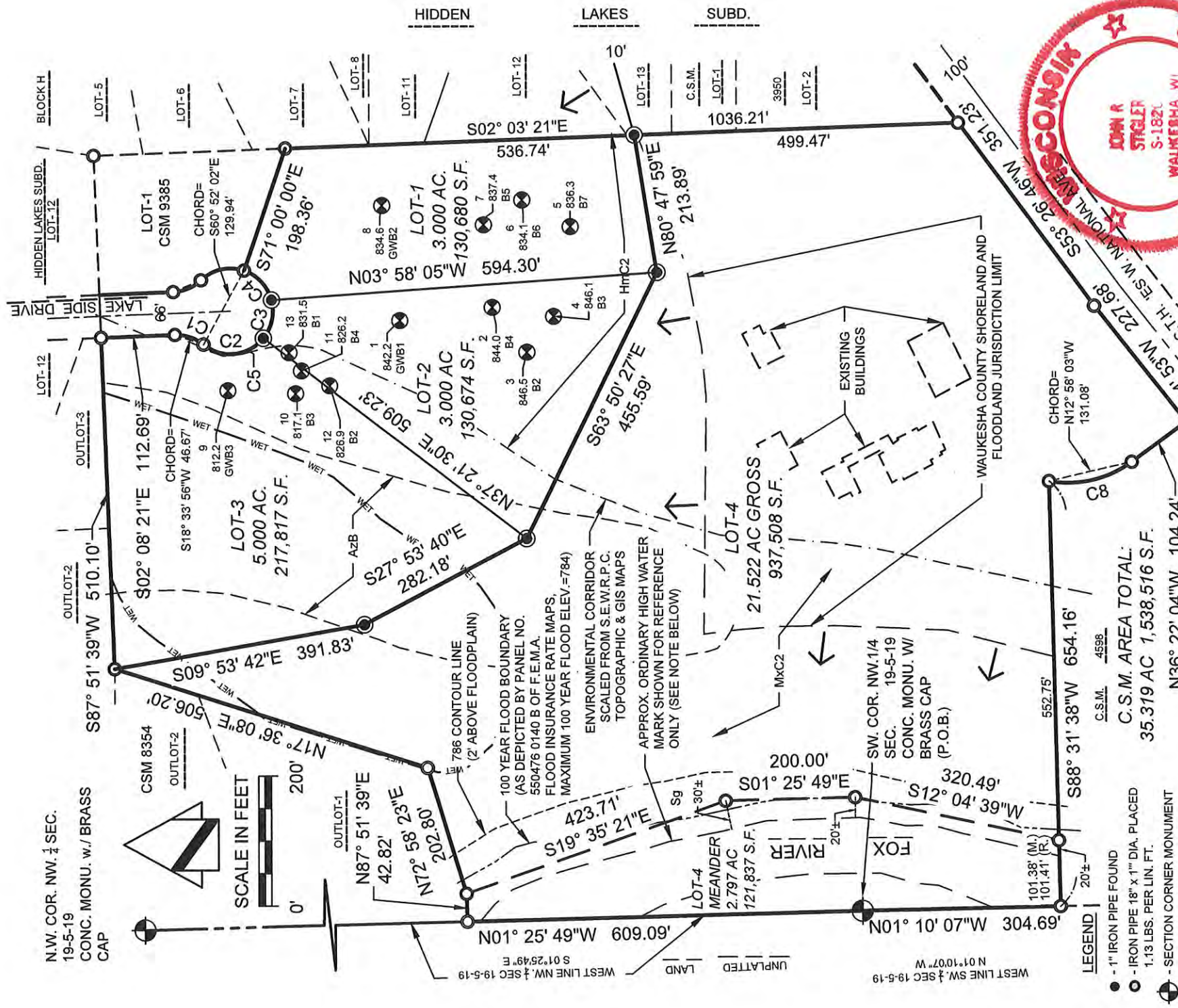
CJR:jkc

cc: John Weidl, Village of Mukwonago  
Bruce Kaniewski, Village of Mukwonago  
Mark G. Blum, Village of Mukwonago  
Rebecca K. Alonge, Ruekert & Mielke, Inc.  
Christopher M. Genellie, P.E., Ruekert & Mielke, Inc.  
Richard A. Eberhardt, P.E., P.L.S., Ruekert & Mielke, Inc.  
File



CERTIFIED SURVEY MAP NO. \_\_\_\_\_ Sheet 1 of 6  
Being a Redivision of Lot 2 of Certified Survey Map No. 9385 and being part of the  
Southwest Quarter (SW 1/4) of the Northwest Quarter (NW 1/4) and Northwest Quarter (NW 1/4)  
of the Southwest Quarter (SW 1/4) of Section 19, Town 5 North, Range 19 East  
TOWN OF VERNON, WAUKESHA COUNTY, WISCONSIN

Being a Redivision of Lot 2 of Certified Survey Map No. 9385 and being part of the Southwest Quarter (SW  $\frac{1}{4}$ ) of the Northwest Quarter (NW  $\frac{1}{4}$ ) and Northwest Quarter (NW  $\frac{1}{4}$ ) of the Southwest Quarter (SW  $\frac{1}{4}$ ) of Section 19, Town 5 North, Range 19 East



REFERENCE BEARING: THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 19, TOWN 5 NORTH, RANGE 19 EAST WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF N 01°25'49" W BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE)

NOTES:

- LOTS 1, 2 AND 3 ARE ENTIRELY WITHIN THE WAUKESHA COUNTY SHORELAND AND FLOODLAND JURISDICTION LIMITS.
- LOTS 1 THRU 3 CONTAINS ONLY A-2 ZONED LAND.
- ANY LAND BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE 1X, SECTION 1 OF THE STATE CONSTITUTION.

INSTRUMENT DRAFTED BY JOHN R. STIGLER

P.S. VERNON 518

FILE NAME: S:\PROJECTS\S8701\DWG\S8701.DWG



CERTIFIED SURVEY MAP NO. \_\_\_\_\_ Sheet 2 of 6  
Being a Redivision of Lot 2 of Certified Survey Map No. 9385 and being part of the  
Southwest Quarter (SW ¼) of the Northwest Quarter (NW ¼) and Northwest Quarter (NW ¼)  
of the Southwest Quarter (SW ¼) of Section 19, Town 5 North, Range 19 East  
TOWN OF VERNON, WAUKESHA COUNTY, WISCONSIN

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	47.70'	66.00'	41°24'38"	46.67'	S18° 33' 56"W
C2	103.58'	66.00'	89°56'18"	93.27'	S5° 41' 46"E
C3	62.48'	66.00'	54°14'04"	60.17'	S77° 45' 58"E
C4	64.64'	66.00'	56°07'04"	62.09'	N47° 03' 28"E
C5	230.69'	66.00'	200°15'55"	129.94'	S60° 52' 02"E
C8	134.80'	66.00'	46°47'56"	131.08'	N12° 58' 03"W

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DEC 28 2018

CLERKS OFFICE  
TOWN OF VERNON

*John R. Stigler*  
JOHN R. STIGLER - Wis. Reg. No. S-8701  
DATED this 27th DAY of December, 2018



CERTIFIED SURVEY MAP NO. \_\_\_\_\_ Sheet 3 of 6  
 Being a redivision of Lot 2 of Certified Survey Map No. 9385 and being part of the  
 Southwest Quarter (SW ¼) of the Northwest Quarter (NW ¼) and Northwest Quarter (NW ¼)  
 of the Southwest Quarter (SW ¼) of Section 19, Town 5 North, Range 19 East  
 TOWN OF VERNON, WAUKESHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

STATE OF WISCONSIN )ss  
 COUNTY OF WAUKESHA)

I, John R. Stigler, professional land surveyor, being duly sworn on oath, hereby depose and say that I have surveyed, divided and mapped the following land bounded and described as follows:

Being a redivision of Lot 2 of Certified Survey Map No. 9385 and being part of the Southwest Quarter (SW ¼) of the Northwest Quarter (NW ¼) and Northwest Quarter (NW ¼) of the Southwest Quarter (SW ¼) of Section 19, Town 5 North, Range 19 East, Town of Vernon, Waukesha County, Wisconsin also described as follows: Beginning at the southwest corner of the Northwest Quarter (NW ¼) of said Section 19, thence North 01°25'49" West 609.09 feet along the west line of the Northwest Quarter (NW ¼) of said Section 19; thence North 87°51'39" East 42.82 feet; thence North 72°58'23" East 202.80 feet along the east line of Certified Survey Map No. 8354; thence North 17°36'08" East 506.20 feet along said east line; thence North 87°51'39" East 510.10 feet along the north line of Certified Survey Map No. 9385 to the east right-of-way line of Lakeside Drive; thence South 02°08'21" East along said right-of-way line 112.69 feet; thence southerly 47.70 feet on the arc of a curve of radius 66.00 feet, curve center lies to the west, chord bears South 18°33'56" West 46.67 feet; thence easterly 230.69 feet along the arc of curve and right-of-way of Lakeside Drive, curve center lies to the east chord bears South 60°52'02" East 129.94 feet to the southwest corner of Lot 1 of Certified Survey Map No. 9385; thence South 71°00'00" East 198.36 feet along the south line of said Lot 1; thence South 02°03'21" East 1036.21 feet along the west line of Hidden Lakes Subdivision to the north right-of-way line of W. National Avenue (CTH "ES"); thence South 53°26'46" West 351.23 feet along said north right-of-way line; thence South 51°34'53" West 227.68 feet along said north right-of-way line; thence North 36°22'04" West 104.24 feet; thence northerly 134.80 feet along the arc of a curve, curve center lies to the east, chord bears North 12°58'03" West 131.08 feet, radius of 165.03 feet; thence South 88°31'38" West 654.16 feet; to the west line of the Southwest Quarter (SW ¼) of said Section 19; thence North 01°10'07" West along said west line 304.69 feet to the place of beginning. CSM total area is 1,538,516 square feet or 35.319 acres of land.

I further certify that I have made such survey, land division and map by the direction of the owners of said land; that such map is a correct representation of the exterior boundaries of the land surveyed and map thereof made; and that I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes pertaining to Certified Survey Maps (Section 236.34) and the regulations of the Town of Vernon, Village of Mukwonago, and Waukesha County in surveying, dividing and mapping the same.



*John R. Stigler*  
 JOHN R. STIGLER – Wis. Reg. No. S-1820

STATE OF WISCONSIN )ss  
 WAUKESHA COUNTY )  
 The above certificate subscribed and sworn to me this 27<sup>th</sup> day of December 2018

My commission expires July 5, 2019.

*Peter A. Muehl*

PETER A. MUEHL – NOTARY PUBLIC

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DEC 28 2018

CLERKS OFFICE  
 TOWN OF VERNON



OWNER: HEAVEN CITY DEVELOPMENT, CO.

Instrument drafted by John R. Stigler

P.S. Vernon 518



**CERTIFIED SURVEY MAP NO.**

Sheet 4 of 6

Being a redivision of Lot 2 of Certified Survey Map No. 9385 and being part of the Southwest Quarter (SW ¼) of the Northwest Quarter (NW ¼) and Northwest Quarter (NW ¼) of the Southwest Quarter (SW ¼) of Section 19, Town 5 North, Range 19 East

TOWN OF VERNON, WAUKESHA COUNTY, WISCONSIN

**OWNER'S CERTIFICATE:**

As Owner, I hereby certify that I caused the land described on this map to be surveyed, divided and mapped in accordance with the requirements of the Town of Vernon and Ordinances of Waukesha County as represented on this map.

HEAVEN CITY DEVELOPMENT, CO.- OWNER

STATE OF WISCONSIN)ss  
COUNTY OF WAUKESHA)

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2018, the above named HEAVEN CITY DEVELOPMENT, CO., to me known to be the person who executed the foregoing instrument and acknowledged the same.

My commission expires \_\_\_\_\_.

NOTARY PUBLIC

**CONSENT OF CORPORATE MORTGAGEE:**

\_\_\_\_\_, mortgagee of the above described land, does hereby consent to the surveying, dividing and mapping of the land described on this map and does hereby consent to the above certificate of \_\_\_\_\_.

\_\_\_\_\_  
IT'S \_\_\_\_\_

STATE OF WISCONSIN )ss  
COUNTY OF WAUKESHA)

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2018 the above named \_\_\_\_\_ to me known to be the person who executed the foregoing instrument and to me known to be such \_\_\_\_\_, and acknowledged that he executed the foregoing instrument as such officer as the deed of said corporation, by its authority.

My commission expires \_\_\_\_\_.

NOTARY PUBLIC

*John R. Stigler*  
JOHN R. STIGLER - Wis. Reg. No. S-1820  
Dated this 27<sup>th</sup> day of DEC 2018, 2018

**RECEIVED**

DEC 28 2018

CLERKS OFFICE  
TOWN OF VERNON

OWNER: HEAVEN CITY DEVELOPMENT, CO.

Instrument drafted by John R. Stigler

P.S. Vernon 518



Sheet 5 of 6

**CERTIFIED SURVEY MAP NO.**

Being a redivision of Lot 2 of Certified Survey Map No. 9385 and being part of the Southwest Quarter (SW ¼) of the Northwest Quarter (NW ¼) and Northwest Quarter (NW ¼) of the Southwest Quarter (SW ¼) of Section 19, Town 5 North, Range 19 East

TOWN OF VERNON, WAUKESHA COUNTY, WISCONSIN

**TOWN BOARD APPROVAL**

Approved by the Town Board, Town of Vernon, this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
THOMAS G. BIRD - CHAIRPERSON

\_\_\_\_\_  
KAREN L. SCHUH - CLERK

**TOWN PLAN COMMISSION APPROVAL:**

Approved by the Plan Commission, Town of Vernon, this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
THOMAS G. BIRD – CHAIRPERSON

\_\_\_\_\_  
KAREN L. SCHUH - SECRETARY

**VILLAGE PLAN COMMISSION APPROVAL: EXTRATERRITORIAL JURISDICTION**

Approved by the Plan Commission, Village of Mukwonago, this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
FRED WINCHOWKY - PRESIDENT

\_\_\_\_\_  
JUDITH TAUBERT –CLERK/TREASURER

**VILLAGE BOARD APPROVAL: EXTRATERRITORIAL JURISDICTION**

Approved by the Village Board, Village of Mukwonago, this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
FRED WINCHOWKY - PRESIDENT

\_\_\_\_\_  
JUDITH TAUBERT –CLERK/TREASURER

WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE: Resolved that the above Certified Survey Map which has been filed for approval as required by Chapter 236, Wisconsin Statutes, is hereby approved on this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
DALE R. SHAVER - DIRECTOR

*John R. Stigler*  
\_\_\_\_\_  
JOHN R. STIGLER - Wis. Reg. No. S-1820  
Dated this 27<sup>th</sup> day of December, 2018



**RECEIVED**

DEC 28 2018

CLERKS OFFICE  
TOWN OF VERNON

OWNER: HEAVEN CITY DEVELOPMENT, CO.

Instrument drafted by John R. Stigler

P.S. Vernon 518



**CERTIFIED SURVEY MAP NO.** Sheet 6 of 6

Being a redivision of Lot 2 of Certified Survey Map No. 9385 and being part of the Southwest Quarter (SW ¼) of the Northwest Quarter (NW ¼) and Northwest Quarter (NW ¼) of the Southwest Quarter (SW ¼) of Section 19, Town 5 North, Range 19 East  
TOWN OF VERNON, WAUKESHA COUNTY, WISCONSIN

## Notes:

1. The Subdivision Plat of Hidden Lakes, which was recorded on June 13, 1968, following approval by the County Planning Agency, depicts a 60' wide Right-of-Way for Lake Side Dr. as set forth in Waukesha County Shoreland and Flood Land Protection Ordinance. That 60' wide platted road Right-of-Way is considered to be the established road Right-of-Way for Lake Side Dr.
2. Those areas within the Primary Environmental Corridor are considered to be within a Primary Environmental Corridor Preservation Area and are subject to the restrictions noted on this page.

**WETLAND/PRIMARY ENVIRONMENTAL CORRIDOR RESTRICTIONS**

Those areas identified as Wetland/Primary Environmental Corridor Preservation Area on Page 1 of 6 of this Certified Survey Map shall be subject to the following restrictions:

1. The removal or destruction of any vegetative cover, i.e., trees, shrubs, grasses, etc., is prohibited, with the exception that invasive, dead, diseased, or dying vegetation may be removed, at the discretion of the landowner and with approval from the Waukesha County Department of Parks and Land Use – Planning and Zoning Division. Silvicultural thinning, upon the recommendation of a forester or naturalist and with approval from the Waukesha County Department of Parks and Land Use – Planning and Zoning Division, shall also be permitted.
2. Grazing by domesticated animals, i.e., horses, cows, etc, is prohibited.
3. The introduction of plant material not indigenous to the existing environment is prohibited.
4. Ponds are prohibited.
5. The construction of buildings is prohibited.
6. The wetland restrictions apply to those areas identified as wetland on the Certified Survey Map or as further defined through field verification. If any structures, land altering activities, or vegetation removal are proposed within close proximity to the pond or wetland boundary, a field delineation of the wetland boundary may be necessary. All setbacks and regulations required by the Waukesha County Shoreland and Floodland Protection Ordinance at the time of proposed development/land alteration shall apply.

*John R. Stigler*  
JOHN R. STIGLER - Wis. Reg. No. S-1820  
Dated this 21<sup>st</sup> day of DECEMBER, 2018

**RECEIVED**

DEC 28 2018

CLERKS OFFICE  
TOWN OF VERNON

OWNER: HEAVEN CITY DEVELOPMENT, CO.

Instrument drafted by John R. Stigler

P.S. Vernon 518

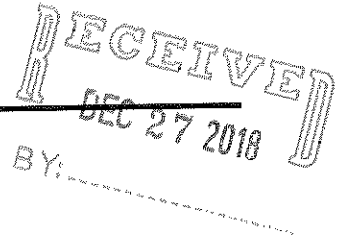


Village of Mukwonago  
440 River Crest Court, P.O. Box 206  
Mukwonago, WI 53149  
Phone: (262) 363-6420  
Fax: (262) 363-6425  
www.villageofmukwonago.com

## VILLAGE OF MUKWONAGO EXTRATERRITORIAL REVIEW APPLICATION

Application Fee: \$200

Date Submitted: 12/27/2018



### TYPE OF SUBMITTAL

(Please check one)

- ☐ Certified Survey Map  
☐ Preliminary Plat  
☐ Final Plat  
☐ Other: \_\_\_\_\_

### CONTACTS

#### Zoning and Planning Department

Contact: Bruce Kaniewski  
Phone: (414) 339-4105  
Fax: (262) 363-6425  
Email: planner@villageofmukwonago.com

### GUIDELINES

The undersigned petition is to consider a request, as stated herein, for the specified parcel(s) of land and will be reviewed by the Plan Commission and Village Board of the Village of Mukwonago. The application packet must be filed with the Village Clerk **at least 30 days prior** to the meeting of the Planning Commission at which action is desired.

Materials listed below must be provided to the Village of Mukwonago in accordance with Village Municipal Code Chapter 45 Article IV and other pertinent sections of Village ordinances, WI Stats. 236.34, and, as necessary, to permit review that is consistent with proper planning practice. The Village will strive to accommodate reasonable requests for informal preliminary staff review, however the Village shall not place any items on the agenda for Plan Commission consideration until such time as the application is complete in accordance with all requirements specified on this and other attached application forms.

Mail completed applications to: Village Planner  
ATTN: Extraterritorial Review  
PO Box 206  
Mukwonago, WI 53149  
Deliver to: Village Clerk's Office  
440 River Crest Court  
Email to: planner@villageofmukwonago.com

Complete, accurate and specific information must be entered. Please Print.

### APPLICANT INFORMATION (Full Legal Name)

Name: Ralph P. Hibbard  
Company: HEAVEN CITY DEVELOPMENT  
Address: 591 W 27850 NATIONAL AVE City: MUKWONAGO State: WI Zip: 53149  
Daytime Phone: 262-363-5885 Fax: \_\_\_\_\_  
E-Mail: RALPH @ GREENFIELD GALLERY . NET



**APPLICANT IS REPRESENTED BY (Full Legal Name)**

Name: Ralph P. Hibbard  
Company: HEAVEN CITY DEVELOPMENT  
Address: 5911 W 27850 NATIONAL AVE City: MUKWAGO State: WI Zip: 53149  
Daytime Phone: 262-363-5885 Fax: \_\_\_\_\_  
E-Mail: Ralph @ GREENFIELD GALLERY.NET

**ARCHITECT**

Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

**PROFESSIONAL ENGINEER**

Name: John  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

**REGISTERED SURVEYOR**

Name: John Stigler  
Company: Jahnke + Jahnke  
Address: 711 W. MORELAND BLVD City: WAUKESHA State: WI Zip: 53188  
Daytime Phone: 262-542-5797 Fax: \_\_\_\_\_  
E-Mail: jstigler @ jahnke AND jahnke .com

**CONTRACTOR**

Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_



## PROPERTY AND PROJECT INFORMATION

---

Property Owner (s) (if different from applicant): \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-Mail: \_\_\_\_\_

Location/Address: \_\_\_\_\_

Present Zoning: \_\_\_\_\_ Tax Key No(s): \_\_\_\_\_

Name of Town Property is Located In: \_\_\_\_\_

Town Official Contact Name: \_\_\_\_\_

Town Official Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

Present Use: \_\_\_\_\_ Intended Use: \_\_\_\_\_

## PROCEDURAL CHECKLIST FOR EXTRATERRITORIAL REVIEW AND APPROVAL

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The application packet must be filed with the Village Clerk **at least 30 days prior** to the meeting of the Planning Commission at which action is desired.

**Certified Survey Maps shall be prepared as provided in § 236.34 (1m) (c) Wis. Stats. and Article IV of the Land Division Ordinance. Submittals for review must include and be accompanied by the following:**

### **Application:**

- ☐ Completed application form including the procedural checklist.
- ☐ Application fee: \$200
- ☐ Agreement for Reimbursable Services (separate application).

### **Other Documents:**

- ☐ Project Summary: Please attach a statement detailing the reasons and background for this request.
- ☐ A letter or other document stating the Town's approval of the submittal.
- ☐ **Electronic Submittals are required.** Email (or CD ROM) with all plans and submittal materials in Adobe PDF to [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com).
- ☐ Any additional information as determined by Village staff



## CERTIFICATION

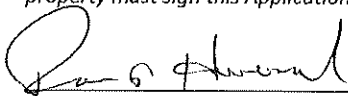
Applicant hereby certifies that:

1. All of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.
2. Affirms that no Village of Mukwonago elected or appointed official or employee has a proprietary interest in the above referenced property for which this applications being filed (except as stated below under "Exceptions").
3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project (except as stated below under "Exceptions").
4. Applicant has read and understands all information in this packet.

Applicant further understands the policies of the Village regarding change of zonings and property development. Conditions of the resolution regarding all approvals are strictly followed. Certificates of Occupancy are not given until all conditions of approval have been met

By the execution of this application, applicant hereby authorizes the Village of Mukwonago or its agents to enter upon the property during the hours of 7:00 am to 7:00 pm daily for the purpose of inspection. Applicant grants this authorization to enter even if this land has been posted against trespassing pursuant to Section 943.13 WI Stats.

*(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).*



Signature - Property Owner

Robert P. Hibbard

Name & Title (PRINT)

12-27-18

Date

\_\_\_\_\_  
Signature - Applicant

\_\_\_\_\_  
Name & Title (PRINT)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature - Property Owner

\_\_\_\_\_  
Name & Title (PRINT)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature - Applicant's Representative

\_\_\_\_\_  
Name & Title (PRINT)

\_\_\_\_\_  
Date

FOR OFFICE USE ONLY	
Date Paid <u>12/27/18</u>	Receipt #
Plan Commission Date(s) <u>1/8/2019</u>	Village Board Date(s) <u>1/14/2019</u>
Escrow Required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Escrow Amount
Plan Commission Disposition	
Village Board Disposition	





## Village of Mukwonago

440 River Crest Court, Mukwonago, Wisconsin 53149  
(262) 363-6420 x.2111

## Office of the Village Planner

[www.villageofmukwonago.com](http://www.villageofmukwonago.com)  
[planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com)

January 3, 2019

Fred Winchowky, Village President  
Village of Mukwonago  
440 River Crest Court  
Mukwonago, WI 53149

Re: 4-Lot Extraterritorial Certified Survey Map  
Ralph Hibbard/Town of Vernon

Dear President Winchowky and Members of the Plan Commission:

Ralph Hibbard, owner of the property commonly known as Heaven City along the north side of CTH ES and the east bank of the Fox River, is requesting extraterritorial review of a 4-Lot Certified Survey Map (CSM). Pursuant to State Law, the Village has the opportunity to review any land division within 1.5 miles of its corporate boundary, although review is limited to conformance with the Village Comprehensive Plan.

This CSM is related to the pending approval of the boundary agreement with the Town of Vernon. It is the desire of Vernon officials to approve the CSM before final approval of the boundary agreement by the Wisconsin Department of Administration (DOA). The Town Plan Commission and Town Board is expected to review and approve the CSM on January 3<sup>rd</sup>. Town Board and Village Board approval of the boundary agreement is expected during January and will then be forwarded to DOA for approval. (*January 4<sup>th</sup> update—Town Board approved the boundary agreement*).

The CSM creates three single family lots of 3.0, 3.0 and 5.0 acres off the cul-de-sac of Lake Side Drive through the Hidden Lakes Subdivision. The fourth lot retains 21.5 acres of the Heaven City complex of buildings. The Village comprehensive plan designates about the northern one-third of the site as Medium Lot Single Family I (25,000 square foot lot size minimum) and the southern two-thirds as Low Intensity Commercial/Business. Since the proposed lot sizes are above 25,000 square mix, the CSM conforms to the comprehensive plan.

Within the boundary agreement, the three single family lots have been placed within the 30-year attachment area, and the 21.5-acre lot will be in the 10-year attachment area. In other words, if the 21.5-acre site is not attached to the Village within 10 years because of development or property owner choice, the site is automatically attached. For your information, the current boundary agreement map is attached. After anticipated state acceptance of the boundary agreement, Village staff suggests the Plan Commission propose an amendment to the comprehensive plan, especially for the Village ultimate boundary area along Maple Avenue.

A large portion of the site is covered by a floodplain, wetlands and a Primary Environmental Corridor. Please see the attached Town Planner's report about the environmental features and other factors about the CSM.





# Village of Mukwonago

Office of the Village Planner

440 River Crest Court, Mukwonago, Wisconsin 53149  
(262) 363-6420 x.2111

[www.villageofmukwonago.com](http://www.villageofmukwonago.com)  
[planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com)

## **RECOMMENDATION**

The proposed CSM conforms to the comprehensive plan. I recommend approval.

Sincerely,

A handwritten signature in blue ink, appearing to read "Bruce S. Kaniewski".

Bruce S. Kaniewski, AICP  
Village Planner/Zoning Administrator



**RESOLUTION 2019-005**

**RESOLUTION APPROVING THE EXTRATERRITORIAL REVIEW OF A 4-LOT CERTIFIED  
SURVEY MAP WITHIN THE TOWN OF VERNON  
RALPH HIBBARD, APPLICANT**

**WHEREAS**, pursuant to the Village of Mukwonago Land Division Ordinance and the State of Wisconsin Plat Act (Chapter 236), an application for extraterritorial review of a Certified Survey Map for the property with the current tax key number of VNT 2090-997-002, located within the Town of Vernon, was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

**WHEREAS**, the application was submitted by Ralph Hibbard of Heaven City Development, and

**WHEREAS**, the subject property, located along the north side of County Trunk Highway ES, immediately east of the Fox River, falls within the 1.5-mile extraterritorial plat review area surrounding the corporate boundary of the Village of Mukwonago, and

**WHEREAS**, the Plat Act allows the Village the opportunity to review any land division that is within the 1.5-mile extraterritorial plat review area for compliance with the Village Comprehensive Plan, and

**WHEREAS**, the 4-Lot Certified Survey Map has been reviewed and recommended by the Village Plan Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the 4-Lot Certified Survey Map dated December 27, 2018 prepared by John R. Stigler, Public Land Surveyor, finding that the Certified Survey Map conforms to the Village Comprehensive Plan.

Passed and dated this 16<sup>th</sup> day of January 2019.

VILLAGE OF MUKWONAGO

By: \_\_\_\_\_  
Fred Winchowky, Village President

Attest: \_\_\_\_\_  
Judith A. Taubert, Village Clerk



**VILLAGE OF MUKWONAGO  
WAUKESHA/WALWORTH COUNTIES**

---

**RESOLUTION NO. 2019-001**

**RESOLUTION TO ADOPT THE COOPERATIVE BOUNDARY AGREEMENT  
WITH THE TOWN OF VERNON AND TO TRANSMIT THE  
COOPERATIVE BOUNDARY AGREEMENT  
TO THE STATE OF WISCONSIN DEPT. OF ADMINISTRATION**

---

WHEREAS, the Mukwonago Village Board, pursuant to Wisconsin Statute §66.0307(4)(a) adopted Resolution No. 2018-054 to authorize the preparation of a Cooperative Boundary Plan between the Village of Mukwonago and the Town of Vernon; and

WHEREAS, Wisconsin Statute §66.0307 authorizes adjoining municipalities to establish the boundaries between and amongst themselves upon adopting and having approved by the Wisconsin Department of Administration, a Cooperative Plan in accordance with the procedures and requirements of Wisconsin Statute §66.0307(4)(c); and

WHEREAS, a Cooperative Boundary Plan has the general purpose of guiding and accomplishing a coordinated, adjusted and harmonious development of the territory covered by the Plan in order to best promote the public health, safety and general welfare, together with the future needs of the Village of Mukwonago and the Town of Vernon; and

WHEREAS, a Cooperative Boundary Plan is in the best interest of the Village and the Town; and

WHEREAS, as a result of the authorization and Resolution No. 2018-054, a Cooperative Boundary Plan was drafted pursuant to Wisconsin Statute §66.0307 and is hereinafter referred to as the “Cooperative Boundary Plan”; and

WHEREAS, the proposed Cooperative Boundary Plan was the subject of a Joint Public Hearing held on November 29, 2018 at the Mukwonago Village Hall and both the Mukwonago Village Board and the Vernon Town Board was present for said Joint Public Hearing as required by Wisconsin Statute §66.0307(4)(b); and

WHEREAS, in advance of the Joint Public Hearing, Notice of the Joint Public Hearing was provided by publication in the Waukesha Freeman on November 3, 2018, November 10, 2018 and November 17, 2018 in compliance with the statutory requirements of Wisconsin Statute §66.0307(4)(b); and

WHEREAS, at the Joint Public Hearing the Mukwonago Village Board and the Vernon Town Board heard comments about the proposed Cooperative Boundary Plan from the public and for twenty (20) days after the Joint Public Hearing the Clerks of the Village of Mukwonago and the Town of Vernon received comments about the proposed Cooperative Boundary Plan as required under Wisconsin Statute §66.0307(4)(c), all of which comments were reviewed by the Village Board; and



WHEREAS, the proposed Cooperative Boundary Plan was made available to the public prior to the Joint Public Hearing as provided for in the Notices of Publication. Comments made at the Joint Public hearing, as well as for twenty (20) days subsequent thereto have been considered by the Village of Mukwonago and the Town of Vernon, respectively; and

WHEREAS, the proposed Cooperative Boundary Plan, with the comments received attached as supplemental exhibits, constitutes the final Cooperative Boundary Agreement that should be sent to the State of Wisconsin Department of Administration for final review and approval; and

WHEREAS, the purpose of this Resolution is to approve the Cooperative Boundary Agreement as described in Wisconsin Statute §66.0307.

NOW, THEREFORE, BE IT RESOLVED, that the Village Board of the Village of Mukwonago does hereby adopt and approve the Cooperative Boundary Agreement with the Town of Vernon.

BE IT FURTHER RESOLVED that the Village Clerk is directed to cooperate with the Clerk for the Town of Vernon to include the executed version of this Resolution, as well as the Resolution of the Town of Vernon, indicating adoption of the Cooperative Boundary Agreement and authorizing transmittal of the Cooperative Boundary Agreement to the State of Wisconsin Department of Administration.

BE IT FURTHER RESOLVED that the Village President and Village Clerk are authorized to execute the Cooperative Boundary Agreement and the appropriate Village Officials are hereby authorized to take all other necessary and appropriate action consistent with the approval of this Resolution and the provisions of Wisconsin Statute §66.0307.

BE IT FURTHER RESOLVED, that the Village Clerk is directed to cooperate with the Vernon Town Clerk to submit the Cooperative Boundary Agreement to the State of Wisconsin Department of Administration for approval pursuant to Wisconsin Statute §66.0307(4)(b) and (5)(a).

BE IT FURTHER RESOLVED that Village Clerk is hereby directed to take such steps are necessary to effectuate the intention of these resolutions.

Adopted this 16<sup>th</sup> day of January, 2019.

APPROVED:

Attestation:

---

Fred Winchowky, Village President

---

Judith A Taubert, Village Clerk/Treasurer



**NOTICE OF A JOINT PUBLIC HEARING  
REGARDING A COOPERATIVE BOUNDARY AGREEMENT  
PURSUANT TO WISCONSIN STATUTE §66.0307 BETWEEN  
THE VILLAGE OF MUKWONAGO and THE TOWN OF VERNON**

**PLEASE TAKE NOTICE** that a Joint Public Hearing shall be held on the 24th day of October 2018 at 6:30 p.m. at the Mukwonago Village Hall, 440 River Crest Court, Mukwonago, Wisconsin, 53149. The purpose of the public hearing is to receive comments from all interested persons with respect to a Cooperative Boundary Agreement Plan between the Village of Mukwonago, Wisconsin, and the Town of Vernon, Wisconsin, pursuant to Wisconsin Statute §66.0307 ("Agreement"). Interested parties may publicly comment on the Agreement during the hearing and may submit written comments on the Agreement before, at and within 20 days following the hearing. Comments will be considered by the Village and Town before the Agreement is finalized and submitted to the State of Wisconsin Department of Administration for review.

The Agreement details provisions affecting the common boundary lines between the Village and the Town, including the timing of boundary changes. The Agreement also includes provisions with respect to the providing of municipal services within the area specified. A copy of the Agreement is available for review by contacting the Village or the Town as follows:

Village of Mukwonago  
Judith Taubert, Village Clerk/Treasurer  
Linda Gourdoux, Deputy Clerk  
440 River Crest Court  
Mukwonago, WI 53149  
Phone: (262) 363-6420  
[jtaubert@villageofmukwonago.com](mailto:jtaubert@villageofmukwonago.com)  
[lgourdoux@villageofmukwonago.com](mailto:lgourdoux@villageofmukwonago.com)

Town of Vernon  
Karen Schuh, Clerk  
W249 S8910 Center Drive  
Big Bend, WI 53103  
Phone: (262) 662-2039  
[clerk@townofvernon.org](mailto:clerk@townofvernon.org)

This Notice is being provided by the Town and the Village as required under Wisconsin Statute §66.0307.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this assistance, please contact Karen Schuh at 262-662-2039. Please refer to the front page of the Town of Vernon website at [www.townofvernon.org](http://www.townofvernon.org).

**ALL PERSONS INTERESTED WILL BE AFFORDED A HEARING AT THE ABOVE TIME AND PLACE.**

Dated this 3<sup>rd</sup> day of October, 2018.

Karen Schuh  
Town Clerk, Vernon

Judith Taubert  
Village Clerk/Treasurer, Mukwonago

Linda Gourdoux  
Deputy Clerk, Mukwonago

To be published in the Waukesha Freeman as a Class III Publication on October 3, 10, 17, 2018, the notice was posted in the Town of Vernon on 10/3/2018.



# NOTICE OF INFORMATION SESSIONS AND PUBLIC HEARING FOR PROPOSED BORDER AGREEMENT WITH THE TOWN OF VERNON BOARD AND VILLAGE OF MUKWONAGO

## AGENDA

Location of the meeting is at the Village of Mukwonago  
At the Village of Mukwonago Municipal Hall  
440 River Crest Court  
Mukwonago, WI 53149

Informational sessions from 5:00 pm to 6:00 pm  
Public Hearing will begin at 6:30 pm

*Vernon Town Board members will be present for the informational sessions from 5 pm to 6:00 pm which will allow the public to discuss the proposed border agreement with elected officials and staff. It is anticipated that these sessions will be one on one with the property owners. No action will be taken.*

1. 6:30 pm- Call to Order Vernon Town Board
2. Introductions of Elected Officials and staff
3. Reading of the Public Hearing Notice

PLEASE TAKE NOTICE that a Joint Public Hearing shall be held on the 24th day of October 2018 at 6:30 p.m. at the Mukwonago Village Hall, 440 River Crest Court, Mukwonago, Wisconsin, 53149. The purpose of the public hearing is to receive comments from all interested persons with respect to a Cooperative Boundary Agreement Plan between the Village of Mukwonago, Wisconsin, and the Town of Vernon, Wisconsin, pursuant to Wisconsin Statute §66.0307 ("Agreement"). Interested parties may publicly comment on the Agreement during the hearing and may submit written comments on the Agreement before, at and within 20 days following the hearing. Comments will be considered by the Village and Town before the Agreement is finalized and submitted to the State of Wisconsin Department of Administration for review.

The Agreement details provisions affecting the common boundary lines between the Village and the Town, including the timing of boundary changes. The Agreement also includes provisions with respect to the providing of municipal services within the area specified. A copy of the Agreement is available for review by contacting the Village or the Town. This Notice is being provided by the Town and the Village as required under Wisconsin Statute §66.0307. ALL PERSONS INTERESTED WILL BE AFFORDED A HEARING AT THE ABOVE TIME AND PLACE. Dated this 3<sup>rd</sup> day of October 2018. Published in the Waukesha Freeman as a Class III Publication on October 3, 10, 17, 2018, the notice was posted in the Town of Vernon on 10/3/2018.

4. Explanation of the Border Agreement Process and the Village of Mukwonago's Vision for Border Agreement Plan
5. Public Comments
6. Motion for Adjournment

APPROVED:

*Thomas G Bird*

Chairman Thomas G. Bird  
Chairman of the Town of Vernon

Please note, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request service, contact Town Clerk at 662-2039. For TTY service, call 662-2039

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any other governmental body except the Town Board of Supervisors.

Email & Posted on October 23, 2018, inside and outside the Vernon Town Hall posting boards, other businesses, the media, and as a courtesy on the Town of Vernon website at [www.townofvernon.org](http://www.townofvernon.org).



# **NOTICE OF INFORMATION MEETING AND PUBLIC HEARING FOR PROPOSED BORDER AGREEMENT WITH THE VILLAGE OF MUKWONAGO AND TOWN OF VERNON AGENDA**

**Location of the meeting is at the Village of Mukwonago  
At the Village of Mukwonago Municipal Hall  
440 River Crest Court  
Mukwonago, WI 53149**

**Informational meeting from 5 pm to 6 pm  
Public Hearing will begin at 6:30 pm**

**Call to Order: Village of Mukwonago Board will call the informational meeting to order.**  
*There will be a public informational meeting from 5 pm to 6 pm which will allow the public to discuss the agreement with elected officials and staff.*

- 1. 6:30 pm Call to Order Village of Mukwonago**
- 2. Introductions of Elected Officials and staff**
- 3. Village President reads the Public Notice of Public Hearing**

**PLEASE TAKE NOTICE** that a Joint Public Hearing shall be held on the 24th day of October 2018 at 6:30 p.m. at the Mukwonago Village Hall, 440 River Crest Court, Mukwonago, Wisconsin, 53149. The purpose of the public hearing is to receive comments from all interested persons with respect to a Cooperative Boundary Agreement Plan between the Village of Mukwonago, Wisconsin, and the Town of Vernon, Wisconsin, pursuant to Wisconsin Statute §66.0307 ("Agreement"). Interested parties may publicly comment on the Agreement during the hearing and may submit written comments on the Agreement before, at and within 20 days following the hearing. Comments will be considered by the Village and Town before the Agreement is finalized and submitted to the State of Wisconsin Department of Administration for review.

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Village of Mukwonago  
Judith Taubert, Village Clerk/Treasurer  
Linda Gourdoux, Deputy Clerk  
440 River Crest Court  
Mukwonago, WI 53149  
Phone: (262) 363-6420  
[jtaubert@villageofmukwonago.com](mailto:jtaubert@villageofmukwonago.com)  
[lgourdoux@villageofmukwonago.com](mailto:lgourdoux@villageofmukwonago.com)

Town of Vernon  
Karen Schuh, Clerk  
W249 S8910 Center Drive  
Big Bend, WI 53103  
Phone: (262) 662-2039  
[clerk@townofvernon.org](mailto:clerk@townofvernon.org)

This Notice is being provided by the Town and the Village as required under Wisconsin Statute §66.0307. **ALL PERSONS INTERESTED WILL BE AFFORDED A HEARING AT THE ABOVE TIME AND PLACE.** Dated this 3<sup>rd</sup> day of October 2018. Published in the Waukesha Freeman as a Class III Publication on October 3, 10, 17, 2018, the notice was posted in the Town of Vernon on 10/3/2018.

- 4. Explanation of the Border Agreement Process and the Village of Mukwonago's Vision for Border Agreement Plan**
- 5. Public Comments**
- 6. Motion for Adjournment**

It is possible that members of, and possibly a quorum of, members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note that, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request this service, contact the Clerk's Office, 440 River Crest Court, (262) 363-6420, Option 4.



**APPROVED PROCEEDINGS FROM THE  
PUBLIC HEARING FOR PROPOSED BORDER AGREEMENT WITH THE  
TOWN OF VERNON BOARD AND VILLAGE OF MUKWONAGO  
Wednesday, October 24, 2018 at 6:30pm**

**1. 6:30 pm - Call to Order Vernon Town Board**

Chairman Thomas Bird called the Vernon Town Board to order at 6:30 pm with the Pledge of Allegiance. Chairman Thomas Bird asked Town Clerk Karen Schuh to read the roll call for attendance. Present at the Town Board meeting: Chairman Thomas Bird, Supervisors Jeff Millies, Gary Wilde, Ed Moline and Bill Craig and Town Attorney John Macy was also present. Village President Fred Winchowky, of the Village of Mukwonago, introduced Village Trustees Karl Kettner, Mark Penzkover, James Decker, Darlene Johnson, Jay Vermeulen and Jason Wamser. Deputy Clerk Linda Gourdoux and staff members from the Village were also present at the meeting. Town Clerk Karen Schuh verified to the Town Board that meeting notices were properly given and posted inside and outside the Town Hall, to the media and as a courtesy the agenda was sent to other entities within the Town of Vernon and the Town website and that the meeting is compliant with the State of Wisconsin Open Meetings Law requirement.

**2. Introductions of Elected Officials and staff**

Chairman Thomas Bird introduced the members of the Vernon Town Board and staff members and President Fred Winchowky introduced members of the Village of Mukwonago Board and staff. President Fred Winchowky gave an overview of how the Public Hearing will proceed.

**3. Reading of the Public Hearing Notice - Chairman Bird read the following Public Notice.**

**PLEASE TAKE NOTICE** that a Joint Public Hearing shall be held on the 24th day of October 2018 at 6:30 p.m. at the Mukwonago Village Hall, 440 River Crest Court, Mukwonago, Wisconsin, 53149. The purpose of the public hearing is to receive comments from all interested persons with respect to a Cooperative Boundary Agreement Plan between the Village of Mukwonago, Wisconsin, and the Town of Vernon, Wisconsin, pursuant to Wisconsin Statute §66.0307 ("Agreement"). Interested parties may publicly comment on the Agreement during the hearing and may submit written comments on the Agreement before, and within 20 days following the hearing. Comments will be considered by the Village and Town before the Agreement is finalized and submitted to the State of Wisconsin Department of Administration for review.

The Agreement details provisions affecting the common boundary lines between the Village and the Town, including the timing of boundary changes. The Agreement also includes provisions with respect to the providing of municipal services within the area specified. A copy of the Agreement is available for review by contacting the Village or the Town. This Notice is being provided by the Town and the Village as required under Wisconsin Statute §66.0307. All persons interested will be afforded a hearing at the above time and date, dated this 3<sup>rd</sup> day of October 2018. It will also be published in the Waukesha Freeman as a Class III Publication on October 3, 10, 17 of 2018. The notice was posted in the Town of Vernon on 10/3/2018.

**4. Explanation of the Border Agreement Process and the Village of Mukwonago's Vision for Border Agreement Plan**

President Fred Winchowky gave an overview of the border agreement process between the Town of Vernon and the Town of Mukwonago. Chairman Thomas Bird also gave an overview of the border agreement and what the Town hopes to gain with the agreement. Bruce Kaniewski, the Village Planner, gave an overview of the Village of Mukwonago's Planning and Land Use and an overview of how the process of land uses may change. President Fred Winchowky asked for public comments and stated that all questions would be answered after all comments were given to the boards.



## 5. Public Comments

Caleb Schilling - S91W27795 National Avenue: Asked how this border agreement is going to affect his taxes and stated that no one has come to him to explain how this agreement will change their property.

Jennifer Wagner - S102W26155 Maple Avenue: Stated they are in the 30-year plan and would like to know what is in it for them. She does not want sewer and water, but she would like internet and she has similar concerns expressed by Mr. Schilling.

Sue Datka - S109W27935 Maple Avenue: My family has lived on the property for 42 years and they would like to know how this benefits them and expressed that they want to stay in Vernon.

Linda Forster - W278S11010 Fairview Circle: Her family has lived in the subdivision right next to the Village since 1975. They moved to Vernon to raise their family and to have horses. They just replaced their septic system which was over twenty-four thousand dollars and they just built a new barn for their horses. She and her husband will be retiring soon, and she is afraid they will be taxed out of their home by this border agreement.

Conrad Forester - W278S11010 Fairview Circle: Agrees with his wife and questioned why the Town did not send a letter to property owners about the agreement and wants to know what is in it for them? He does not want sewer and water. He has propane and he can't afford the gas line to his property and does not like the agreement. Why were they not notified of the informational meeting?

Jackie Schwane - S106W26975 Maple Avenue: Stated they moved to Vernon because the taxes were cheap and they like well water and hate city water and is worried about a four-lane highway coming in. They moved here for the country atmosphere.

Vito Schwartz- S92W27825 National Avenue: Stated he is very happy in Vernon. The Town is easier to work with and likes the low taxes and does not want to be in the Village in the next 5 years.

Carl Fortner – Sandhill: He believes legal notice may be legal but not accurate. Information was not in the last newsletter and information was not given to residents. He believes in border agreements and feels extraterritorial zoning agreement is a minor benefit to the town. The fact that the Village of Mukwonago would not contest the Town of Vernon in trying to incorporate, is not a benefit without an agreement with Big Bend. The tax payment for two years is less than the 5 years the Town would receive in an annexation. He does not see the benefit to Vernon residents and questioned the tax level of the Village verses the Town taxes. There is no protection to his property of what may be developed next to his property. Why does the Village need three and a half miles into Vernon? He feels that the Town is giving too much land away? He will be submitting written comments.

Elizabeth Wissner - W278S10995 Fairview Circle: Her family's investments are being split up with this border agreement. They live in the subdivision next to the Village and also have a large 30-acre property next to the Craig farm. This agreement came up very suddenly, and with this agreement it will bring the Village police and fire department and they are busy with accidents near Walmart. They moved from the Town of Mukwonago to the Town of Vernon because they like the Town.

Fred Huey- S93W27705 Edgewood Avenue: Stated that he has lived in Vernon for 55 years and the reason he is in Vernon is because the taxes are low, and he is on a fixed income. He can't afford higher taxes.

An unidentified person questioned the agreements time frame of five years because the current agreement dates say four years according to the dates shown in the agreement.



President Fred Winchowky closed the public hearing.

Bruce Kaniewski, the Village Planner, stated that the agreement was first drafted in 2017. The new agreement will have the correct "phase-in" dates based upon when the agreement is signed. He stated that all land that comes into the Village as a Border Agreement or annexation is always zoned as agricultural land. He stated this is the Village's ordinance and it follows the state statutes. The land is rezoned based upon the Village of Mukwonago's Comprehensive Land Use Plan. The Village of Mukwonago's taxes are higher than the Town of Vernon. The Village of Mukwonago's ordinance on sewer and water mirrors the Wisconsin State Statutes, which states that if sewer and water are in front of your property, the property owner has nine months to hook up.

Several Vernon Town Board members stated why they felt the border agreement was necessary and reiterated that there is nothing in it for them.

President Fred Winchowky stated that this discussion is not new. The Village and Town stated talking over 20 years ago about this. This item will be on the Village of Mukwonago's agenda for December 19, 2018 at 6:00 pm.

The Vernon Town Board and Mukwonago Village Board members thanked everyone for coming and sharing their comments and requested that residents contact their board members regarding this agreement.

#### 6. Motion for Adjournment

**MOTION:** Supervisor Gary Wilde moved to adjourn at 7:58 pm. Motion seconded by Supervisor Ed Moline. Motion carried by voice vote.

\*Clerk's note-The audio of the Public Hearing can be heard on the Town of Vernon's website under Town Board/Public Hearings.

Respectfully Submitted by:  
Clerk Karen L. Schuh

**APPROVED:**

*Thomas G. Bird*

Thomas G. Bird, Chairman, Town of Vernon

Approved: By Town Board on November 15, 2018.



**NOTICE OF A JOINT PUBLIC HEARING  
REGARDING A COOPERATIVE BOUNDARY AGREEMENT  
PURSUANT TO WISCONSIN STATUTE §66.0307 BETWEEN  
THE VILLAGE OF MUKWONAGO and THE TOWN OF VERNON**

**PLEASE TAKE NOTICE** that a Joint Public Hearing shall be held on the 28th day of November, 2018 at 6:30 p.m. at the Mukwonago Village Hall, 440 River Crest Court, Mukwonago, Wisconsin, 53149. The purpose of the public hearing is to receive comments from all interested persons with respect to a Cooperative Boundary Agreement Plan between the Village of Mukwonago, Wisconsin, and the Town of Vernon, Wisconsin, pursuant to Wisconsin Statute §66.0307 ("Agreement"). Interested parties may publicly comment on the Agreement during the hearing and may submit written comments on the Agreement before, at and within 20 days following the hearing. Comments will be considered by the Village and Town before the Agreement is finalized and submitted to the State of Wisconsin Department of Administration for review.

The Agreement details provisions affecting the common boundary lines between the Village and the Town, including the timing of boundary changes. The Agreement also includes provisions with respect to the providing of municipal services within the area specified. A copy of the Agreement is available for review by contacting the Village or the Town as follows:

Village of Mukwonago  
Judith Taubert, Village Clerk/Treasurer  
Linda Gourdoux, Deputy Clerk  
440 River Crest Court  
Mukwonago, WI 53149  
Phone: (262) 363-6420  
[jtaubert@villageofmukwonago.com](mailto:jtaubert@villageofmukwonago.com)  
[lgourdoux@villageofmukwonago.com](mailto:lgourdoux@villageofmukwonago.com)

Ms. Karen Schuh, Clerk  
Town of Vernon  
W249 S8910 Center Drive  
Big Bend, WI 53103  
Phone: (262) 662-2039  
[clerk@townofvernon.org](mailto:clerk@townofvernon.org)

This Notice is being provided by the Village and the Town as required under Wisconsin Statute §66.0307.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individual through appropriate aids and services. For additional information or to request this assistance, please contact Judith Taubert (Village Clerk/Treasurer) or Linda Gourdoux (Deputy Clerk) at (262) 363-6420.

**ALL PERSONS INTERESTED WILL BE AFFORDED A HEARING AT THE ABOVE TIME AND PLACE.**

Dated this 9<sup>th</sup> day of November, 2018.

Judith Taubert  
Village Clerk/Treasurer, Mukwonago

Linda Gourdoux  
Deputy Clerk, Mukwonago

Karen Schuh  
Town Clerk, Vernon



**NOTICE OF PUBLIC HEARING FOR PROPOSED BORDER  
AGREEMENT WITH THE TOWN OF VERNON BOARD AND VILLAGE  
OF MUKWONAGO  
AGENDA**

Location of the meeting is at the Village of Mukwonago  
At the Village of Mukwonago Municipal Hall  
440 River Crest Court  
Mukwonago, WI 53149  
Public Hearing will begin at 6:30 pm

1. 6:30 pm- Call to Order Vernon Town Board
2. Introductions of Elected Officials and staff
3. Reading of the Public Hearing Notice

**PLEASE TAKE NOTICE** that a Joint Public Hearing shall be held on the 28th day of November 2018 at 6:30 p.m. at the Mukwonago Village Hall, 440 River Crest Court, Mukwonago, Wisconsin, 53149. The purpose of the public hearing is to receive comments from all interested persons with respect to a Cooperative Boundary Agreement Plan between the Village of Mukwonago, Wisconsin, and the Town of Vernon, Wisconsin, pursuant to Wisconsin Statute §66.0307 ("Agreement"). Interested parties may publicly comment on the Agreement during the hearing and may submit written comments on the Agreement before, at and within 20 days following the hearing. Comments will be considered by the Village and Town before the Agreement is finalized and submitted to the State of Wisconsin Department of Administration for review.

The Agreement details provisions affecting the common boundary lines between the Village and the Town, including the timing of boundary changes. The Agreement also includes provisions with respect to the providing of municipal services within the area specified. A copy of the Agreement is available for review by contacting the Village or the Town. This Notice is being provided by the Town and the Village as required under Wisconsin Statute §66.0307. **ALL PERSONS INTERESTED WILL BE AFFORDED A HEARING AT THE ABOVE TIME AND PLACE.** Dated this 14<sup>th</sup> day of November 2018. Published in the Waukesha Freeman as a Class III Publication on November 10, 14, 21, 2018, the notice was posted in the Town of Vernon on 11/10/2018.

4. Explanation of the Border Agreement Process and the Village of Mukwonago's Vision for Border Agreement Plan
5. Public Comments
6. Motion for Adjournment

**APPROVED:**

*Thomas G Bird*

Chairman Thomas G. Bird  
Chairman of the Town of Vernon

Please note, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request service, contact Town Clerk at 662-2039. For TTY service, call 662-2039

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any other governmental body except the Town Board of Supervisors.

Email & Posted on November 14, 2018, inside and outside the Vernon Town Hall posting boards, other businesses, the media, and as a courtesy on the Town of Vernon website at [www.townofvernon.org](http://www.townofvernon.org).



# **NOTICE OF PUBLIC HEARING FOR PROPOSED BORDER AGREEMENT WITH THE TOWN OF VERNON BOARD AND VILLAGE OF MUKWONAGO**

## **AGENDA**

**Location of the meeting is at the Village of Mukwonago  
At the Village of Mukwonago Municipal Hall  
440 River Crest Court  
Mukwonago, WI 53149  
Public Hearing will begin at 6:30 pm**

- 1. 6:30 pm- Call to Order Mukwonago Village Board**
- 2. Introductions of Elected Officials and staff**
- 3. Reading of the Public Hearing Notice**

**PLEASE TAKE NOTICE** that a Joint Public Hearing shall be held on the 28th day of November 2018 at 6:30 p.m. at the Mukwonago Village Hall, 440 River Crest Court, Mukwonago, Wisconsin, 53149. The purpose of the public hearing is to receive comments from all interested persons with respect to a Cooperative Boundary Agreement Plan between the Village of Mukwonago, Wisconsin, and the Town of Vernon, Wisconsin, pursuant to Wisconsin Statute §66.0307 ("Agreement"). Interested parties may publicly comment on the Agreement during the hearing and may submit written comments on the Agreement before, at and within 20 days following the hearing. Comments will be considered by the Village and Town before the Agreement is finalized and submitted to the State of Wisconsin Department of Administration for review.

The Agreement details provisions affecting the common boundary lines between the Village and the Town, including the timing of boundary changes. The Agreement also includes provisions with respect to the providing of municipal services within the area specified. A copy of the Agreement is available for review by contacting the Village or the Town. This Notice is being provided by the Town and the Village as required under Wisconsin Statute §66.0307. **ALL PERSONS INTERESTED WILL BE AFFORDED A HEARING AT THE ABOVE TIME AND PLACE.** Dated this 14<sup>th</sup> day of November 2018. Published in the Waukesha Freeman as a Class III Publication on November 10, 14, 21, 2018, the notice was posted in the Town of Vernon on 11/10/2018.

- 4. Explanation of the Border Agreement Process and the Village of Mukwonago's Vision for Border Agreement Plan**
- 5. Public Comments**
- 6. Motion for Adjournment**

It is possible that members of, and possibly a quorum of, members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note that, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request this service, contact the Clerk's Office, 440 River Crest Court, (262) 363-6420, Option 4.



**APPROVED PROCEEDINGS FROM THE  
PUBLIC HEARING FOR PROPOSED BORDER AGREEMENT WITH THE  
TOWN OF VERNON BOARD AND VILLAGE OF MUKWONAGO  
Wednesday, November 28, 2018 at 6:30pm**

**1. 6:30 pm - Call to Order Vernon Town Board**

Chairman Thomas Bird called the Vernon Town Board to order at 6:30 pm with the Pledge of Allegiance. Chairman Thomas Bird asked Town Clerk Karen Schuh to read the roll call for attendance. Present at the Town Board meeting: Chairman Thomas Bird, Supervisors Jeff Millies, Gary Wilde, Ed Moline and Bill Craig, and Town Attorney John Macy was also present. Village President Fred Winchowky, of the Village of Mukwonago, introduced Village Trustees Karl Kettner, James Decker, Darlene Johnson and Jay Vermeulen. Village Trustees Mark Penzkover and Jason Wamser were absent. Deputy Clerk Linda Gourdoux and staff members from the Village were also present at the meeting. Town Clerk Karen Schuh verified to the Town Board that meeting notices were properly given and posted inside and outside the Town Hall, to the media and as a courtesy the agenda was sent to other entities within the Town of Vernon and the Town website and that the meeting is compliant with the State of Wisconsin Open Meetings Law requirement.

**Open Public Hearing**

President Fred Winchowky opened the Public Hearing at 6:30 pm and gave an overview of how the Public Hearing will proceed. Chairman Thomas Bird called the Town Board to order.

**2. Introductions of Elected Officials and staff**

Chairman Thomas Bird introduced the members of the Vernon Town Board.

**3. Reading of the Public Hearing Notice - Chairman Bird read the following Public Notice.**

**PLEASE TAKE NOTICE** that a Joint Public Hearing shall be held on the 28th day of November 2018 at 6:30 p.m. at the Mukwonago Village Hall, 440 River Crest Court, Mukwonago, Wisconsin, 53149. The purpose of the public hearing is to receive comments from all interested persons with respect to a Cooperative Boundary Agreement Plan between the Village of Mukwonago, Wisconsin, and the Town of Vernon, Wisconsin, pursuant to Wisconsin Statute §66.0307 ("Agreement"). Interested parties may publicly comment on the Agreement during the hearing and may submit written comments on the Agreement before, and within 20 days following the hearing. Comments will be considered by the Village and Town before the Agreement is finalized and submitted to the State of Wisconsin Department of Administration for review.

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**4. Explanation of the Border Agreement Process and the Village of Mukwonago's Vision for Border Agreement Plan**

John Weidl, the Village Administrator, gave an overview of the changes that were made to the border agreement based upon the comments made at the last public hearing. President Fred Winchowky asked for public comments and stated that all questions would be answered after all comments were given to the boards.

**5. Public Comments**



Randall Peters – S92W27050 Karlstad Drive. Our property is in the yellow area on the map. Does that mean you are not doing anything for 10 years?

Chairman Thomas Bird – Yes, your property is in the ten-year phase. Ten-years is the time limit according to the agreement. You will not have to move to Mukwonago for ten-years from after the date the agreement has been signed. There may be other areas within the ten-year phase that may want to move sooner if they meet the requirements based on the triggers identified.

Dennis Vick - S106W27605 Maple Avenue. Everyone is trying to scare us with the tax base. Are taxes going to double or are they going to stay the same when we transition to Mukwonago? I know what my tax bill is for TOWN OF VERNON, I am looking for clarification as to what my tax bill will be for Mukwonago.

Chairman Thomas Bird – You are currently only assessed at 91 percent in the Town of Vernon. The tax base went up 3 cents this year. There will be a re-assessment next year, so your Town of Vernon's taxes will increase. The Town of Vernon does not need to increase taxes due to the proposed Border Agreement.

Village Administrator John Weidl – The Village is currently working on the total tax base. They do not have an actual amount at this time. However, he was looking through his documents to find the difference in mill rate between Town of Vernon and the Village of Mukwonago.

Chairman Bird – Referenced a recent article in the Freeman (dated 1-2-2018) that provided the mill rate for both entities for 2018. The 2018 mill rate for the Town of Vernon was \$2.11 and the 2-18 rate for the Village was \$8.05. The difference in mill rate is 5.94.

Tim Pladies - S107W27020 Maple Avenue, 206 acres. What happens to all of the questions you receive? Do you sit in a room and discuss it before you make it public? He would like to see a list of all the questions people have asked as well as the answers.

Chairman Bird – You can see them.

Tim Pladies - Also, he would like to know what is happening to the Hwy 83 bypass in Mukwonago. I think there is some dubious pull in this. I can talk for my neighbors, nobody has ever asked about development on our property and now you guys have rights over my property. You are concerned about the boundaries. What about us? I stand up for all the farmers. Nobody has ever approached us about big development and now you want our property. Why? Three families are involved in this. Are you a bunch of greedy people or what? Why are you taking our property without even talking to us about this?

President Winchowky – The Agreement has nothing to do with greed. The boundaries are being established for the growth of the community for the future.

Tim Pladies - He doesn't care about the growth of Mukwonago. You only care about boundaries. What about the families involved in this?

Chairman Bird – Asked Tim Pladies what his plan is to protect the town.

Tim Pladies – Responded he did not know

Chairman Bird – “Exactly”, you don't know. Can you tell me what the town will look like in the next 10 or 20 years?

Tim Pladies – Responded he did not know.



Chairman Bird – If you decide to sell what protects your neighbors? Nothing. What is going to protect the people? I can tell you exactly what the town is going to look like in 10, 20 and 30 years. I can tell you exactly where the boundaries are going to be.

Tim Pladies - Why didn't you ask our input about this before you started this? Our families have been here for generations. We are happy the way it is. Any of you guys live in this area of the Town of Vernon? Probably not. So, this doesn't affect your home.

Linda Forster - W278S11010 Fairview Circle. First of all, thank you for listening to me at the last meeting. In 30 years, I will be 98, and hopefully I'll let my kids worry about this. From what I understand, we will still be able to have our horses. You are not going to look at our property or subdivision for 30 years.

Chairman Bird – That is correct. And after 30 years the zoning will remain as R2.

Mark Potter – S106W26955 Maple Avenue. You said that areas in Fairview Circle are zoned in perpetuity. Does that include residential properties east on Maple Avenue? These properties used to be part of the Craig Farm and got split off at least 40 years ago. There are three small parcels, are they affected?

Chairman Bird - These properties are in the blue area and are in the 20-year plan.

Mark Potter - When you said 20 years, does that mean done in 20 years or start in 20 years?

President Winchowky – Right now the Village has no intentions of running sewer and water. It depends on development in the area. When property owners decide to sell, then the request for access to sewer and water will arise as part of the development.

Mark Potter – So, if neighbors sell and develop before 20 years and if you have a perfectly working well, must it be abandoned?

President Winchowky – There will be a time limit for converting to city sewer and water should that occur.

Angie Peters - S92W27050 Karlstad Avenue. She said when looking at the map, it looked like there was a new off ramp on I-43. She asked if that was correct.

Village Administrator John Weidl – No change from the first public hearing. There is no off ramp at I-43.

Unidentified Village of Mukwonago person - 404 Wahl Avenue. Tax records show the owner as Consolidated Properties LLC. Resident stated that they were a Mukwonago resident and also own property in the Village. She asked if the existing sewer system will be adequate to support the additional properties as they are transitioned to the Village? Will the Village need to re-do the sewer system or possibly add a new water tower?

President Winchowky – When this starts to develop, we will most likely need another water tower. He does not anticipate that the Village will have a need for additional sewer facilities at this time. The Village does not need to build another site if there is no development to warrant it.

Sue Datka - S109W27935 Maple Avenue. Right across the street from me is the Village. If there is a development for an industrial park across from us, what about sewer and water? We are in the 30-year plan.

Dennis Vick - S108W27605 Maple Avenue. If you have a failed septic, is there an option to put in a lateral up to the right-of-way for future use instead of tearing up the road?



Carl Fortner - I wrote a letter since the last meeting, and comments were made during the last meeting. When are they going to be answered? When is there going to be a meeting to discuss this? There has been no information about things discussed in my letter. Why haven't Town of Vernon residents been made aware of what is going on? Why are these meetings not being held in the Vernon Town Hall? Why aren't these meetings televised? What is the procedure going forward? Again, no information was provided.

Maureen Gross - S109W27685 Maple Avenue. My husband and I have lived here since 1972. We have been very happy how the Town of Vernon has been run. We have no complaints. What is Mukwonago going to do for us? Across the street I hear there is going to be development of a Business Park on the McCarthy Property. From what I understand, there will be several 4 story buildings jammed in there in the park. She indicated that she has submitted scientific data to the Village that the soil will not support 4 story buildings and as well as engineering specs that also show that the soil is unsuitable for multi-story buildings. There is a lot of mud over there and it gets worse as the Fox River rises. How are we going to benefit? With all this development, we will be forced into the Village sooner than the 30-year plan. We don't want changes. We like it the way it is. She doesn't like how the Village is allowing 4 story buildings on muddy soils.

President Winchowky - You will have the services that the Village provides as you have here. We are not going to do anything different. We aren't going to cut your grass. You will be able to stay on your property as you are now. Just that you will be in Village jurisdiction. You will have a different fire department, different police department. You will have a library and you will be in the same school system. Street services will be the same.

Maureen Gross - Made a comment about hooking up to the Village. Different politics from the Village compared to Vernon. With all this development it will affect the water table. We don't want this to happen. We like it the way it is.

Chairman Thomas Bird - Asked what area Maureen Gross lives in.

Maureen Gross - Stated she lives directly across from the McCarthy property, which is next to the Village of Mukwonago.

Chairman Thomas Bird - Stated that her property is in the 30-year plan and that the property directly across the street from her is already in Mukwonago. He asked her how she is going to protect herself if this border agreement doesn't get signed. You won't get 30 years.

Maureen Gross - Stated she doesn't like how the Village took over that property. She said that the soil base can't hold the buildings they are proposing and there will be problems down the road.

Village Administrator John Weidl - Stated the Village of Mukwonago's engineers will determine if there can be large buildings built on that property.

Maureen Gross - Stated she hopes that the DNR gets involved with the situation. If it is wetland, they can't build on wetland.

Village Administrator John Weidl - Stated developers bring in engineers to determine if the soil base can hold the buildings they want to build, and the Village reviews all proposals.

Maureen Gross - Stated she would not invest in a 3-story development if she knew the foundation was going to crack. Nobody has explained to her why they would put up a building that big in that location.

President Winchowky - Mukwonago is like any community or village. We can go back in time to say why did we do this or why did we do that. Why did we grow as an industrial area compared to Vernon being



residential? Mukwonago has always been for businesses. They have a lot of trades in Mukwonago – we buy gas here, we buy food here and send children to school here. All of our growth in Mukwonago is tied to the farming community. They sell off after they retire and sell to a developer. That puts a limit of how much can be developed. The Village residents would like to know how big the Village is going to be someday. We have to comply with the Town of Mukwonago's border agreement and the Village can only go so far on Hwy. I. There is a lake in the Town of Mukwonago that would likely come into the Village of Mukwonago, but because they have a boundary agreement with the Town of Mukwonago, those properties cannot be part of our Village. We have an agreement with East Troy. We have 2 square miles in the Village of East Troy. Some farms out there can't be annexed because they are in the boundary agreement. So, when those farmers retire, they can sell them at big profits. Those that own farms will make good money from a developer after they retire. Others that have 3 or 5 acre lots to develop have a price to them also. You are getting a value for it. The values are not going to stay the same. If you have 5 acres in the Village and are now in the Town, they are much more valuable. So, your values are better. I can't see any developer developing in an area that the basements are going to fail. The Village would not support that if the engineers informed us of the situation of the soils. Flood plains, green zones all have to be considered. It's all going to be environmental corridors. There will probably be a lot of areas that are going to be parks. There will also be green spaces that will be there forever. Some of the land had to have explosives used just to get foundations out by the YMCA because of all the rock. We understand that there are floodplains and we will address them. We can't build on them.

Maureen Gross - Asked how can you allow them to have heavy buildings?

Village Administrator John Weidl – Stated because in that area, they can be built.

Town of Vernon Supervisor Jeff Millies – Just because it was sold for those intentions, doesn't mean it is going to happen. The soil conditions have to be evaluated before they can build. If the soils cannot support a 4-story building, it can't be built. The engineers have to approve it.

Maureen Gross- Stated she saw evidence of that a year ago. She has not seen any zoning changes.

Village Administrator John Weidl - Stated the developers are allowed to propose what they want, but it is up to the soils engineer to decide if they can build the proposed building depending on the soils report. This is all private property and the owner can show up as much as he wants to see his project progress. Their developers have engineers to prove to the elected officials that it is going to work. Even though you think it can't be done, they are the experts and have the expertise to know if it can be done. Even though you may not like it, if their team tells them it is okay to do what the plans are, they can do it. They are the property owner and they have the right to develop it. Everyone knows that there are soils that may not be feasible for building. Right now, if their experts believe it can be done, they have the opportunity to do this since they are the owners of the property. I understand you do not agree with this, but the developer owns the property and his team is telling him it is okay to go forward.

Maureen Gross - Stated it does not make sense. Yes, in my opinion I don't want to see that. I'm saying I have provided scientific evidence aside from my opinion that it is not compatible with zoning.

Village Administrator John Weidl - They are not trying to discard the things you turned in. We had conversations with the team. They have done other developments in the area including the industrial park. In addition, they also did the TIF district, which the developers had to do blasting in some areas before they could develop their building.

Maureen Gross- Made a reference to the USGS Surveys. That is what I based my opinion on. The Government surveys.



Village Administrator John Weidl Village – The government surveys do not account for individual borings on the individual property owners' land. It is projected on water flow and limited soils testing. The developer is investing money to have specific soil testing done for the site. They have soils borings ranging from 20 feet up to 40 feet to test the soils just like we have to do before building our homes. So again, I'm not saying you are not correct. These engineers and developers are doing more work to make sure the soils pass. This is a 40-million-dollar investment. No bank or developer is going to get involved in a development unless they are truly satisfied with the results. And nothing has been proposed yet. Nobody is saying for sure what is going to be developed. It is just saying this land can be developed for the future. It allowed based on the zoning, just like any other future land in Vernon is zoned single family. It is up to the property owners to come up to the elected officials and staff to ask about changes. I'm saying what they say is accurate. Most of this is up to the developer to decide what they want to do, not the property owners. The property owners can decide what they want to do with the property. I want you to know that our staff, engineers and DPW people have all looked at this.

Maureen Gross - Isn't there a better way to zone this property? You know the data.

Village Administrator John Weidl - We went through a comprehensive process. All but one of our board members was part of the process when it was approved. The property owners came in and talked to us about what they wanted, not the reverse where the Village went to the property owners and said you are going to be a business development, or you are going to be a single home, etc. Future property owners told us what their future plans were. Mr. DeBack, who owns the property you are talking about, came to the Village and talked about developing a 4-story apartment building.

Maureen Gross - That is not the property I'm talking about. The property I'm talking about is McCarthy.

Village Administrator John Weidl - Oh, that property is next to Mr. DeBack's property. That is not high density. That property is residential. Is that part of the plan here? That's a 30-year plan. What is the yellow on the map? This yellow is 10-year. This has nothing to do with the zoning. 10-year, 20-year, and 30-year. The McCarthy property is not zoned the same as the DeBack property. ProHealth bought this property. The owner came in and asked for the kind of development he wanted. He had a developer come in and talked to the Village, and after conversations with the public, decided that if we were to have that type of development, we would have to be near the interstate considering most people would be commuting instead of coming through downtown. They would prefer to keep the job base in the industrial park and hospital employees in the area.

Maureen Gross - We in the Town of Vernon were not given a lot of notice about this.

Village Administrator John Weidl - You will be in the future.

Maureen Gross - We would have liked to have been involved in this. Now all this is moving along, and we are trying to catch up. We only got a week's notice about this. Now at least there is more time. 12 of us need to have more notice.

Town of Vernon Supervisor Bill Craig- Stated in response to an earlier question by Tim Pladies. The resident is correct, I do not live in the areas involved in this boundary agreement. I have lived in the Town of Vernon for 32 years. However, I do have a personal story. I bought a beautiful 4+ acre parcel of property. We could have animals and outbuildings. The land immediately north of me is a 20-25-acre parcel and was zoned 3-5-acre density. Perfect. 4 acres in the front with privacy in the back, butts up to a 10-acre parcel. Guess what happened? Low and behold 7 years ago, the farmer (Mehring Farm), decided to develop his 20+ acre parcel. When the farmer looked at dividing 20 by 4 or 5 that didn't leave him many parcels. So, he went to the Village to see what they could do for him. Sure enough, he went to the Village of Big Bend and got his entire property annexed into the Village. I now have four 1- acre lots with their backyards that butt right up against



my 4+ acres of privacy, including junk they have pushed up against the lot line. This Board, I know these other members well enough. We have no other agendas other than what is good for the Town. The story I am telling you is about myself. I feel it is a big factor and this is why I feel the Border Agreement is a good thing. As a Township in the State of Wisconsin, we are provided with powers to control our borders. If 100 of us went to Madison to petition for the ability to stop annexation, we would have 500 Village and City people at a minimum coming to argue against it because this is how they grow. Towns in the statutes have been developed unfortunately for the better of developing Cities and Villages. We have no business district per say in Vernon. We have no sewer or water. The Department of Administration in Madison, who looks at annexations, and by the way this is not an annexation. A lot of people are mis-quoting. If we had no agreement at all, the Town of Mukwonago could work a deal to annex properties and all you need to qualify is a contiguous property. What plan do we have to save our Township? We have been looking at this for over a year. It has been posted on our minutes. We have had closed sessions on this. I thank you people for coming. Some people have come to the Board. I thank you for coming and asking questions. Our hands are tied. We don't want to give up our ½ acre. Vernon is a beautiful township. The Village can offer things we don't have, like utilities. We need a boundary agreement. This would tie up our boundaries. Granted, we still have some Big Bend issues. Mr. Fortner mentioned he wrote a letter. He didn't sign the letter, but I assume it's the same letter I wrote. His letter implied strongly that the Board had something to do about this. That we can control this process. We have no control. Look at State Statutes. Go to Madison. Talk to your representatives. Without municipal sewer and water and the commercial district and in some places your own police department. We are out there floating around. I don't like this. The other board members don't like it either. We have spent many hours discussing this. The lands we have selected, especially those going up Maple, look like nice farmland, but as discussed before is not developable without soils testing. So, we looked at the least loss to Vernon and not to insult anyone, but the overall least amount of loss what we were looking to accomplish more than anywhere else. As the planner was saying before, you go through Vernon into Muskego, look around, even stuff annexed to Big Bend you'll see foundations 5 and 6 feet out of the ground. That's bad subsoil because the engineering firm came in and did some borings and they said you're not putting those footings where your proposing them because you will be calling us with flooded basements. So, they jacked these foundations up because they are in poor drain soils with high water tables. There is property being developed immediately south of the Mill Pond. It was annexed by Big Bend and they did not provide any input for the development of that land scoring big time with a developer and it is the ugliest thing you'll ever see. If you have a chance drive over there to see for yourself. Everyone is bringing in 150 yards of fill because their foundation is at the ceiling height and the footings are at the floor height. They could not go in the subsoils with the high-water tables. So, if anyone could get up and give us an alternative, you would be welcomed to come to our meetings. This has been discussed many times, on many agendas and people have taken the time to come to our Board meetings and Plan Commission meetings and have asked questions. Again, I want to thank everyone for taking the time to be here. The frustrating part for me, the biggest frustrating part, is those who feel that we can control this somehow. They think we have some magic formula that can stop Mukwonago, Big Bend, New Berlin, the Northeast from taking our land and we can't. That property owner is looking for the highest dollar per acre they can get especially if they are planning on retiring or selling, they are going to take what they can. So, this is the way we can do this. It's not favorable for the people involved, but for the long haul it will be. But right now, we have nothing else to offer but boundary agreements. I think that's about all I have to offer.

Carl Fortner – Bill Craig mis-spoke. It was my letter and I did sign it. Plus, my whole subdivision as well. I can make another copy and get it to you.

Supervisor Bill Craig – Okay. There were no signatures on the bottom. I had no idea where it came from. Another copy would be good for all the people in this room to see.

Carl Fortner- You mis-spoke about the letter.

Supervisor Bill Craig – It expressed your concerns from last meeting.



Carl Fortner - You also misstated the legal grounds for this. You are distorting the facts. What is the alternative? Border agreements are good. We just don't want them to come up Maple Avenue. These are people's property. What choice do they have if you get sucked in this? You can't just take people's property. There are referendums you can do and majority rules. Property can't be taken against your will. Big Bend goes up and around Vernon because they chose which properties to take. The property owner can survive a referendum.

Supervisor Bill Craig - Well, if you re-read your letter.

Carl Fortner - I understand your story Bill. But why are you letting Mukwonago take property that butts up to my land? I have other property in Vernon that butts up to Big Bend. Why are you giving property to Mukwonago that butts up to my backyard? I would rather have this continuous.

Bill Craig - That can happen in 1, 2, or 3 years. As long as this is contiguous, it could happen in 2 years. They could be in your backyard.

Carl Fortner - Next year this starts, not 30 years like you say. It starts when this agreement is signed. If his subdivision gets voted in, he will do a referendum to not be a part of this.

Chairman Bird – Carl, how do you get the improvements out there to build? Who has that kind of deep pockets, Carl?

Bill Craig - Any of these people can approach the Village whenever they want to move into the Village. That's true even earlier than 30 years.

Chairman Bird - What about the people on the other side of you that want to annex? East of you.

Carl Fortner - Who does?

Chairman Bird - How do you know they don't?

Carl Fortner - I've talked to them.

Chairman Bird - Have you?

Carl Fortner - Yes.

Chairman Bird - Yes, and there's interest, a lot of interest.

Carl Fortner - My subdivision gets brought in. We do a referendum. And it will pass.

Chairman Bird - That's what you think. That's your opinion. Are there any other comments?

Carl Fortner - Those are your opinions, too.

Judy Porter - S103W23670 Maple Avenue. What is going to happen to Town of Vernon tax base? If we join, do we get a new town board? What is it going to do?

Chairman Bird – The tax base to the Town is \$32,000 if it all went tomorrow.

Judy Porter - And if we donate, we wouldn't need such a big Town Board, right?



Chairman Bird - Do you want to go back to 2003?

Judy Porter--Sure, why not.

Chairman Bird - That would be good for me.

Supervisor Ed Moline - Me, too.

Judy Porter - What is this going to do for us?

Chairman Bird - Right now we are assessed at 91% for assessment in 2019. We are going to have a reassessment in the Town. And yes, your taxes probably will go up. I don't know for sure. Probably 98-100%.

Judy Porter - How many parcels are here?

Someone asked how many parcels are affected and many responded 69.

Judy Porter - Asked how many residents?

Clerk Karen Schuh - I wouldn't know that.

Tim Pladies - On this 10, 20 30-year, does this mean once it is signed it is definitely going to happen? Whatever gets approved gets locked in. There is a 20-day waiting period before this gets locked in. So, will there still be public meetings before this gets signed?

Patricia Bilello - W278S10940 Fairview Circle. Let's say this gets signed in 30 days. It is 30 years from that day? What is going to happen to our taxes next year? Does Vernon pay the Village?

Unidentified person - No. You pay Vernon.

Josh Wagner - S102W26155 Maple Avenue. I own an island inside of this, see attachment. If it happens next year, I am screwed. In 30-years, I am stuck, correct?

Village Administrator John Weidl - Actually no. You decide. You can sell your property, subdivide it, or ask to get attached. Maple Avenue has been on the radar for 5 years. It will be developed by Mukwonago. The jurisdiction will stay with Vernon until it comes into legislation. When Mukwonago takes over, it will bring in sewer and water lines. They tend to the roadwork.

Josh Wagner - What is the residential zoning and lot size going to be?

Village Administrator John Weidl - Most are going to be 10,000 to 12,000. Some may be more because of conservancies. Basically, 1/4 to 1/2 acre. You would be attaching into the utilities in Mukwonago.

Josh Wagner - So roughly, in 30 years I will be attached? If he develops his land into ¼ acres, he could have water and sewer attached.

Village Administrator John Weidl - (After checking with the Attorney) The triggers to coming into the Village are as follows: requesting annexation to the Village of Mukwonago, requesting municipals services from the Village of Mukwonago or requesting to change the development of your current property. A sale of the property is not a trigger.



Unidentified resident - You can layer maps to see what your property is designated as. She has a map from a couple of years ago and is now comparing it to 30 years from now. If the lands are bordering the 30-year plan, can they request to be annexed into Mukwonago?

President Winchowky - Not sure what will happen in 30 years from now. But for right now, this is the plan. Cannot say it will never change. This is to guarantee this is the border agreement. Laws do change every year. We have to abide by State Law. He talked about the difference between the Village and Town demographics.

Village Administrator John Weidl - Explained how this border agreement is implemented and how things can change.

Unidentified resident - Does anyone have information about when the discussions of the Border Agreement between Vernon and Mukwonago first started?

President Winchowky - 1992. This is not an overnight process. It has been in the works for a long time.

Unidentified resident - Are we going to pay taxes to Mukwonago for 30 years?

President Winchowky - You will be paying to Vernon until you are attached to Mukwonago. Vernon will have a reassessment next year. Mukwonago had one this year. This does not affect Vernon residents.

Unidentified resident - Last time I was here, I understood that if you petitioned to be annexed in You, the property owner, has to pay for water and sewer to come in. Am I correct?

President Winchowky - At this time, there is no interest in running water and sewer lines up your street. If someone on Maple Avenue wants to have water and sewer brought in, then yes, the homeowner pays for it.

Unidentified resident - So, we sign a border agreement with you. What's stopping Big Bend from knocking on our doors?

President Winchowky - The agreement is so you, the property owner, knows the boundaries of Mukwonago. We have had no discussions with the Village of Big Bend. We have had discussions with East Troy and the Village of Mukwonago. We will provide you with the services needed. He discussed how development has occurred in other communities that the Village has border agreements with. He also commented on farmers retiring and the changing land values of the farm as they come into the Village.

Chairman Bird - We have had no discussion with anyone other than the Town of Waukesha.

Vernon Supervisor Ed Moline - Thanked people for showing up for this meeting. He suggested everyone get a copy of this agreement and read it. It will give some insight about what we have been talking about. You have 20 days to respond if there is something you don't like. Write us or email us and let us know. Please be advised this is not an annexation. It is an agreement or contract.

Vernon Town Attorney John Macy - Advised people that they need to look over this agreement. There are other triggering items besides the 10, 20 30-year agreement. Advised people that they should check with the Village Administrator or Town Clerk regarding what will trigger their property to go into the Village or the when the border agreement will take effect for them. People should not be misled by "general comments". Everyone's property is different. Please be aware of this. Remember, this is an agreement, not annexation. While you live in the Town, they cannot force water and sewer. If you want sewer and water from the Village, you have to ask for it, but then you must pay for it. There was additional information given related to



sewer and water. What happens from here? All comments must be considered by both the Town of Vernon and Mukwonago, so they are aware of your concerns. Each community will adopt a resolution on the final plan. All the information is sent to the State to make a decision about the resolution and all the written comments that were submitted. The State has 90 days to act, and the State can suggest changes. Once the State has approved the border agreement, that is when the triggering date begins. There is a tentative joint meeting scheduled for December 19, 2018, which is more than 20 days from now.

**Close Public Hearing**

President Wichowky closed the public hearing at 8:01 pm

**6. Motion for Adjournment**

**MOTION: Chairman Thomas Bird moved to adjourn at 8:02 pm. Motion seconded by Supervisor Ed Moline. Motion carried by voice vote.**

\*Clerk's note: Village of Mukwonago also adjourned their meeting

\*Clerk's note - The audio of the Public Hearing can be heard on the Town of Vernon's website under Town Board/Public Hearings.

Respectfully Submitted by:

*Karen L. Schuh*

Karen L. Schuh, Clerk, Town of Vernon

**APPROVED:**

*Thomas G. Bird*

Thomas G. Bird, Chairman, Town of Vernon

Approved: By Town Board on January 3, 2019.



[illegible]

NOV 28 2018

CLERKS OFFICE  
TOWN OF VERNON



## SIGN-IN SHEET

	NAME - PLEASE PRINT	ADDRESS	PHONE	EMAIL
1	FRED HUEY	593W27705 Edgewood	363-7997	
2	DAW WAGNER	594W27305 Edgewood Ave	262-470-4415	
3	Robert & Janis Porter	5103 W 6420 MAPLE AVE		
4	Garre Craig	596 W 35285 Mownd Ave	262-662-4423	
5	Judith Porter	8103 W 26370 Maple Ave	363-7397	
6	TRISH Bilello / Scott Bilello	2228 S10940 Fairview circle	363-4242	
7	EVELYN BRUCKNER	590 W 37495 RIV. RD. ES	262-377-6531	
8	Ralph Hibbard	599 W 27850 W ES		
9	Ralph Hibbard Jr	W277 S8960 Lakeside Dr	414-852-8272	
10	Nancy Erwin & Mike	W256 S10400 Sandhill	262-662-9714	
11	Tina Pladies	S107W27070 Maple Blvd	414-791-2337	
12	Carl Fortner	Town of Vernon		
13	Caleb & Tammy Schmilling	591 W 2795 National Ave	262-441-3467	
14	Jennifer Wagner	S102W26155 Maple Ave.	815-483-3732	



**clerk@townofvernon.org**

**Subject:**

**FW: Town of Vernon/Village of Mukwonago Boundary Agreement re: Park Land**

**From:** Shaver, Dale <[DSHaver@waukeshacounty.gov](mailto:DSHaver@waukeshacounty.gov)>  
**Sent:** Tuesday, August 28, 2018 12:34 PM  
**To:** 'Bruce Kanlewski' <[planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com)>; [clerk@townofvernon.org](mailto:clerk@townofvernon.org)  
**Cc:** Mattano, Rebecca <[RMattano@waukeshacounty.gov](mailto:RMattano@waukeshacounty.gov)>; Fruth, Jason <[JFruth@waukeshacounty.gov](mailto:JFruth@waukeshacounty.gov)>  
**Subject:** RE: Town of Vernon/Village of Mukwonago Boundary Agreement re: Park Land

Hi Karen and Bruce

It was nice meeting with you again this morning. I did follow up on provisions within the State statutes concerning county owned parkland. I was able to verify that the current Wisconsin statutes afford counties additional flexibility regarding zoning of parkland. This typically has not been an issue, but since the municipal destination doesn't seem to matter for any other reason, I ask that the parcels mapped in "red" on the exhibit you presented today, remain in the Town of Vernon under the border agreement due to the statutory flexibility.

Dale

Dale R. Shaver  
Director  
Waukesha County Department of Parks and Land Use  
Room AC260  
515 Moreland Blvd  
Waukesha, WI 53188  
(262) 896-8310 phone  
(262) 896-8298 fax  
[www.waukeshacounty.gov/plu](http://www.waukeshacounty.gov/plu)



-----Original Appointment-----

**From:** Bruce Kanlewski <[planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com)>  
**Sent:** Tuesday, August 21, 2018 12:00 PM  
**To:** Bruce Kanlewski; Shaver, Dale; [clerk@townofvernon.org](mailto:clerk@townofvernon.org)  
**Subject:** Town of Vernon/Village of Mukwonago Boundary Agreement re: Park Land  
**When:** Tuesday, August 28, 2018 10:30 AM-12:00 PM (UTC-06:00) Central Time (US & Canada).  
**Where:** County Adm 2nd Floor



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OCT 25 2018

CLERKS OFFICE  
TOWN OF VERNON

**Our Stand on the Expanding Borders of the Village of Mukwonago**  
**Oct. 21, 2018**

We, Dale and Maureen Gross, strongly object to the expanding borders of the Village of Mukwonago, but could not attend due to the very short notice of the public meeting. We object to the Village expansion for these reasons:

1. We moved to our present home in 1972 because of the very attractive rural, farmland surroundings. Very peaceful and we knew all our neighbors. We helped each other out during power outages and severe weather. No longer, just an influx of strangers. There used to be a beautiful farm along hwy. 83 before I-43 extended to the southwest. The farm had attractive buildings with a semi-circle driveway lined with stunningly colorful Redbud trees. The Village of Mukwonago destroyed this farm, paved over it and replaced with a Wal-Mart store. Then Wal-Mart abandoned that location and moved to yet more paved over farmland. This beautiful farm will never return. Destroyed forever. And this ugly pattern continues as the Village is destroying more farms along hwy. 83, tearing down the farm buildings, flattening the farmland, paving it over and constructing huge, boring block buildings. The farmland here is rich with nutrients, but is being destroyed and paved over causing runoff pollution.
2. We used to enjoy seeing the Northern Lights, the Milky Way and shooting stars. Most of that is gone now due to light pollution brought in by the development cultivated by the Village. It is more difficult to sleep at night because of all the artificial light creeping into the bedroom especially on overcast nights when clouds reflect the nuisance light.
3. We used to enjoy hiking along the Mukwonago River to hear the birds and frogs singing in the morning. Now the enjoyable river sounds are replaced by the totally annoying loud speaker from the car dealership instructing someone to call somebody and something. Doesn't this company have cell phones or pagers? The peace is destroyed.
4. The Village of Mukwonago is planning intense development where residents are packed tightly together and the Village will provide much low-income facilities. The low-income residents are intended to provide staff for yet additional restaurants, big box stores, hotels, etc. This in turn invites crime. This will put more demand on the police department which will require more staff, expanded hours of operation and more equipment. Who will pay for this? The already over burden tax payers.
5. All these people that the Village intends to attract to this developing area will put more demands on resources and services. This large, planned influx of people will contribute to more congestion and more accidents. The attractiveness of the land will deteriorate and be replaced by more asphalt, concrete and gray block buildings. Taxes will continue to climb to provide services and resources required.
6. The Village development plan only considers the dollars that MIGHT be generated by destroying the beautiful countryside. Scientific evidence of the soil types, already provided to the Village, clearly will not support the tightly packed 4 story buildings planned for the area. Engineering specs for these local soils demonstrate that the soil chemistry will attack metal including culverts, re-rod, underground pipes, etc. This nutrient rich and productive farmland will be replaced by asphalt, concrete and more block buildings. This development will destroy the marshy areas that help alleviate flooding conditions and control the fluctuating water levels of the Fox River. The marshy areas also filter out pollutants caused by the increasing motor oil, gasoline and construction disturbance pollution in order to keep the rivers clean. But these marshy areas will be destroyed and paved over. What happens when these ill planned heavy



pg. 2 Gross (Mukwonago proposed boundaries)

buildings sink and shift? What happens when the culverts and underground pipes deteriorate from the attacking soil chemistry? The already overburdened taxes will have to remedy this of course through yet higher taxes.

The Town of Vernon has far lower taxes and continues to protect the integrity of the land. We moved here for the beautiful, spacious landscape and the quiet peacefulness. The Town of Vernon properly governs and protects its area. The Village of Mukwonago destroys everything that makes this area attractive and raises taxes that already are many times higher than the Town of Vernon.2

Dale Gross

Maureen Gross

RECEIVED

OCT 25 2018

CLERKS OFFICE  
TOWN OF VERNON

Please read this  
into the record  
on our behalf.

Thank you,  
Maureen Gross

Address  
5189 W 276<sup>85</sup> Maple  
KLS clerk



# Public Hearing Sign in Sheet

Proposed Border Agreement between the  
Town of Vernon and Village of Mukwonago

Wednesday, October 24, 2018 6:30 pm

Please SIGN IN, using your name and address if you wish to speak at the  
"PUBLIC HEARING"

Name

Address

- ① Caleb Schilling 591W27295 National Ave
- ② Jen Wagner 5102W26155 Maple Ave
- ③ Gordon & Sue DTKW 5109W27935 Maple Ave



# Proposed Border Agreement Town of Vernon & Village of Mukwonago COMMENT FORM

Name: MIKE ERWIN

Date: 10/24/18

Address: W256 S10400 SANDHILL RIDGE

Comments will be accepted through  
November 13, 2018 from general public and  
November 23, 2018 from qualified electors.

Comments:

In the event a replacement/larger road is done  
on Maple Ave., will that be consistent in  
size and style all the way to "L".

Soil issues surround our subdivision, will  
this plan focus on theoretical use of adjacent land.

How did you learn about this meeting? ☐ Email/e-newsletter ☐ Flyer/postcard ☐ Ad in Newspaper  
☐ Newspaper Article ☐ Radio or TV ☐ Website ☒ Other (please specify) Word of mouth

OVER

Whats keeping you from adjusting the  
plan to just (the "A" area for a 15 year window  
and allow for initial growth and development.

**[townofvernon.org](http://townofvernon.org)**

Hand this card to a staff person, elected official, or mail it to W249 S8910 Center Drive, Big Bend, WI,  
fax it to (262) 662-3510, or email your comments to [clerk@townofvernon.org](mailto:clerk@townofvernon.org). Thanks!



# Proposed Border Agreement Town of Vernon & Village of Mukwonago COMMENT FORM

Name: V. AD Schwart  
Address: 592 W 27825  
National Ave

Date: 10-24-18

Comments will be accepted through  
November 13, 2018 from general public and  
November 23, 2018 from qualified electors.

Comments:

This is all new to me. why don't I know  
about this

How did you learn about this meeting? ☐ Email/e-newsletter ☐ Flyer/postcard ☐ Ad in Newspaper  
☐ Newspaper Article ☐ Radio or TV ☐ Website ☒ Other (please specify) Neighborhood told me



VNI 2104 04/10/18

## Proposed Border Agreement Town of Vernon & Village of Mukwonago COMMENT FORM

Name: LELANN & JACKIE SCHWANE Date: 11-7-18  
Address: 5106 W 26925 MAPLE AVE  
262-975-0599

Comments will be accepted through  
November 13, 2018 from general public and  
November 23, 2018 from qualified electors.

Comments:

AFTER ATTENDING THE BORDER AGREEMENT MEETING WE HAVE  
CONCERNS. AS OTHERS THERE STATED, WE BUILT OUR HOME ON A 8 1/2  
ACRE PARCEL IN VERNON 14 YEARS AGO ON MAPLE AVE. NOW PER THIS  
'AGREEMENT' THE RURAL SETTING WILL BE 1/2 ACRE LOT SUBDIVISIONS, WE  
HAVE EXCELLENT WELL WATER, BUT WILL BE FORCED TO USE CITY WATER &  
SEWER. WE AND OUR NEIGHBORS FEEL THAT THIS IS A TERRIBLE BUT LEGAL

How did you learn about this meeting? ☐ Email/e-newsletter ☒ Flyer/postcard ☐ Ad in Newspaper  
☐ Newspaper Article ☐ Radio or TV ☐ Website ☐ Other (please specify) \_\_\_\_\_

PROPERTY GRAB BY THE VILLAGE, OUR RURAL SETTING WILL BE NO MORE  
AND OUR TAXES WILL SKYROCKET



# Proposed Border Agreement Town of Vernon & Village of Mukwonago COMMENT FORM

Name: EVELYN BRUCKNER

Date: 11/8/18

Address: 590 W 27495 CTY RD E5  
MUKWONAGO, WI 53149

Comments will be accepted through  
November 13, 2018 from general public and  
November 23, 2018 from qualified electors.

Comments: 1388 GRANDVILLE RD.  
CEDARBURR, WI 53012

*I agree with the other homeowners that spoke at the proposed border agreement. This came as a shock and surprise. I do not agree with this and don't like this.*

*I bought a home in the town of Vernon and this is where I wanted it. I can afford it here. How can I afford to have this property in Mukwonago and pay higher taxes. Also come up with all the moving over -*

How did you learn about this meeting? ☐ Email/e-newsletter ☒ Flyer/postcard ☐ Ad in Newspaper  
☐ Newspaper Article ☐ Radio or TV ☐ Website ☐ Other (please specify) \_\_\_\_\_

*for hook up to water and sewer. Also to pay a water bill.*

*I don't think it is right to disrupt our lives like this.*

*I am retired and live on a fixed income. I am very upset about this. This will be a real hardship for me. I don't think this is right.*

*Evelyn Bruckner*

RECEIVED

NOV 14 2018

KAREN L. SCHUH  
CLERK, TOWN OF VERNON

[townofvernon.org](http://townofvernon.org)

and this card to a staff person, elected official, or mail it to W249 S8910 Center Drive, Big Bend, WI,  
fax it to (262) 662-3510, or email your comments to [clerk@townofvernon.org](mailto:clerk@townofvernon.org). Thanks!



**clerk@townofvernon.org**

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**From:** Billy DuPlanty <billy@craftbeerpartners.com>  
**Sent:** Monday, November 12, 2018 1:45 PM  
**To:** clerk@townofvernon.org  
**Subject:** Border Agreement

Hello,

My name is William DuPlanty. I reside within the Hidden lakes Subdivision at w275s8751 lakeside dr. My wife and I reject an such changes to the area. We love our quiet community just the way it is. I do not wish to have houses built on every open plot of land. It make visiting other towns in the area unbearable as is. Along with a laundry list of other changes, none of which benefit us currently. Please take note we moved here because of the open spaces in the first place. This opens the door to change all of that. No thank you.

-William & Lindsey DuPlanty



November 12, 2018

Karen Schuh – Town Clerk  
Vernon Town Hall  
W249S8910 Center Drive  
Big Bend, WI 53103

**RE: Proposed Vernon and Mukwonago Border Agreement**

Dear Ms. Schuh,

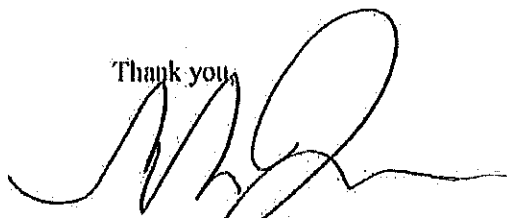
I am writing you to express my opposition to the proposed Intergovernmental Cooperative Plan (the "Plan") between the Town of Vernon and the Village of Mukwonago. While I do not reside in one of the land areas to be annexed to the Village under the Plan, I do reside extremely close to the areas designated as Section B, Section C, and Section D on the map provided as part of the Plan documents.

One of my main concerns with the Plan is that it does not provide for a joint agreement between the Town and the Village on the issues of zoning and development in the detachment areas. Specifically, the land in Section B, Section C, and Section D is currently low density, rural, and agricultural land. One can see from the recent developments in Mukwonago that the Village is encouraging, welcoming and undertaking numerous high density developments including apartment buildings, subdivisions, and the new industrial park. I am extremely concerned with and opposed to the Village's plan for additional high density development in the areas adjacent to Home Depot, Wal-Mart, and the YMCA. By providing for the detachment of the land within Section B, Section C, and Section D, the Town is further providing the Village with both the opportunity and the land to continue to expand and grow its high density developments. The Town residents that currently live in the proposed detachment areas should not be subject to forced detachment/annexation solely for the purpose of the Village's desire to expand its boundaries, especially when those residents may lose the rural nature and use of the areas in which they reside. At the very least, the Plan should provide for a joint agreement between the Town and the Village as to how the land within the proposed detachment areas will be zoned and developed upon detachment from the Town and annexation to the Village.

I am also concerned with the overall size of the detachment area. The proposed detachment area is way too large. In my opinion, a more appropriate detachment area is Section A, as it sits between the expressway and National Avenue, which by its nature is a higher traffic area than the areas included in Sections B-D. It is also my understanding that the Town's Comprehensive Plan provides for more commercial and higher density uses in certain areas of National Avenue. Thus, the area in Section A would seemingly better support the Village's desire to expand its boundaries and provide for future developments.

Thank you for your consideration of my concerns with and opposition to the Plan.

Thank you



Meghan Johnson  
W254S10880 Hunters Run  
Mukwonago, WI 53149



November 12, 2018

Via personal delivery

Thomas Bird, Chairman  
Jeff Millies, Supervisor #1  
Gary Wilde, Supervisor #2  
Ed Moline, Supervisor #3  
Bill Craig, Supervisor #4

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**NOV 12 2018**

CLERKS OFFICE  
TOWN OF VERNON

Vernon Town Hall  
W249 S8910 Center Drive  
Big Bend, WI 53103

RE: Proposed Border Agreement Town of Vernon and Village of Mukwonago

Dear Vernon Town Board:

On behalf of myself and Vernon and Sandhill Ridge Reserve subdivision residents and neighbors John Rozga, Jackie Rozga, Kevin Rand, Paige Sweet, Patti Fortner, Tim Skloss, Michelle Stapleton, Jim Yauck, Kathy Yauck, Kim Bassett, Scott Bartnik, Nicole Bartnik, Tim Myers, Julie Myers, Ken Dopierala, Linda Dopierala, Don Herron, Diane Herron, Mike Erwin, Nancy Erwin, Jeff Sobczyk, and Carolyn Sobczyk, these comments add to and emphasize my comments at the October 24, 2018 public hearing regarding the proposed border agreement between the Town of Vernon and the Village of Mukwonago.

Although the proposed Vernon and Mukwonago border agreement fixes the border, it is very costly to those forced into Mukwonago and is highly detrimental to those adjacent to the proposed detachment area. Everyone who gave public comments at the October 24, 2018 public hearing was from Vernon and was against or highly critical of the proposed border and border agreement. No Mukwonago residents gave public comments. The advantages stated at the public hearing are insignificant, particularly when compared to the costs. This agreement is supposed to be mutually beneficial to both Vernon and Mukwonago, not one sided in favor of Mukwonago. We elected you to protect our borders, not give them away.

Specifically:

1. No protection for Vernon residents. The proposed agreement does not protect Vernon residents from adverse development as there are no provisions for joint agreement on zoning. Vernon residents will have no representation on how the detached land is zoned or can be developed. Nor does the proposed agreement require orderly development, that is, development nearest to Mukwonago first. For example, not in 30 years, but next year, Mukwonago could approve a subdivision on Maple Avenue one mile from Center Drive. As stated by Mukwonago's planner, Mukwonago's current master plan provides for Section C to be high density residential housing, 15,000-25,000 square foot lots, and Section D to be low density residential housing, 37,500 square foot lots. Further, the



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master plan is subject to change, and is expected to be updated in 5-7 years. In Vernon, lot size is measured in 43,560 square foot lots, that is, in acres. High density housing (and any other adverse development) will effectively destroy Maple Avenue – the prettiest road in Vernon – and will destroy our suburban/rural lifestyle. **At the minimum, joint agreement on zoning and development and orderly development should be added to the agreement.**

2. **The proposed detachment area is way too large.** The proposed border is within a mile of Center Drive and is way too far east, and the land detachment area is way too large. Center Drive is supposed to be the center of town. Trying to minimize the concern that the proposed detached area is too large, Vernon chairman Tom Bird stated at the public hearing that of the “2100 acres in the detached area, only 1600 acres is developable”. This is still way too large. Consider, 2 houses to an acre, this means over 3,000 new homes, and if on average 4 people per home, over 12,000 new residents. As a point of reference, Vernon’s and Mukwonago’s current population is approximately the same, 7,500-8,000; in 2010, Vernon’s population was 7,601 versus Mukwonago’s 7,355 per the U.S. census. Moreover, Mukwonago’s comprehensive land use plan adopted in 2016 does not even include portions of the proposed detached area and is based on a fraction of the potential number of homes and population in the proposed detached area. There was no explanation at the October 24 public hearing regarding why Mukwonago needs to add so many acres, development, and population. **A more reasonable detachment area is Section “A” and perhaps “B”, and detachment should be optional, not mandatory.**
3. **Increased taxes and forced water and sewer hookups.** Residents in the proposed detached area will be forced to pay Mukwonago taxes and forced to hook up to Mukwonago sewer and water. Mukwonago taxes are approximately \$7 per thousand dollars of property value higher, so someone owning a \$200,000 home will pay approximately \$1,400 more in taxes per year, a \$300,000 home, approximately \$2,100 more per year. Higher taxes result in higher monthly mortgage payments, which also reduces the value of residential property on resale. **Detachment should be optional, not mandatory.**
4. **The advantages of the proposed agreement are insignificant.** 1) Extraterritorial zoning limited to the proposed detached area. This is a very minor benefit, particularly since no issues have arisen in the past and none are expected in the future. 2) Mukwonago agrees to not challenge a future incorporation of Vernon. This is meaningless without similar agreements from New Berlin, Muskego, and most importantly Big Bend. The Vernon Board admitted that “Big Bend will never agree to Vernon’s incorporation”, so Mukwonago’s agreement essentially means nothing. 3) Tax Revenue. Two years of tax revenue on farmland does not account for development and is insignificant. If the land was annexed, Vernon will receive 5 years of tax revenue, which typically will include 2-3 years of taxes on the new development. 4) Land Values. Although vacant land values may increase because high density housing is possible due to municipal sewer and water (that assertion is questionable after considering the cost of municipal sewer and water), it will certainly reduce the value of existing homes and in adjacent subdivisions, including Sandhill Ridge, due to increased congestion, traffic, and adverse zoning and development. Enhancing property values of some property owners at the expense of



others is not an appropriate function of the town board. **In sum, there are virtually no benefits to Vernon other than fixing the border.**

In addition to the proposed agreement being detrimental, the process has not been open and transparent. Specifically:

1. **Lack of notice.** None of the residents in Sandhill Ridge (or, apparently any adjacent subdivisions or any Town resident), including none of the residents in the proposed detached area commenting at the public hearing, received any notice of the proposed agreement whatsoever. "Legal" notice is NOT actual notice. The notice of the public hearing on Vernon website added an informational session only several days ahead of the meeting. There was absolutely nothing on the proposed agreement in the Town's fall newsletter. The one paragraph on page 3 in the Town's winter newsletter (that was just recently published) rather belatedly states that there was a public hearing on October 24. **The Town should provide all residents adequate notice in advance that it is in the process of finalizing a proposed agreement with Mukwonago and all scheduled meetings related to it.**
2. **Lack of information.** There was no information regarding the advantages and disadvantages of the proposed agreement in advance of the October 24 informational session. There is no information regarding the advantages and disadvantages of the proposed agreement in the Town's newsletter, at Town Hall, or on the Town's website. More time is needed to allow residents to fully understand the advantages, disadvantages, and impact of the proposed agreement and provide comments and concerns. **The Town should provide all residents information regarding all the advantages and disadvantages and impact of the proposed agreement.**

As our elected representatives, you need to carefully and fully address resident comments and concerns. The proposed agreement is very costly to those forced into Mukwonago, is highly detrimental to those adjacent to the proposed detachment area, and provides virtually no benefits to the Town as a whole. The proposed agreement, as drafted, is so detrimental that Vernon is better off with no agreement. A better alternative is to negotiate a mutually beneficial agreement, with joint planning and orderly development and a reasonable border, and that minimizes costs to our residents.

Sincerely,



Carl Fortner

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TOWN OF VERNON



cc:

John Rozga  
Jackie Rozga  
Kevin Rand  
Paige Sweet  
Patti Fortner  
Tim Skloss  
Michelle Stapleton  
Jim Yauck  
Kathy Yauck  
Kim Bassett  
Scott Bartnik  
Nicole Bartnik  
Tim Myers  
Julie Myers  
Ken Dopierala  
Linda Dopierala  
Don Herron  
Diane Herron  
Mike Erwin  
Nancy Erwin  
Jeff Sobczyk  
Carolyn Sobczyk

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NOV 12 2018

CLERKS OFFICE  
TOWN OF VERNON



**From:** Ginger Pladies <mollybisket@centurytel.net>  
**Sent:** Wednesday, November 14, 2018 7:51 PM  
**To:** clerk@townofvernon.org  
**Cc:** Scott Craig <scraig@orinrt.com>; gregg50@msn.com; dancraig939@msn.com  
**Subject:** Boundry agreement Comments

Questions from Pladies 206 acres in the sacrificial zone C , residence at S107 W27070 Maple Ave. Mukwonago, WI 53149

- 1-Please provide all provided questions with answers from comment form ,e-mail or personal visit related to the boundary agreement made available to the public .
- 2-Please answer all the questions in a public setting not a "behind closed door session".
- 3-Please provide the proposed Hwy 83 bypass around Mukwonago plan as I believe the root of this boundary agreement has something to do with the proposed bypass .
- 4-If attached to the city of Mukwonago will Mukwonago pay the road frontage sewer and water charge ?
- 5-If attached to the city of Mukwonago how much will my taxes for Ag land go up ( i.e. The McCarthy's annex into the city and Mukwonago , Mukwonago in return raised their taxes enough that the McCarthy's had to get a attorney to fight the rise in taxes )
- 6-If attached to the city of Mukwonago will I lose my rights to discharge a firearm on my property ?
- 7- What if the majority of the proposed Attaches do not want to go into the village of Mukwonago? Don't we have rights who are you to tell us what happens with property that has been in families for generations .
- 8-Does any of the town of Vernon board or village of Mukwonago board live in the proposed attachment area ? Answer probably no , easy to make a decision that doesn't affect your home .



**clerk@townofvernon.org**

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**From:** tbird <tbird@townofvernon.org>  
**Sent:** Friday, November 16, 2018 8:36 PM  
**To:** clerk@townofvernon.org  
**Subject:** Fwd: Annexation of our property

Sent from my Galaxy Tab® S2

----- Original message -----

**From:** Sue Datka <tuzied@aol.com>  
**Date:** 11/13/18 1:10 PM (GMT-06:00)  
**To:** tbird@townofvernon.org, jmillies@townofvernon.org, gwilde@townofvernon.org, emoline@townofvernon.org, bcraig@townofvernon.org  
**Subject:** Annexation of our property

Dear members,

My name is Susan Datka. My husband is Gordon Datka. Our address is S109W27935 Maple Ave, for now. We are profoundly upset and disappointed that our leadership in the Town of Vernon has made an agreement draft with the Village of Mukwonago to Annex our property. We have lived in this community that WE chose 42 years ago. Tom, you put the addition on our home back in 79-80. We have abided by the rules and have paid taxes all those years. Without a call, letter, e-mail or text to hear our opinion concerning OUR property, you have all met and drafted an agreement to sacrifice our location of property to save others deeper in the town. It may be legal in your opinion but unimaginable to us. Couldn't you have protected us all.

Is all the current developable land in the Village of Mukwonago completely developed? If no, why come for ours. There are so many vacant spaces in the Village that it sometimes appears to be a rundown town. You lost land to the Village of Big Bend so to cut losses you sold us out and sacrificed us. The cost alone in increased taxes will be overwhelming to us as we are both retired and planned that accordingly based on our expenses never imaging an annexation. Shame on you for not considering the burdensome cost to all of us concerned. You all took care of yourselves though.

We are asking for you to STOP this attachment altogether. It should be our optional choice. If that is not possible we would ask for the phase years to be extended. If that is not possible we ask that each phase could not begin until the development of the prior phase be completed to 80 or 90 %.



We would like to say thank you for your service to us but I can't for we are beyond disappointed in the decisions you have made concerning us.

Sue and Gordon Datka

Property owners without considerate representation.



TO: TOWN OF VERNON BOARD MEMBERS

FROM: SCOTT + PATRICIA BILELLO  
S 10940 FAIRVIEW CIRCLE  
TOWN OF VERNON

RE: VERNON MUKWONAGO BORDER AGREEMENT

NOTE: WE HAVE A COPY OF BORDER AGREEMENT AND HAVE  
READ THRU IT. ALTHOUGH SOME DETAILS ARE NOT CLEAR  
TO US, THE OBVIOUS STANDS OUT VERY CLEAR.

THERE ARE VIRTUALLY NO BENEFITS TO VERNON OTHER  
THAN FIXING THE BORDER.....  
MASSIVE INCREASE TO PROPERTY TAXES,  
FORCED SEWER AND WATER HOOK UPS,  
MAJOR CHANGES TO LANDSCAPE AND VIEWS,  
MAJOR INCREASE IN ROAD TRAFFIC, THESE ARE JUST  
A FEW OBVIOUS THINGS THAT WILL DESTROY THE GREAT  
TOWN OF VERNON AND THE NON CITY LIVING WE ALL  
CURRENTLY LOVE AND ARE USED TO.

DEVELOPMENT IS NOT ALWAYS A BAD THING BUT WHEN IT  
AFFECTS A SMALL COMMUNITY LIKE VERNON SO ADVERSELY  
IT TENDS TO MAKE THE STOMACH TURN!!

IM SURE WE COMMENT ON BEHALF OF ALL VERNON RESIDENTS  
AFFECTED BY THIS NONSENSICAL BOUNDARY LINE CHANGE,  
AND ALSO AWARE THIS IS NOT THE FIRST TIME YOU HAVE HERD  
COMMENTS, CONCERNS, AND COMPLETE OPPOSITION FROM YOUR  
VERNON RESIDENTS CONCERNING THIS MATTER.

TOWN OF VERNON BOARD MEMBERS.... VOTE NO TO THROWING  
US TO THE WOLVES!!

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NOV 14 2018  
KAREN L. SCHUH  
CLERK, TOWN OF VERNON

W278  
S10940  
Fairview  
postman



**UNAPPROVED PROCEEDINGS FROM  
TOWN OF VERNON BOARD OF SUPERVISORS MEETING  
Thursday, December 20, 2018 at 6:00 p.m.**

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Clerk Karen Schuh announced that Chairman Thomas Bird will not be able to attend the meeting and Supervisor Ed Moline will be a little late. She stated the Town Board will need to elect a Supervisor to run the meeting in place of Chairman Thomas Bird.

**MOTION:** Supervisor Gary Wilde moved to appoint Supervisor Bill Craig as Acting Chairman in the absence of Chairman Thomas Bird. Motion was seconded by Supervisor Jeff Millies. Motion carried by unanimous voice vote.

**1-4. CALL TO ORDER, PLEDGE OF ALLEGIANCE, ROLL CALL AND OPEN MEETING  
LAW COMPLIANCE CHECK**

Meeting was called to order by Acting Chairman Bill Craig at 6:00 pm with the Pledge of Allegiance. Acting Chairman Bill Craig asked Town Clerk Karen Schuh to read the roll call for attendance. Present at the Town Board meeting: Supervisors Jeff Millies, Bill Craig and Gary Wilde were in attendance from the beginning of the meeting. Supervisor Ed Moline arrived at 6:09 pm, during the Public Comment section of the meeting. Chairman Thomas Bird had an excused absence. Town Clerk Karen Schuh verified to the Town Board that meeting notices were properly given and posted inside and outside the Town Hall, to the media and as a courtesy the agenda was sent to other entities within the Town of Vernon and the Town website and that the meeting is compliant with the State of Wisconsin Open Meetings Law requirement.

**5. CHAIRMAN ANNOUNCES POSSIBLE CLOSED SESSION and read the following notice:**

Acting Chairman Bill Craig read the following notice. The Town Board may convene to the closed session under state statute: 19.85(1)(g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved more specifically the Lucknow/Lent Annexation unanimously approved by the Village of Big Bend and Ryan and Sherri Linn Summons & Complaint. Included in the closed session will be the Town Board and Town Clerk, with the Town Attorney available by telephone. The motion will require a roll call vote.

**6. PUBLIC COMMENTS –**

Carl Fortner - Sandhill Ridge- He has a letter on file regarding his comments on the proposed border agreement with the Village of Mukwonago. He stated he feels this border agreement does not fix the borders of the Town board. He and many residents he spoke to are against the proposed border agreement as it is drafted. He discussed the trigger elements of the border agreement, requests for residents asking for building permits, no protecting for adverse development because there is no joint planning. He urged Town Board to do a referendum on this item and let the people know about this border agreement. He felt it would be a perfect time with elections in February and April of 2019. He talked about Supervisor Bill Craig's comments at the first public hearing and the fact that the Village of Big Bend surrounds the Craig property and that same issue could happen to the Fortner's property.

Mark Potter - Maple Ave. He has lived on Maple Avenue since 1986. He knows many of his neighbors in the border agreement area and many are retired and on fixed income. He was concerned with his taxes going from \$2.11 to \$8.34 per thousand and asked if he and his neighbors will we have to go back to work to pay for taxes. He asked about hunting on their property, if outdoor stoves are allowed and if burning leaves are permitted. He is concerned about the change and the Town will not have a small-town atmosphere. Look at what has happened to the Village. All the big business has run out the small businesses. Changes have to happen, but it is very hard on us.

Don Herron – Sandhill Ridge-Several years ago he developed a subdivision and the Town required larger lots to keep rural and farming atmosphere. For the people that were required to keep farmland to be farmed in Vernon. It will present a problem for farmers to farm their land in the future. He would like to see a referendum on this border agreement.

**7. MISCELLANEOUS MATTERS - The following matters will be discussed, and possible action taken by the Town Board unless otherwise noted:**

- a. Discussion of the Public Comments of the Public Hearings for the Cooperative Boundary Agreement with



**the Village of Mukwonago**

Acting Chairman Bill Craig asked Clerk Karen Schuh to give an overview of the public comments the Town Board received. The Town Board discussed the information that was in their e-packet and the information presented at the Town Board meeting. No action was taken by the Town Board.

**b. Resolution #2018-13-Resolution Approving 2019 wages for Town Employees**

Acting Chairman Bill Craig discussed the Resolution #2018-13. Acting Chairman Bill Craig reviewed the town attorney's comments and the revised resolution with the change in wages. The Town Board discussed the information that was in their e-packet and the information presented at the Town Board meeting.

**MOTION: Supervisor Gary Wilde moved to approve Resolution #2018-13- A Resolution Approving 2019 wages for Town Employees as presented at the meeting. Seconded by Supervisor Ed Moline. Motion carried by unanimous voice vote.**

\*Clerk Karen Schuh stated that Chairman Thomas Bird met with all the employees and contracted service vendors regarding the 2019 Contracts and the contracts that are in the packets were approved by all parties.

**c. Authorize Town Chairman to sign 2019 Contracts for:**

**i. DPW Director 2019 Contract**

Acting Chairman Bill Craig discussed authorizing the Town Chairman to sign the 2019 Contract for the DPW Director. The Town Board discussed the information that was in their e-packet and the information presented at the Town Board meeting. Supervisor Bill Craig was concerned about 4. G., 5 and 6 b. After discussion no changes were made to the 2019 proposed contract.

**MOTION: Supervisor Jeff Millies moved to approve and to authorize the Town Chairman to sign the 2019 Contract for the DPW Director. Seconded by Supervisor Gary Wilde. Motion carried by unanimous voice vote.**

**ii. Vernon Fire Chief 2019 Contract**

Acting Chairman Bill Craig discussed authorizing the Town Chairman to sign the 2019 Contract for the Vernon Fire Chief Contract. The Town Board discussed the information that was in their e-packet and the information presented at the Town Board meeting.

**MOTION: Supervisor Gary Wilde moved to approve and to authorize the Town Chairman to sign the 2019 Contract for the Vernon Fire Chief. Seconded by Supervisor Ed Moline. Motion carried by unanimous voice vote.**

**iii. Building Inspection 2019 Contract**

Acting Chairman Bill Craig discussed authorizing the Town Chairman to sign the 2019 Contract for the Building Inspector. The Town Board discussed the information that was in their e-packet and the information presented at the Town Board meeting. Supervisor Ed Moline was concerned about the releasing of Occupancy Permits in a timely fashion and this will be discussed at the next staff meeting. Supervisor Bill Craig was concerned with item 2.J. in the Assessors Contract and questioned why the Building Inspector Contract does not have the language regarding a holding harmless and identifying the Town. No changes were made to the proposed contract.

**MOTION: Supervisor Jeff Millies moved to approve and to authorize the Town Chairman to sign the 2019 Contract for the Building Inspector. Seconded by Supervisor Gary Wilde. Motion carried by unanimous voice vote.**

**iv. Assessor 2019 Contract**

Acting Chairman Bill Craig discussed authorizing the Town Chairman to sign the 2019 Contract for the Assessor. The Town Board discussed the information that was in their e-packet and the information presented at the Town Board meeting.

**MOTION: Supervisor Ed Moline moved to approve and to authorize the Town Chairman to sign the 2019 Contract for the Assessor. Seconded by Supervisor Gary Wilde. Motion carried by unanimous voice vote.**

**d. Budget Amendment to authorize the Town Clerk to transfer \$9,024.86 to the General fund from the Park fund**



Acting Chairman Bill Craig asked Clerk Karen Schuh to explain the budget amendment request authorizing the Town Clerk to transfer \$9,024.86 to the General fund from the Park fund. The Town Board discussed the information presented at the meeting, the information in the e-packet and the attorney's comments.

**MOTION: Supervisor Jeff Millies moved to approve the Budget Amendment to authorize the Town Clerk to transfer \$9,024.86 to the General fund from the Park fund. Seconded by Supervisor Ed Moline. Motion carried by unanimous voice vote.**

**e. Village of Big Bend response to Stormwater Maps for Ripple Brook Subdivision**

Acting Chairman Bill Craig asked Clerk Karen Schuh to give an update of information the Town received from the Village of Big Bend response to Stormwater Maps for Ripple Brook Subdivision. The Town Board discussed the information that was in their e-packet and the information presented at the Town Board meeting. Supervisor Gary Wilde stated that the town attorney indicated that this may be a civil issue rather than a town issue. Acting Chairman Bill Craig stated that stormwater is an EPA mandate that the DNR must enforce and the Town Board is required to comply with. No Town Board action was taken on this item.

**f. 2019 Department of Public Works Clothing Policy**

Acting Chairman Bill Craig discussed the 2019 Department of Public Works Clothing Policy. The Town Board discussed the information that was in their e-packet, the information presented at the Town Board meeting and the Town Attorney's comments.

**MOTION: Supervisor Gary Wilde moved to approve the 2019 Department of Public Works Clothing Policy. Seconded by Supervisor Ed Moline. Motion carried by unanimous voice vote.**

**g. Laureen Dashek Treasurer's request for mileage reimbursement from the beginning of elected service**

Acting Chairman Bill Craig asked Supervisor Ed Moline to discuss his concerns with Laureen Dashek's request for mileage reimbursement from the beginning of elected service. Supervisor Ed Moline stated that Town Board has not heard anything from the Treasurer regarding this issue. He felt there may be legal issues regarding this issue and referenced the attorney's comments. He stated the Town may have to request that the Sheriff's department may need to investigate this issue.

**MOTION: Supervisor Ed Moline moved to postpone payment. Seconded by Supervisor Gary Wilde. Motion carried by unanimous voice vote.**

**8. & 9. CORRESPONDENCE, ANNOUNCEMENTS AND REPORTS**

**a. Town Board Reports**

**Chairman Thomas Bird** – Excused absence

**Supervisor Jeff Millies** –Had a great time at the Town of Vernon Volunteer appreciation dinner and thanked the Clerk for cooking the food. He wished everyone a Merry Christmas and Happy New Year.

**Supervisor Gary Wilde** –Came down last Sunday to watch the Vernon Activity Center training exercise. There were five departments that participated in the training. He reported that the Vernon Activity Center was filled with mold, bugs and animals. Recreation equipment was moved to Fire station #2. Thanked the fire department for doing a good job. Wished everyone a Merry Christmas and a Happy New Year.

**Supervisor Ed Moline** – He had several phone calls opposing burning permits. Came down last Sunday to watch the Vernon Activity Center training exercise. He has drafted an article and submitted pictures for the next newsletter,

**Supervisor Bill Craig** –He stated that keeping the Vernon Activity Center open would have cost the Town a significant amount of money on maintenance and utilities and it was time for the building to go. Thanked all the volunteers for all they do for the Town and their service is really appreciated by the Town Board. He received a call from a concerned resident, who was waiting to pay their taxes, he heard comments about a big annexation from the Village of Mukwonago and the resident was very upset. He believes talking about town issues when taxes are being collected is not appropriate. People can come to a meeting to express their concerns and he does not feel that the person collecting taxes should be discussing political issues when people are paying their taxes.



He stated he is a victim of an unfilled restraining order and the Sheriff's department was called regarding this allegation. He felt he was doing his job as a Town Board and Plan Commission member and all he was doing is taking photos of a business that has no permits. He wished everyone a Merry Christmas and Happy New Year.

- b. **Clerk Report** – She stated she was also at the Town to watch the Vernon Fire Department and their training session. Thank you to all the Town of Vernon residents for the truck load of supplies to the Homeless Veterans. She will be taking another load after the holidays and they need 13-gallon kitchen garbage bags. Happy holidays to everyone.

## 10. FINANCES

### a. Accounts Payable dated December 20, 2018

The Town Board discussed the requests for payment of the invoices and questioned why there were so many old occupancy bonds in the accounts payable. Supervisor Ed Moline wanted to make sure that the total did not include the payment of mileage to reimbursement. The Clerk calculated the new total which excluded the reimbursement of mileage for the Treasurer.

**MOTION:** Supervisor Ed Moline moved to approve the accounts payable list dated December 20, 2018, batch #20181220, in the amount of \$81,637.28. Motion seconded by Supervisor Gary Wilde. Motion carried by voice vote.

### b. Manual Checks -None

### c. Approval of ACH Transactions for November 2018

The Town Board discussed the November 2018 ACH transactions.

**MOTION:** Supervisor Ed Moline moved to approve the October 2018 ACH transactions in the in the amount of \$134,033.72. Motion seconded by Supervisor Gary Wilde. Motion carried by voice vote.

### d. November 2018 Accounts Receivable Aging Report

The Town Board reviewed the November 2018 aging accounts receivable report and no formal action was taken on this item.

### e. November 2018 Financial Statements

The Town Board reviewed the November 2018 financial reports and no formal action was taken on this item.

### f. Citizens Bank of Mukwonago-ACH & Security Framework

The Town Board reviewed the ACH and Security Framework Reports, and no formal action was taken on this item.

## 11. APPROVAL OF TOWN BOARD MINUTES

### a. December 6, 2018 Town Board Minutes

The Town Board discussed the December 6, 2018 Town Board Minutes.

**MOTION:** Supervisor Ed Moline moved to approve the December 6, 2018 Town Board Minutes. Motion seconded by Supervisor Jeff Millies. Motion carried by unanimous voice vote.

### December 10, 2018 Town Board Minutes

The Town Board discussed the December 10, 2018 Town Board Minutes.

**MOTION:** Supervisor Jeff Millies moved to approve the December 10, 2018 Town Board Minutes. Motion seconded by Supervisor Gary Wilde. Motion carried by unanimous voice vote.

## 12. NEXT MEETING DATE – Town Board January 3, 2019.

**13. PUBLIC COMMENTS** – Tim Pladies - Maple Ave. His comments were about the border agreement. He believes most people in the Town of Vernon are uninformed about this. I learned the talks began in 1992 and he was a senior in high school. He stated that this is being slid in like a slimy snake and would like this issue to go to a town referendum. He stated he can see that the Town Board has not reviewed the comments and the Village of Mukwonago residents are not giving comments. Vernon



is losing, and we need a referendum and it is going too fast. He talked with Kevin McCarthy and his taxes went up \$50 per acre after he annexed his property to the Village of Mukwonago. He stated when his property goes into the Village his taxes will go up \$10,000.00. He asked if there were other meetings held that the people could go to give Town Board members comments about the border agreement. He questioned how the residents who live on Fairview Circle got special treatment regarding the changes from the first draft of the border agreement to the second draft of the border agreement. He stated his mother is 74 years old and the extra tax burden is not fair for her. He asked if the residents are going to get answers to our questions. He asked if there can be a question and answer session with the Town Board about the border agreement.

#### 14. CLOSED SESSION

Motion is required to move into closed session pursuant to 19.85(1)(g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved more specifically the Luckow/Lent Annexation approved by the Village of Big Bend and Ryan and Sherri Linn Summons & Complaint. Included in the closed session will be the Town Board and Town Clerk, with the Town Attorney available by telephone. The motion will require a roll call vote.

**MOTION: Supervisor Jeff Millies moved to go into closed session as stated by the acting Town Chairman and as stated on the Town Board agenda. Motion was seconded by Supervisor Gary Wilde.**

Clerk Karen Schuh read the roll call vote and the Town Board moved unanimously by roll call vote to move into closed session at 7:25 pm.

**15. ADJOURNMENT**-Clerk's note- Town Board adjourned in closed session at 7:46 pm

Respectfully Submitted by:

*Karen L. Schuh*, Clerk

APPROVED:

*Thomas G. Bird*

Thomas G. Bird, Chairman, Town of Vernon

Approved: By Town Board on January 2019 as presented



12/19/18

To Whom It May Concern

I am very upset with the boundary talks & possible agreement being discussed between Village of Mukwonago & Town of Vernon. It seems very unfair to me. Why not leave things as they are? I am satisfied with things as they are. I certainly do not wish to have city water & sewer. I would have a difficult time paying for something like that. What happens if I decide to sell my property? It just seems so needless. It seems Mukwonago is trying to take over this whole area.

I want it on record that I am against this!

**RECEIVED**

DEC 26 2018

KAREN L. SCHUH  
CLERK, TOWN OF VERNON

Thank you  
Beverly M. Krasnick  
1097 W 27745 Maple Ave.  
Mukwonago, WI 53149



clerk@townofvernon.org

---

**From:** Linda Gourdoux <lgourdoux@villageofmukwonago.com>  
**Sent:** Friday, December 28, 2018 5:39 AM  
**To:** clerk@townofvernon.org  
**Cc:** John Weidl; 'Thomas Bird - Town of Vernon'  
**Subject:** Re: Comments on Border Agreement

We have received no comments

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

**From:** clerk@townofvernon.org  
**Date:** 12/27/18 7:55 PM (GMT-06:00)  
**To:** Linda Gourdoux <lgourdoux@villageofmukwonago.com>  
**Cc:** John Weidl <jweidl@villageofmukwonago.com>, 'Thomas Bird - Town of Vernon' <tbird@townofvernon.org>  
**Subject:** Comments on Border Agreement

Hello Linda,

Did the Village of Mukwonago receive any public comments on the border agreement? Thank you and Happy New Year!

*Karen L Schuh*

Town Clerk  
Town of Vernon  
W249 S8910 Center Dr  
Big Bend, WI 53103  
PH: 262-662-2039  
FX: 262-662-3510  
Population 7,600  
[clerk@townofvernon.org](mailto:clerk@townofvernon.org)  
[www.townofvernon.org](http://www.townofvernon.org)

*Nobody cares how much you know, until they know how much you care!*

*Theodore Roosevelt*

*Open Meetings Disclaimer: The email above contains the thoughts, opinions, and commentary of the author alone. It is intended as a one-way transmission of a thought, idea, or information related to my role as municipal official or issues within the municipality, but is not intended to serve as an invitation for reply, rebuttal, discussion, debate or responsive commentary. Please do not respond to this email, unless specifically requested to do so above, as it is the author's intention to utilize the informality and convenience of this electronic message while simultaneously avoiding any and all violations of the Wisconsin Open Meetings Law contained in Section 19.81 of the Wisconsin Statutes or elsewhere within Wisconsin law, as applicable to this municipality as described in 66 Op. Att'y Gen. 237 (1977). Specifically, there is no intention on the part of the author to engage in or foster any "governmental business" as defined in State ex.rel. Newspapers v. Showers, 398 N.W.2d 154 (Wis. 1987). You are specifically requested to refrain from forwarding or "replying to all" with regard to its contents, so as to avoid the possible "walking quorum" proscriptions, including those considered in State ex.rel. Lynch v. Conta, 239 N.W.2d 313 (Wis. 1976). It is the author's motive and intent to comply with the overriding policy of the open meetings law - to ensure public access to information about governmental affairs. Your cooperation in accomplishing this end is most appreciated.*



**clerk@townofvernon.org**

---

**Subject:** FW: Boundry agreement Comments

**From:** Ginger Pladies <mollybisket@centurytel.net>

**Sent:** Wednesday, December 19, 2018 2:45 PM

**To:** clerk@townofvernon.org

**Cc:** 'Thomas Bird - Town of Vernon' <tbird@townofvernon.org>; jmillies1@wi.rr.com; gwilde@townofvernon.org; emoline@wi.rr.com; emoline@townofvernon.org; 'Bill Craig-town' <bcraig@townofvernon.org>; 'Bruce Kaniewski' <planner@villageofmukwonago.com>; 'John S. Weidl' <jweidl@villageofmukwonago.com>

**Subject:** RE: Boundry agreement Comments

Karen this is Tim Pladis verifying if the meeting that was canceled today is on for tomorrow and if it is open to the public , also wondering why I haven't received answers to my questions yet .

---

**From:** clerk@townofvernon.org [mailto:clerk@townofvernon.org]

**Sent:** Thursday, November 15, 2018 7:50 AM

**To:** 'Ginger Pladies'

**Cc:** 'Thomas Bird - Town of Vernon'; jmillies1@wi.rr.com; gwilde@townofvernon.org; emoline@wi.rr.com; emoline@townofvernon.org; Bill Craig-town; Bruce Kaniewski; John S. Weidl

**Subject:** RE: Boundry agreement Comments

**Importance:** High

Hello Ginger,

I will forward your questions to the Town Board and ask the Village of Mukwonago's Planner, Bruce Kaniewski, if he can asked any questions related to the Village of Mukwonago. Did you received the letter that states the Town of Vernon and the Village of Mukwonago are having another Public Hearing on the 28<sup>th</sup> at 6:30 pm in the Village of Mukwonago?

*Karen L Schuh*

Town Clerk

Town of Vernon

**From:** Ginger Pladies <mollybisket@centurytel.net>

**Sent:** Wednesday, November 14, 2018 7:51 PM

**To:** clerk@townofvernon.org

**Cc:** Scott Craig <scraig@orinrt.com>; gregg50@msn.com; dancraig939@msn.com

**Subject:** Boundry agreement Comments

Questions from Pladies 206 acres in the sacrificial zone C , residence at 5107 W27070 Maple Ave. Mukwonago, WI 53149

- 1-Please provide all provided questions with answers from comment form ,e-mail or personal visit related to the boundary agreement made available to the public .
- 2-Please answer all the questions in a public setting not a "behind closed door session".
- 3-Please provide the proposed Hwy 83 bypass around Mukwonago plan as I believe the root of this boundary agreement has something to do with the proposed bypass .
- 4-If attached to the city of Mukwonago will Mukwonago pay the road frontage sewer and water charge ?
- 5-If attached to the city of Mukwonago how much will my taxes for Ag land go up ( i.e. The McCarthy's annex into the city and Mukwonago , Mukwonago in return raised their taxes enough that the McCarthy's had to get a attorney to fight the rise in taxes )
- 6-If attached to the city of Mukwonago will I lose my rights to discharge a firearm on my property ?
- 7- What if the majority of the proposed Attaches do not want to go into the village of Mukwonago? Don't we have rights who are you to tell us what happens with property that has been in families for generations .
- 8-Does any of the town of Vernon board or village of Mukwonago board live in the proposed attachment area ? Answer probably no , easy to make a decision that doesn't affect your home .



## RESOLUTION# 2019-01

RESOLUTION AUTHORIZING SUBMISSION OF COOPERATIVE BOUNDARY  
AGREEMENT WITH THE VILLAGE OF MUKWONAGO TO DEPARTMENT OF  
ADMINISTRATION

WHEREAS, on or about October 19, 2017 and again on September 6, 2018 the Town of Vernon Town Board adopted a Resolution authorizing the negotiation and preparation of a cooperative boundary plan to fix the municipal boundaries with the Village of Mukwonago; and,

WHEREAS, on or about February 21, 2017 and again on August 15, 2018 the Village Board of the Village of Mukwonago adopted a Resolution authorizing the negotiation and preparation of a cooperative boundary plan to fix the municipal boundaries with the Town of Vernon; and,

WHEREAS, notice of each Resolution was given in writing, within five (5) days after the Resolution being adopted, to all of the following:

1. The State of Wisconsin Department of Administration; Department of Natural Resources; Department of Agriculture, Trade and Consumer Protection and Department of Transportation;
2. The Clerks of any municipality, school district, technical college, sewerage district or sanitary district which has any part of its territory within five (5) miles of a participating municipality;
3. The Clerk of each county in which a participating municipality is located;
4. Any county zoning agency or regional planning commission whose jurisdiction includes a participating municipality.

WHEREAS, at least 60 days after the adoption of the foregoing Resolutions, and at least 60 days before submitting the Cooperative Plan to the Department of Administration for review and approval, the Town of Vernon and Village of Mukwonago held a joint public hearings on October 24, 2018 and on November 28, 2018 regarding the proposed Plan, upon class 3 notice as required by Wisconsin Statutes §66.0307(4)(b); and

WHEREAS, any person was permitted to comment on the Plan during the public hearing and was permitted to submit written comments before, at or within 20 days following the public hearing, and all comments have been considered by each participating municipality as required by Wisconsin Statutes §66.0307(4)(c); and

WHEREAS, the provisions of §66.0307, Stats., provide that the Department of Administration, Division of Municipal Boundary Review must review the changes to municipal boundaries which are set forth in a cooperative boundary agreement and any supporting materials and information; and,

WHEREAS, the Town of Vernon Board of Supervisors, its attorneys and planning personnel prepared a submission for the Department of Administration's review in furtherance of the boundary change with each of the participating municipalities; and,

WHEREAS, the public hearing ended on November 28, 2018 and no petition opposing the Plan has been received, and no referendum is sought by the Town Board in the matter; and







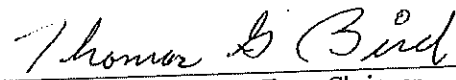
WHEREAS, the Town Board for the Town of Vernon has considered comments made on the proposed Cooperative Plan and hereby intends to adopt a final version of the Plan in order to submit the Plan to the State of Wisconsin Department of Administration as required by Wisconsin Statutes §66.0307(4)(d)1., and (f).

NOW THEREFORE, the Town Board for the Town of Vernon, Waukesha County, Wisconsin hereby adopts the final Cooperative Boundary Plan Between the Town of Vernon and the Village of Mukwonago as attached hereto as Exhibit A and incorporated herein by reference, and upon adoption of such final Cooperative Boundary Plan by the Village of Mukwonago authorizes submittal of the final Cooperative Plan to the State of Wisconsin Department of Administration. Such submittal shall be accompanied by any written comment received by the Town of Vernon on any version of the Cooperative Boundary Plan. The Cooperative Boundary Plan shall take effect upon the written approval of the State of Wisconsin Department of Administration as required by §66.0307(5).

BE IT FURTHER RESOLVED, that this adoption of the final Cooperative Boundary Plan is subject to a potential advisory referendum as described in Wisconsin Statutes §66.0307(4)(e), though no advisory referendum is currently anticipated and will only be held if required by law as described in such statute.

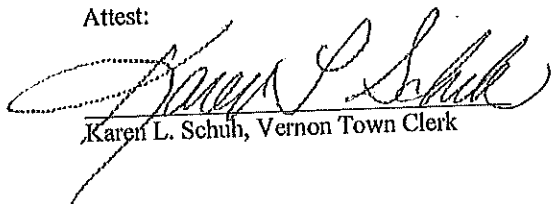
Dated this 3rd day of January 2019

By the Town Board of the Town of Vernon



Thomas G. Bird, Vernon Town Chairman

Attest:

 1/3/2019

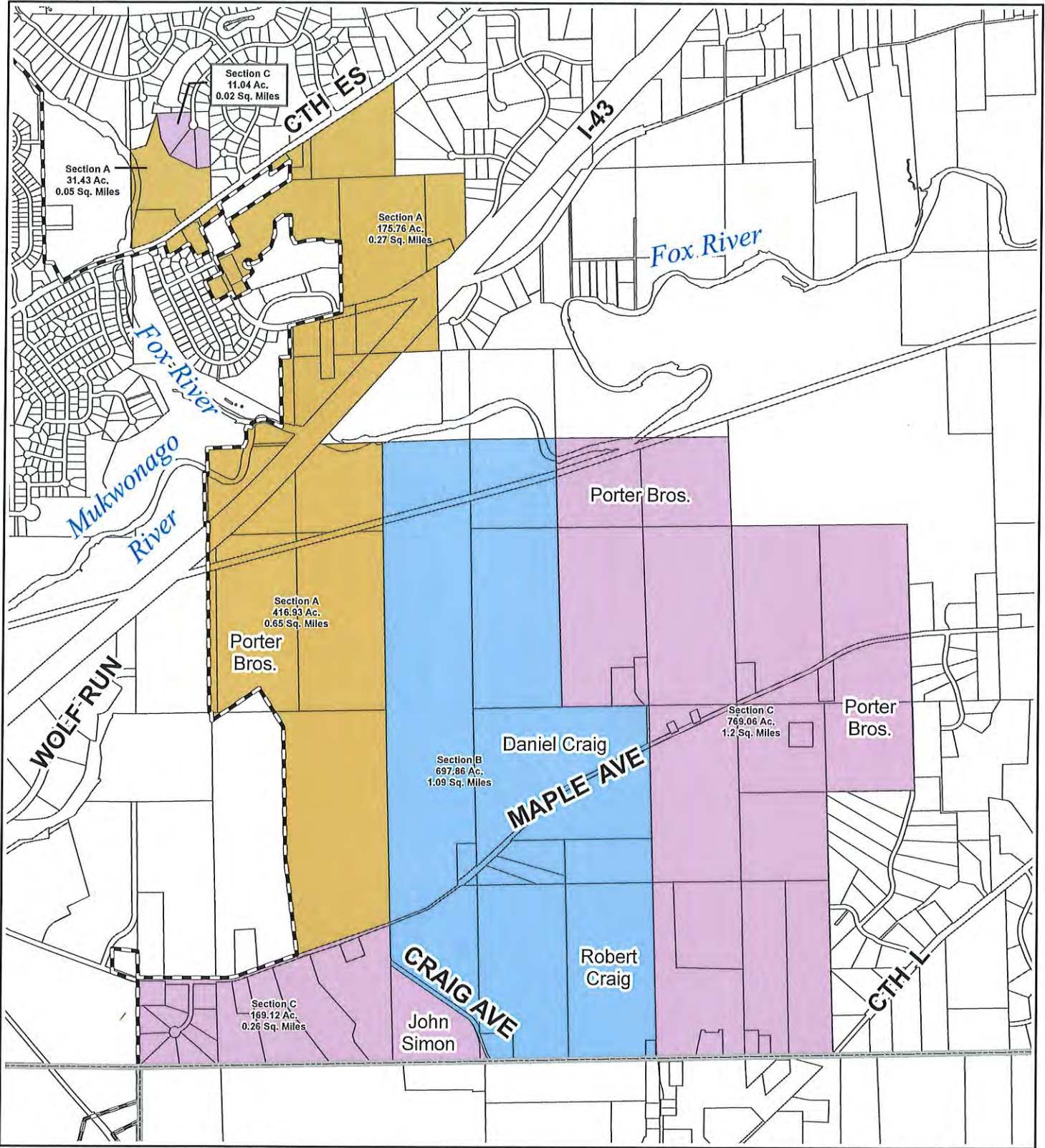
Karen L. Schuh, Vernon Town Clerk







# PROPOSED VERNON - MUKWONAGO BOUNDARY AGREEMENT



I:\Projects\12\_Mukwonago\Maps\Phasing.mxd

## Legend

- Section A, 1st Phase Attachment Area, 10 Year Time Frame
- Section B, 2nd Phase Attachment Area, 20 Year Time Frame
- Section C, 3rd Phase Attachment Area, 30 Year Time Frame
- Village Boundary
- County Line

Exhibit #2

ULTIMATE VILLAGE BOUNDARY /  
VILLAGE GROWTH AREA

VILLAGE OF MUKWONAGO  
AND TOWN OF VERNON

October, 2018

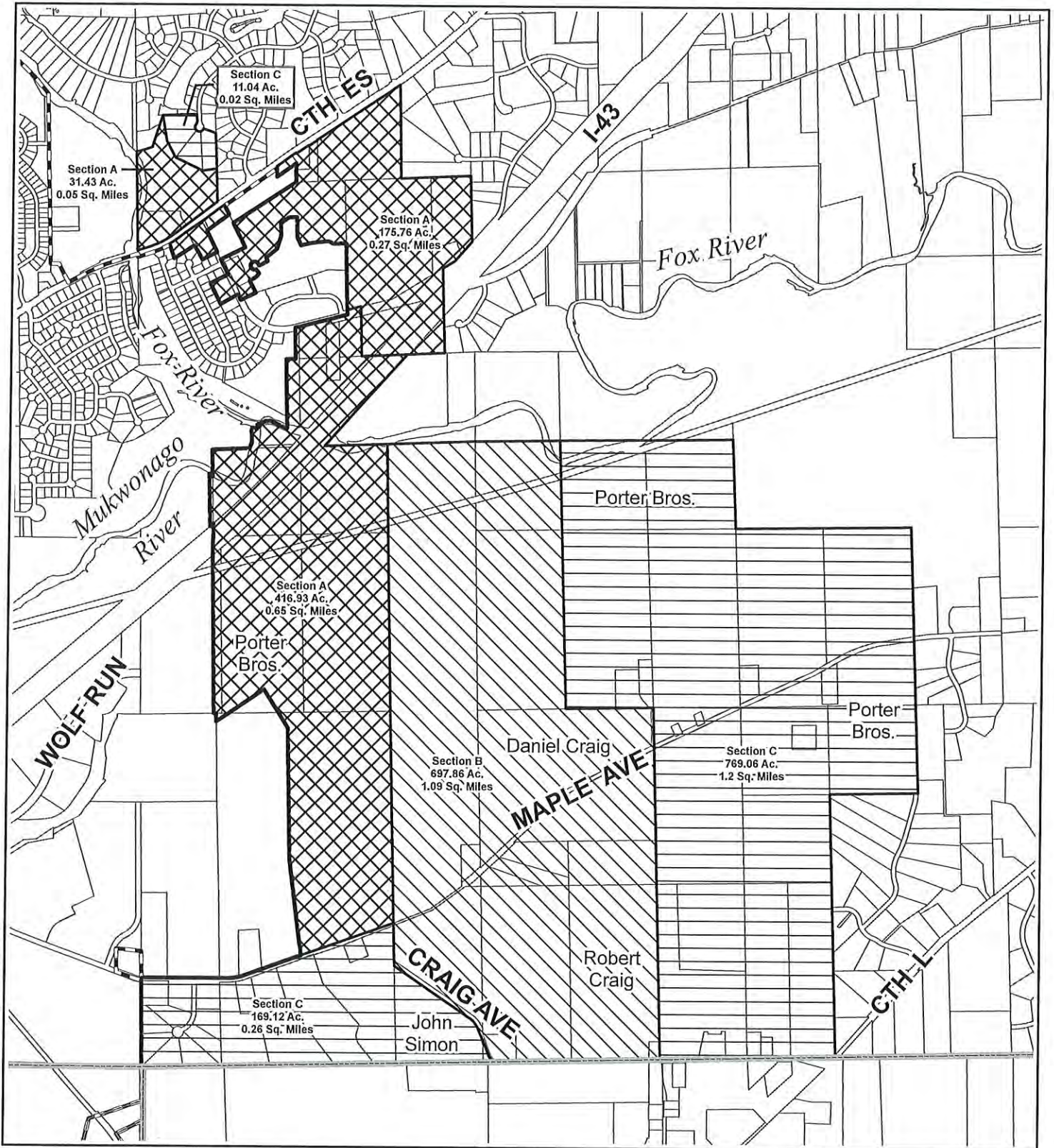








# PROPOSED VERNON - MUKWONAGO BOUNDARY AGREEMENT



## Legend

- Section A, 1st Phase Attachment Area, 10 Year Time Frame
- Section B, 2nd Phase Attachment Area, 20 Year Time Frame
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- Village Boundary
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Exhibit #2

ULTIMATE VILLAGE BOUNDARY /  
VILLAGE GROWTH AREA

VILLAGE OF MUKWONAGO  
AND TOWN OF VERNON

October, 2018











## Village of Mukwonago

### AGENDA ITEM REQUEST FORM

Committee/Board:	Finance
Topic:	Financial Software Purchase Recommendation
From:	Diana Doherty
Department:	Finance
Presenter:	Diana Doherty
Date of Committee Action (if required):	
Date of Village Board Action (if required):	January 16, 2019

### Information

#### Background Information/Rationale:

Due to numerous, ongoing issues and limited capabilities of our existing financial software, I prepared a request for proposal to receive quotes for new software last August. The RFP was sent to numerous municipal software vendors via e-mail blast by the League of Wisconsin Municipalities. Two vendors, Civic Systems and BS&A, responded and you were provided those original quotes to review last week.

Both vendors offer software that is a tremendous improvement over what we currently have. We had two separate in-person, full-day presentations attended by staff who will be the primary users and by department heads who will be able to directly access information specific to their departments and enter budget information. There was a lot to consider and compare, so we also had follow-up web-based sessions after the initial demonstrations to go over our additional questions and to revisit some areas of particular interest.

In the course of these in-person and web-ex meetings, we learned that we could better address the issues we've experienced in accepting online building permits and the corresponding payments on our website. The online "portal" to do this was not part of the RFP so it was not included in the original quotes from the vendors. This is why you'll see revised price quotes. Also, during discussions with both vendors, the need for additional programming to accommodate the importing of tax bill information from the county and the processing of tax payments was identified so the revised quotes include this addition as well.

#### Key Issues for Consideration:

Civic Systems is located in Madison and is a subsidiary of Baker Tilly, whom we utilize for our annual audit. Civic uses a 3<sup>rd</sup> party vendor Caselle Inc.'s software. BS&A develops their own software and is located in Bath, Michigan. From what I observed during the demonstrations and the answers to questions that I and other staff asked, my recommendation is BS&A.

While I was impressed with both vendors, BS&A's software appears to be more user-friendly and efficient. As an example, for reporting and budgeting analysis purposes, it's often necessary to group data in various ways. This seems easier to accomplish in BS&A's software than with Civic, which is a big time-saver. In some of the other functions, such as utility billing, BS&A is able to capture more of the information needed to fill out the statistical portion of the PSC report. Civic did not have that same capability. It appears BS&A is one-step ahead of Civic in some of the functionality within their programs.

Since BS&A is not limited to what a 3<sup>rd</sup> party developer is (or is not) willing to do with their software, I also believe they would be more responsive to client requested changes and enhancements. I've





## Village of Mukwonago

### AGENDA ITEM REQUEST FORM

spoken to a lot of colleagues in the past two years about the software they use and those who use BS&A have had nothing but good things to say about their experience.

#### **Fiscal Impact (If any):**

The pricing in the two quotes were not presented in the same manner. I've attached a spreadsheet that shows the information in a more comparable format. While there are blank lines for items in BS&A's column for 3 items identified as Department Head "DH" applications in Civic's column, those same capabilities are part of the General Ledger and Financials Online applications for BS&A. The only application included in Civic's price that I had BS&A remove from their quote was the Special Assessment application. It is not something that we have a great need for at this time. It is still part of Civic's quote since it's part of the entire financial package.

The bottom line pricing (per the revised quotes) is as follows:

<b>CIVIC</b>			<b>BS&amp;A</b>		
Year 1 Cost	Travel*	Annual Support	Year 1 Cost	Travel*	Annual Support
\$123,076	\$3,400	\$12,246	\$114,370	\$20,680	\$9,810

The overall cost difference (not including the annual support) for the year one cost plus travel (for vendor staff) is \$8,574. Civic is \$126,476 and BS&A is \$135,050. As you can see BS&A travel costs are higher as it includes airfare as opposed to car mileage. BS&A also plan to be at Village Hall 37 days for software implementation and training as opposed to Civic's 16 days. These travel costs are estimates so our actual expenses could be less depending on how many trips are made. In comparing the ongoing annual support fee, Civic's is higher by \$2,436.

The amount budgeted in the Village's capital fund (excluding Utility Billing which will be charged to the Utilities) for this purchase is \$115,000. The Utility Billing portion of project cost in BS&A's quote is \$21,501 to be split between the Utilities. The additional cost for the Building Permit "Portal" in the first quote revision from BS&A was \$9,380. In the final pricing, it comes out to \$6,979. That additional cost will be split between Building Inspection's and Village Administrator's Professional Services accounts in the general fund if we can't cover it in the originally budgeted \$115,000.

#### **Requested Action by Committee/Board:**

Authorize the execution of the agreement with BS&A

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#### **Attachments**

Summary comparison of revised Vendor quotes  
Revised Vendor Quotes

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	CIVIC			BS & A		
	YEAR 1 Cost Excluding		Annual	YEAR 1 Cost		Annual
	Travel	Travel Costs	Support	Excluding Travel	Travel Costs	Support
User Licenses (7 - Civic only; unlimited BS&A)	5,706	158	506	-	-	-
Accounts Payable	7,447	206	822	9,095	1,645	780
Accounts Receivable	6,371	176	696	8,497	1,536	729
Animal Licenses	4,062	112	417	6,877	1,243	590
Business Licenses	4,362	121	417	9,436	1,706	809
Building Permits	14,542	402	1,392	18,586	3,361	1,594
Permits Online (not in original proposal)**				5,910	1,069	507
Cash Receipting	8,591	237	911	9,095	1,645	780
Online Bill Pay				4,373	791	375
Financials Online*				4,483	811	385
Fixed Assets (GASB reporting)	4,362	121	417	9,095	1,645	780
General Ledger *	12,636	349	886	10,715	1,938	919
Dept. Head Dashboard*	5,471	151	696	-	-	-
Dept. Head - AP*	4,694	130	569	-	-	-
Dept. Head - Budget*	2,153	59	253	-	-	-
Special Assessments	4,518	125	443	-	-	-
UB (this cost to be charged to the Utilities)	24,361	673	1,721	18,209	3,292	1,562
	109,276	3,019	10,146	114,370	20,680	9,810
	Prices Quoted in Civic's Original Proposal			BS&A revised several line items		
Add'l Items after initial proposal				no charge		
Property Tax Collections	5,775	160	975			
Customer Portal for Building Inspections**	8,025	222	1,125			
REVISED PROPOSAL TOTAL	123,076	3,400	12,246	114,370	20,680	9,810

\*Application costs allocated differently by the Vendors

Travel Comparison - actual costs will vary

Estimated # of Days at Village Hall

Estimated # of Trips

16

6 Driving

37

14 Flights



## CIVIC Systems

	Civic License Fee Purchase Price	One Time Conversion & Set-Up	Training	Year 1 w/o support	% of Total for discount purposes	Full Suite Discount	Discounted Cost w/o Support	Annual Maintenance	% of Total for discount purposes	Discounted Annual Maintenance	YEAR 1 TOTAL	Travel Costs
User Licenses (7)	8,000	-	-	8,000	9.50%	(2,800.00)	5,200	800	4.99%	506	5,706	158
Accounts Payable	6,500	1,200	1,200	8,900	7.72%	(2,275.00)	6,625	1,300	8.10%	822	7,447	206
Accounts Receivable	5,500	900	1,200	7,600	6.53%	(1,925.00)	5,675	1,100	6.86%	696	6,371	176
Animal Licenses	3,300	900	600	4,800	3.92%	(1,155.00)	3,645	660	4.11%	417	4,062	112
Business Licenses	3,300	1,200	600	5,100	3.92%	(1,155.00)	3,945	660	4.11%	417	4,362	121
Building Permits	11,000	3,000	3,000	17,000	13.06%	(3,850.00)	13,150	2,200	13.72%	1,392	14,542	402
Cash Receipting	7,200	1,800	1,200	10,200	8.55%	(2,520.00)	7,680	1,440	8.98%	911	8,591	237
Fixed Assets (GASB reporting)	3,300	1,200	600	5,100	3.92%	(1,155.00)	3,945	660	4.11%	417	4,362	121
General Ledger	7,000	3,600	3,600	14,200	8.31%	(2,450.00)	11,750	1,400	8.73%	886	12,636	349
DH Dashboard	5,500	600	600	6,700	6.53%	(1,925.00)	4,775	1,100	6.86%	696	5,471	151
DH - AP	4,500	600	600	5,700	5.34%	(1,575.00)	4,125	900	5.61%	569	4,694	130
DH - Budget	2,000	300	300	2,600	2.38%	(700.00)	1,900	400	2.49%	253	2,153	59
Special Assessments	3,500	1,200	600	5,300	4.16%	(1,225.00)	4,075	700	4.36%	443	4,518	125
UB	13,600	9,000	4,800	27,400	16.15%	(4,760.00)	22,640	2,720	16.96%	1,721	24,361	673
	84,200	25,500	18,900	128,600	100.00%	(29,470.00)	99,130	16,040	100.00%	10,146	109,276	3,019
								(5,894)				
								10,146				

## Add'l Items after initial proposal

Property Tax Collections	3,900	600	300	4,800			4,800			975	5,775	160
Customer Portal for Building Inspections	4,500	1,800	600	6,900			6,900			1,125	8,025	222
<b>REVISED PROPOSAL TOTAL</b>	<b>92,600</b>	<b>27,900</b>	<b>19,800</b>	<b>140,300</b>		<b>(29,470)</b>	<b>110,830</b>			<b>12,246</b>	<b>123,076</b>	<b>3,400</b>

## Initial Proposal

Full Suite Discount	29,470											
# of licenses	7											
Travel Costs							3,400					
<b>Grand Total</b>							<b>102,530</b>					
<b>Annual Support (year 1 included above)</b>							<b>10,146</b>					



## B S & A

User Licenses (site license -

unlimited users)

Accounts Payable

Accounts Receivable

Animal Licenses

Business Licenses

Building Permits

Permits Online

Cash Receipting

Online Bill Pay

Financials Online

Fixed Assets (GASB reporting)

General Ledger

DH Dashboard

DH - AP

DH - Budget

Special Assessments (Removed)

UB

## ALLOCATED COSTS

	Applications	Data Conversion or Set-up	Custom Import	total before allocated costs	% of Total	Plan & Implement	Training	Post "Go Live"	Total	Travel costs based on allocation	Annual Maintenance
	3,115	1,825		-	0.00%	-	-	-	9,095	-	-
	3,115	1,500		4,940	7.95%	1,292	2,624	239	9,095	1,644.55	780.13
	1,930	1,805		4,615	7.43%	1,207	2,452	223	8,497	1,536.35	728.80
	2,570	2,555		3,735	6.01%	977	1,984	180	6,877	1,243.40	589.83
	4,595	4,000	1,500	5,125	8.25%	1,341	2,723	248	9,436	1,706.13	809.34
	3,210			10,095	16.25%	2,641	5,363	488	18,586	3,360.67	1,594.20
	3,115	1,825		3,210	5.17%	840	1,705	155	5,910	1,068.62	506.92
	2,375			4,940	7.95%	1,292	2,624	239	9,095	1,644.55	780.13
	2,435			2,375	3.82%	621	1,262	115	4,373	790.65	375.06
	3,115	1,825		2,435	3.92%	637	1,294	118	4,483	810.62	384.54
	3,670	2,150		4,940	7.95%	1,292	2,624	239	9,095	1,644.55	780.13
				5,820	9.37%	1,522	3,092	281	10,715	1,937.50	919.10
				-	0.00%	-	-	-	-	-	-
				-	0.00%	-	-	-	-	-	-
				-	0.00%	-	-	-	-	-	-
	4,960	4,930		9,890	15.92%	2,587	5,254	478	18,209	3,292.42	1,561.83
	38,205	22,415	1,500	62,120	100%	16,250	33,000	3,000	114,370	20,680.00	9,810

# of licenses

Travel Costs (based on an estimated 14 trips and a total of 37 days spent on implementation and training at Village Hall)

Grand Total

Annual Support (year 1 free)

20,680

135,050

9,810



Proposal for Software and Services, Presented to...  
Village of Mukwonago, Waukesha County WI

January 10, 2019

Quoted by: Dan J. Burns, CPA



*Thank you for the opportunity to quote our software and services.*

*At BS&A, we are focused on delivering unparalleled service, solutions, support, and customer satisfaction. You'll see this in our literature, but it's not just a marketing strategy... it's a mindset deeply embedded in our DNA. Our goal is to provide such remarkable customer service that our customers feel compelled to remark about it.*

*We are extremely proud of the many long-term customer relationships we have built. Our success is directly correlated with putting the customer first and consistently choosing to **listen**. Delivering unparalleled customer service is the foundation of our company.*



## Cost Summary

*Applications and Annual Service Fee prices based on an approximate population of 7,375 and 2,900 utility customers. Software is licensed for use only by municipality identified on the cover page. If used for additional entities or agencies, please contact BS&A for appropriate pricing. Prices subject to change if the actual count is significantly different than the estimated count.*

### Applications

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#### Financial Management

General Ledger .NET	\$3,670
Accounts Payable .NET	\$3,115
Cash Receipting .NET	\$3,115
Miscellaneous Receivables .NET	\$3,115
Fixed Assets .NET	\$3,115
Utility Billing .NET	\$4,960

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#### Community Development

Building Department .NET	\$4,595
Business License .NET	\$2,570

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#### Property

Animal License .NET	\$1,930
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#### BS&A Online

Community Development	\$3,210
Financials	\$2,435
Public Records Search + Online Bill Pay <i>With use of integrated Credit Card Processor</i>	\$2,375

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Subtotal	\$38,205
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## Data Conversions/Database Setup

Convert existing Banyon to BS&A format:

General Ledger (COA, Balances, Budget, Up to 10 Years Journal Transaction history)	\$2,150
Accounts Payable (Vendors Only)	\$1,825
Cash Receipting (Receipt items, Up to 10 years receipt history)	\$1,825
Business License (per database)	\$2,555
Animal License (Animals, Licenses)	\$1,805
Utility Billing	\$4,930

Database Setup:

Fixed Assets (Setup of Assets, Entry of Value, Accumulated Depreciation)	\$1,825
Miscellaneous Receivables (Setup of Billing Items, Penalties)	\$1,500
Building Department (per database)	\$4,000

Subtotal **\$22,415**

## Custom Import

Custom import from third-party software to populate Building Department database with parcels, properties, and current owners.	\$1,500
Custom Cash Receipting Import/Export for Tax Receipting	\$0
Subtotal	<b>\$1,500</b>

## Project Management and Implementation Planning

### Services include:

- Analyzing customer processes to ensure all critical components are addressed.
- Creating and managing the project schedule in accordance with the customer's existing processes and needs.
- Planning and scheduling training around any planned process changes included in the project plan.
- Modifying the project schedule as needed to accommodate any changes to the scope and requirements of the project that are discovered.
- Providing a central contact between the customer's project leaders, developers, trainers, IT staff, conversion staff, and other resources required throughout the transition period.
- Installing the software and providing IT consultation for network, server, and workstation configuration and requirements.
- Reviewing and addressing the specifications for needed customizations to meet customer needs (when applicable).

**\$16,250**





## Implementation and Training

- \$1,000/day
- Days quoted are estimates; you are billed for actual days used

### Services include:

- Setting up users and user security rights for each application
- Performing final process and procedure review
- Configuring custom settings in each application to fit the needs of the customer
- Setting up application integration and workflow methods
- Onsite verification of converted data for balancing and auditing purposes
- Training and Go-Live

Software Setup	Days:	3		<b>\$3,000</b>
Financial Management Applications	Days:	17		<b>\$17,000</b>
Property Applications	Days:	1		<b>\$1,000</b>
Community Development Applications	Days:	12		<b>\$12,000</b>
		Total:	33	Subtotal <b>\$33,000</b>





## Cost Totals

*Not including Annual Service Fees*

Applications	\$38,205
Data Conversions	\$22,415
Custom Import	\$1,500
Project Management and Implementation Planning	\$16,250
Implementation and Training	\$33,000
<b>Total Proposed</b>	<b>\$111,370</b>
<i>Travel Expenses</i>	<i>\$20,680</i>

### Payment Schedule

- 1<sup>st</sup> Payment: **\$38,665** to be invoiced upon execution of this agreement.  
2<sup>nd</sup> Payment: **\$38,205** to be invoiced at start of training.  
3<sup>rd</sup> Payment: **\$55,180** to be invoiced upon completion of training.





## Annual Service Fees

Unlimited service and support during your first year with the program are included in your purchase price. Thereafter, Service Fees are billed annually. After two (2) years, BS&A Software reserves the right to increase the Annual Service Fee by no more than the yearly Consumers Price Index (CPI).

<b>Financial Management</b>	
General Ledger .NET	\$860
Accounts Payable .NET	\$730
Cash Receipting .NET	\$730
Miscellaneous Receivables .NET	\$730
Fixed Assets .NET	\$730
Utility Billing .NET	\$1,160
<b>Community Development</b>	
Building Department .NET	\$1,075
Business License .NET	\$600
<b>Property</b>	
Animal License .NET	\$450
<b>BS&amp;A Online</b>	
Community Development	\$675
Financials	\$570
Public Records Search	\$1,500
<b>Total Annual Service Fees</b>	<b>\$9,810</b>





## Additional Information

### Program Customization

BS&A strives to provide a flexible solution that can be tailored to each municipality's needs. However, in some cases, custom work may be required. Typical examples include:

- custom payment import/lock box import
- custom OCR scan-line
- custom journal export to an outside accounting system
- custom reports

If you require any custom work, please let us know so that we can better understand the scope of your request and include that in a separate proposal.

### Cash Receipting Hardware

		Quantity		Cost
Epson Series Receipt Printer*	\$750	x	_____ =	\$_____
APG Cash Drawer**	\$250	x	_____ =	\$_____
Honeywell Hyperion 1300g Linear-Imaging Scanner	\$250	x	_____ =	\$_____
Credit Card Reader	\$75	x	_____ =	\$_____

This will add \$\_\_\_\_\_ to the Total Proposed.

*\*IMPORTANT. The receipt printer must be plugged into the USB port on one workstation (not your server). This printer is not to be shared with other workstations. If more than one workstation will be used for receipting, please consider purchasing more than one receipt printer. Ithaca receipt printers are not compatible with Vista or Windows 7. The Epson Series replaces the Ithaca brand and is fully compatible with those operating systems.*

*\*\*If using a previously-purchased receipt printer with the APG Cash Drawer, which brand will be used with the drawer?*

\_\_\_Epson \_\_\_Ithaca \_\_\_Other (please specify)\_\_\_\_\_

Please provide the number of cash drawers that will be hooked up to the printer\_\_\_\_\_

### Additional Training - Building Department Report Designer

Most of our Building Department customers heavily use our Report Designer, which is included free with the program. Report Designer Training is not included in the training quoted on this proposal and is highly recommended. You may attend a class at our office in Bath Township, or we can train at your location. Report Designer Training is typically completed in one day.

Please check the option you are interested in. Report Designer Training will be scheduled after successful implementation and training of your Building Department software.

\_\_\_ Classroom training, \$205/person/day

\_\_\_ On-site training (unlimited attendees), \$1,000/day, travel not included





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## BS&A Online

### Connection Requirements

BS&A Online requires a high-speed internet connection (cable modem or DSL).

### Payment Processing Requirements

Acceptance of online payments requires a contract with one of BS&A's approved Online Credit Card Processing companies. Please visit <https://www.bsasoftware.com/solutions/bsaonline/public-records-search/> for information.

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## Post-Go Live Assistance (Optional)

- Review and consult on streamlining day-to-day activities as they relate to the processes within the BS&A applications
- Assist customers with more detailed and advanced report options available within the BS&A applications
- Revisit commonly-used procedures discussed during training
- As needs arise, provide assistance with bank reconciliations
- \$1,000/day
- Days quoted are estimates; you are billed for actual days used

Post-Go Live for all applications for which training was performed

Days: 3

**\$3,000**





## Acceptance

### Signature constitutes...

1. An order for products and services as quoted  
*Quoted prices do not include Program Customization, training beyond the estimated number of days, or recommended Bank Reconciliation Consultation*
2. Agreement with the proposed Annual Service Fees
3. Acceptance of BS&A's hardware recommendations required to efficiently run the .NET applications

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Signature

Date

**BS&A PLEDGE.** We offer a one-year, risk-reversal pledge on our software. If, up to a year after installation, you are not happy with our software and service, you can return our software for a full refund.

### Returning Accepted Proposal to BS&A

*Please return the entire proposal, with signature/date (this page) and contact information (next page) filled out, by any of these methods:*

Mail: BS&A Software  
14965 Abbey Lane  
Bath, MI 48808

Fax: (517) 641-8960

Email: [dburns@bsasoftware.com](mailto:dburns@bsasoftware.com)

Once your proposal is received, a BS&A representative will contact you to begin the scheduling process.





## Contact Information

If any mailing addresses are PO Boxes, please also provide a Street Address for UPS/Overnight mail.

If additional contacts need to be submitted, please make a copy of this page.

### Key Contact for Implementation and Project Management

Name \_\_\_\_\_ Title \_\_\_\_\_

Phone/Fax \_\_\_\_\_ Email \_\_\_\_\_

Mailing Address \_\_\_\_\_

City, State, Zip \_\_\_\_\_

### IT Contact

Name \_\_\_\_\_ Title \_\_\_\_\_

Phone/Fax \_\_\_\_\_ Email \_\_\_\_\_

Mailing Address \_\_\_\_\_

City, State, Zip \_\_\_\_\_





**Request for Proposal  
Municipal Financial Management Software &  
Implementation  
for  
Village of Mukwonago, WI**

**Prepared by Civic Systems, LLC**



Civic Systems, LLC  
Ten Terrace Court  
P.O. Box 7398  
Madison, WI 53707-7398  
Phone: 888.241.1517  
Fax: 608.249.1050  
[mlaesch@civicsystems.com](mailto:mlaesch@civicsystems.com)  
[www.civicsystems.com](http://www.civicsystems.com)

December 15, 2018



## 11.0 Investment Summary

Civic Systems, LLC  
Ten Terrace Court  
P.O. Box 7398  
Madison, WI 53707-7398

Village of Mukwonago  
115 West Pleasant Street  
Mukwonago, WI 53149

You agree to purchase the software and services detailed below and Civic Systems, LLC agrees to provide them. **Payment can be spread across 3 fiscal years. If the 3 year payment plan is desired there is a \$33,044 down payment with \$33,043 due in Jan 2020 and \$33,043 due in January 2021.** The information provided in this proposal is valid for 180 days from the due date.

### INVESTMENT SUMMARY

License Fees (7 Concurrent)	\$	84,200
Less: Full Suite Discount		(29,470)
Training (Onsite)		15,300
Conversion and Project Management		25,500
On-Site Assistance		<u>3,600</u>
<b>TOTAL INVESTMENT</b>	<b>\$</b>	<b><u>99,130</u></b>
<b>ANNUAL SUPPORT (Software For Life)</b>	<b>\$</b>	<b><u>10,146</u></b>

- \* A formal contract will need to be entered before any software is installed.
- \*\* Software For Life provides you the assurance that you will never have to purchase another upgrade or update from us in the future. The Client will always be on the latest version of the purchased modules as long as they are current with annual support payments.
- \*\*\* Annual Support payments for the modules chosen will be held at the current price for the first 5 years. Annual support costs after year 5 will be based on the CPI not to exceed 5%.

### TRAVEL COSTS

Travel costs are a not-to-exceed and based on Six (6) round trips and 16 overnights.

Mileage (Six 136 mile round trips @ \$0.54/mile)	\$	440
Hotels (16 Overnights @ \$150/Night)		2,400
Meals (16 days at \$35/day)		<u>560</u>
<b>TOTAL</b>	<b>\$</b>	<b><u>3,400</u></b>



## 11.0 Investment Summary Detail

### INVESTMENT SUMMARY – DETAIL

Selected Product Descriptions	License Fee Purchase Price	One-Time Conversion/ Setup and Project Man.	Training and Onsite Assistance Cost/Days	Year One Total w/o Support	Annual Fees*
<b>7 Concurrent User Licenses</b>	\$8,000	\$0	\$0	\$8,000	\$800
<b>Report Writer</b>	Included	Included	Included	Included	Included
<b>Accounts Payable</b>	6,500	1,200	1,200	8,900	1,300
AP ACH	Included	Included	Included	Included	Included
miExcel AP	Included	Included	Included	Included	Included
<b>Accounts Receivable</b>	5,500	900	1,200	7,600	1,100
<b>Animal Licenses</b>	3,300	900	600	4,800	660
<b>Business Licenses</b>	3,300	1,200	600	5,100	660
<b>Building Permits</b>	8,000	2,400	2,400	12,800	1,600
Code Enforcements	3,000	600	600	4,200	600
<b>Cash Receipting</b>	7,200	600	1,200	9,000	1,440
Check Validation	Included	Included	Included	Included	Included
Payment Import	Included	Included	Included	Included	Included
Property Tax Import	Included	1,200	Included	1,200	Included
<b>Fixed Assets</b>	3,300	1,200	600	5,100	660
<b>General Ledger</b>	7,000	3,600	3,600	14,200	1,400
Activity Reporting	Included	Included	Included	Included	Included
Bank Rec	Included	Included	Included	Included	Included
Budgeting	Included	Included	Included	Included	Included
miExcel GL	Included	Included	Included	Included	Included
<b>miViewPoint (Department Head Dashboard)</b>	5,500	600	600	6,700	1,100
miAP Workflow	4,500	600	600	5,700	900
miBudget	2,000	300	300	2,600	400
miUtility Inquiry	--	--	--	--	--
<b>Special Assessments</b>	3,500	1,200	600	5,300	700
<b>Utility Billing</b>	13,600	6,000	4,800	24,400	2,720
Direct Pay	Included	Included	Included	Included	Included
Electronic Read Interface	Included	Included	Included	Included	Included
GIS Interface	--	3,000	--	3,000	--
Online Bill Pay Interface to Preferred Vendor	Included	Included	Included	Included	Included
Service Orders	Included	Included	Included	Included	Included
Splitter	Included	Included	Included	Included	Included
Tax Certification	Included	Included	Included	Included	Included
<b>Less: Full Suite Discount</b>	(29,470)	--	--	(29,470)	(5,894)
<b>TOTALS COSTS</b>	<b><u>54,730</u></b>	<b><u>25,500</u></b>	<b><u>18,900</u></b>	<b><u>99,130</u></b>	<b><u>10,146</u></b>

Modules Included in the Proposed Implementation (Descriptions of each module are listed on pages Section 3.0)



## 11.0 Optional Module Pricing

<b>Selected Product Descriptions</b>	<b>License Fee Purchase Price (After Discount)</b>	<b>One-Time Conversion/ Setup and Project Man.</b>	<b>Training and Onsite Assistance Cost/Days</b>	<b>Year One Total w/o Support</b>	<b>Annual Fees*</b>
<b>Tax Payment Collection</b>	3,900	600	300	4,800	975
<b>Customer Portal (Permits)</b>	4,500	1,800	600	6,900	1,125



## 12.0 Hardware Requirements

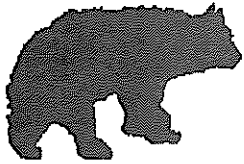
### HARDWARE REQUIREMENTS

#### Network System Requirements – Caselle® Connect – Network

Important! Using servers or workstations that do NOT meet the specified network system requirements may result in unsatisfactory performance and response times. This document lists the minimum hardware and software requirements for installing Connect.

Network Server Operating System	Microsoft® Windows 2008 R2, 2012, 2012 R2 or 2016 Server (64-bit)
Network Server Equipment	Intel® Xeon® Quad-Core Processor 3.0 Ghz or higher   Minimum 16 GB of available RAM   30 GB available disk space for Caselle Connect applications (180 MB) and data   Separate physical hard drive for SQL log file 8-15 K SAS HDD preferred   Color SVGA .28 Monitor   1 GB Ethernet Network Card   1 GB Ethernet Switch   DVDRW Drive <small>All hardware must be Microsoft® certified (request printed certification documents). Intel® Core™ i3, Intel® Celeron®, and AMD Sempron™, and Intel® Pentium processors are NOT recommended.</small>
Database Server Equipment and Operating System	<ul style="list-style-type: none"> <li>• Use the Recommended Network Server. For better performance, increase memory on network server or, use a separate Database Server (same specifications as the Network Server).</li> <li>• Networks with more than ten workstations may require faster processors and/or more memory than the recommended.</li> </ul>
Database Software	Microsoft® SQL Server 2012 (64-bit), 2014 (64-bit) or 2016 (64-bit)
Network Server and Database Server Power Protection	True On-Line UPS, 600 Voltamps minimum with UPS Monitoring card, cable, and software.
Workstation Computer	Intel Core 2 Duo, i5, or i7 (3 GHz or higher)   8 GB of available RAM   30 GB available disk space for Caselle Connect applications (180 MB) and data   LCD Monitor <small>All hardware must be Microsoft® certified (request printed certification documents). Intel® Core™ i3, Intel® Celeron®, and AMD Sempron™, and Intel® Pentium processors are NOT recommended.</small>
Workstation Operating System	Windows 7™, 8™ or 10™ Professional (32-bit or 64-bit).
Workstation Power Protection	UPS/Battery backup unit
Backup System	Network quality system to back up fileserver hard drive on one tape and provide tape read after write verification. Make sure the backup system supports backing up MSSQL Databases. Example: Backup Exec with SQL Agent.
Data File Transfer	DVDRW Drive
Printer	HP Laser Printer or Canon Copiers with PCL or Postscript Drivers
Receipt Printer	Ithaca Series (Impact) 150 and 280 Printers, Ithaca Series (Thermal) 280, Ithaca 9000 Series and 1500 Series Printers
Internet Access	DSL, ISDN, or T1  Explanation: Caselle® Applications require Internet access to download program updates. Using an Internet connection that is slower than 256 Kbps will take significantly longer to download data.
Email	Email that is compatible with Microsoft® Windows.
Network Installer	Microsoft® Certified
Web Services	IIS 7 (Windows Server 2008, 2012)
miViewPoint <small>Only needed if miViewPoint is being installed.</small>	IIS 7 or later   30 GB of available disk space for miViewPoint on the IIS and SQL Servers   Modern Web Browser on any PC using miViewPoint (IE11 or greater, up to date Chrome, or up to date Firefox) If miViewPoint is made internet available a modern mobile browser is required.





# Village of Mukwonago

## AGENDA ITEM REQUEST FORM

Committee/Board:	Village Board
Topic:	Reallocation of Proposed Capital Plan Funds
From:	Ron Bittner
Department:	Public Works
Presenter:	Ron
Date of Committee Action (if required):	
Date of Village Board Action (if required):	1/16/19

### Information

**Subject:** Reallocation or elimination of proposed capital funds.

**Background Information/Rationale:** The 2019 capital plan identified borrowing \$130,000 for repainting the CNN Rail Road bridge at STH 83. Village staff would like to reallocate the funds to a digital monument sign project. Signs at the Fire and Police Departments would be retrofitted with message centers along with the proposed signs at Field Park and Indian Head Beach that are currently identified in the plan for 2019

**Key Issues for Consideration:** Reallocation of proposed bridge painting funds for a digital monument sign project or eliminate the bridge painting project and funding from the capital plan.

**Fiscal Impact (If any):** Reallocate \$130,000 in proposed bridge painting funding or eliminate the funds from the capital plan borrowing.

**Requested Action by Committee/Board:** We are requesting the Village Board approve the reallocation of capital funds designated for the CNN Rail Road/ STH 83 bridge repainting to a Village digital monument sign project.

### Attachments





## Village of Mukwonago

### AGENDA ITEM REQUEST FORM

Committee/Board:	Public Works
Topic:	Scada Upgrades
From:	Dave Brown
Department:	Water and Sewer Utilities
Presenter:	Dave Brown
Date of Committee Action (if required):	1/16/19
Date of Village Board Action (if required):	1/16/19

### Information

**Subject:**

SCADA Radio Upgrades

**Background Information/Rationale:**

Existing radios are out dated and obsolete, antennas and cables have been all tested and are weak, failing and in deteriorating conditions.

**Key Issues for Consideration:**

**When any part of this system fails, the alarms cannot call out which can lead to basement backups, sanitary sewer overflows, water system could run out of water and never be notified till it's too late.**

**Fiscal Impact (If any):**

Water Utility \$16,110.20.20

Sewer Utility \$13,566.20.20

Total \$29,666.40

**Requested Action by Committee/Board:**

Make motion to approve the Terminal-Andrea Inc. and Higgins Tower Service Quotes for the total of \$29,666.40

### Attachments

Terminal Andreas and Higgins Tower Service, Inc. Quotes





November 9, 2018

Mr. Dave Brown  
Village of Mukwonago Water Department and Sewer Department  
1200 Holz Parkway  
Mukwonago, Wisconsin 53149

Dear Mr. Brown,

## 1. BASIS OF PROPOSAL

Labor to replace the existing SCADA radio components.

## 2. WATER

### 2.1. Sites

2.1.1. Remove and replace the radios and existing radio components at the following sites;

- 2.1.1.1. Well #3
- 2.1.1.2. Well #4
- 2.1.1.3. Well #5
- 2.1.1.4. Well #6
- 2.1.1.5. Well #7
- 2.1.1.6. I43 Tower
- 2.1.1.7. Water Plant

### 2.2. Components

- 2.2.1. Supply conduit stubs, cable glands, and Ethernet switches for the well sites.
- 2.2.2. Radio equipment by others.

Description	Price
Terminal-Andrae Water Site Price	\$10,327.00
TEN THOUSAND THREE HUNDRED TWENTY-SEVEN DOLLARS and 00/100	

## 3. WASTE WATER

### 3.1. Sites

3.1.1. Remove and replace the radios and existing radio components at the following sites;

- 3.1.1.1. Fox River
- 3.1.1.2. River Park
- 3.1.1.3. Black Bear / The Glenn
- 3.1.1.4. Atkinson



3.1.1.5. Waste Water Plant

**3.2. Components**

3.2.1. Supply conduit stubs, cable glands, and Ethernet switches for the well sites.

3.2.2. Radio equipment by others.

Description	Price
Terminal-Andrae Water Site Price	\$7,773.00
SEVEN THOUSAND SEVEN HUNDRED SEVENTY-THREE DOLLARS and 00/100	

**4. TOWER**

**4.1. Components**

4.1.1. Provide and install a new radio cabinet and ground bar. Extent new circuit from the existing panel for the new SCADA cabinet. Install radio equipment in new enclosure.

4.1.2. Radio equipment by others.

Description	Price
Terminal-Andrae Firm Price	\$5,690.00
FIVE THOUSAND SIX HUNDRED NINTY DOLLARS and 00/100	

**5. SCHEDULE**

Regular work week (7:00 AM to 3:30 PM Mon-Fri).

Should there be any questions, please do not hesitate to contact me at 414-935-5424.

Respectively Submitted:

**Terminal-Andrae Inc.**



John W Taylor  
Vice President

Please sign and return duplicate copy

Accepted for purchaser date \_\_\_\_/\_\_\_\_/\_\_\_\_

By: \_\_\_\_\_

Firm: \_\_\_\_\_

JWT/mgs  
q2018429

This proposal may be withdrawn if not accepted within 30 days from the date listed above.





REVSIED X2

December 18, 2018

Terminal Andrae  
Attn: John Taylor

Via: [jtaylor@terminalandae.com](mailto:jtaylor@terminalandae.com)

**RE: REVISED Mukwonago WT – New Installation on Veterans Way WT (includes standoff brackets, hose clamps and rubber strips (to protect interior paint coatings) to support 7/8" hangers and coax up the 3" O.D. filler pipe and Removal of existing lightning rod on top of existing vertical pipe mast and add longer lightning rod to better protect new WHIP antenna which will be mounted approximately 4 ft. to 5 ft. away on existing corral)**

Dear Mr. Taylor:

Please consider the sum of \$ 5,876.40 not including tax in regards to the installation of one (1) new run of 7/8" foam core coax to end at the base of the WT; installation of one (1) new OMNI antenna on the rail at the Veterans Way WT, located at 616 Veterans Way, Mukwonago.

At the site visit today, we noted the following items:

1. HTS will need to repel to reach 3" O.D. pipe to install 7/8" hangers and standoff brackets and hose clamps w/rubber
2. All top port holes are occupied. It appears that we could squeeze a 1/2" jumper up through one (1) 2-1/2" Diameter entry port (no existing boot for weather proofing exists). As this would share a hole with an existing cell carrier we will need permission to feed through this opening. This will require the 1/2" jumper to be approximately 35 ft. long – will need to verify that this will work with your antenna.
3. The 3" O.D. pipe does not continue up the dry riser shaft. It ends at the upper condensation/bottom of ball. We will need to either continue up the dry riser shaft with the 7/8" coax attaching to existing 1" O.D. lighting conduit or the 6-1/2" O.D. diameter fill tube.
4. While there today, noticed one (1) top expansion ring (to support coax) in top of dry riser shaft loose and hanging, missing hardware. (Photos 3004 and 3005)

This REVSIED X2 bid proposal includes the following:

1. Replacement of one (1) existing lightning rod
2. Location for antenna/mount to be located on roof top corral

6620 W. Mitchell Street • West Allis, WI 53214 • 414.774.1971 • 414.453.4511 Fax





**HIGGINS**  
**TOWER SERVICE, INC.**

**EST. 1971**

3. Routing of coax inside WT (up existing 3" O.D. fill pipe with hangers, standoff kits including rubber strips) **\*\*NOTE\*\* The 3" O.D. fill pipe does not continue up the dry riser shaft. It ends at the upper condensation/bottom of the ball. We will need to either continue up the dry riser shaft with the 7/8" coax attaching to existing 1" O.D. lighting conduit or the 6-1/2" O.D. diameter fill pipe. To be decided by Water Utility, Village of Mukwonago.**
4. All top port holes are occupied. It appears that we could squeeze a 1/2" jumper up through one (1) 2-1/2" Diameter entry port (no existing boot for weather proofing exists). As this would share a hole with an existing cell carrier we will need permission to feed through this opening. This will require the 1/2" jumper to be approximately 35 ft. long – will need to verify that this will work with your antenna.
5. Location for ground kits on 7/8" coax and attachment to WT to existing buss bar or angle adaptors
6. WT top for coax routing into WT using angle adaptors and hangers  
**\*\*NOTE\*\* Rubber to be installed under all hanger attachments to protect existing WT paint coating**

Customer will provide the following:

1. One (1) OMNI antenna
2. Mounting Hardware including mast pipe
3. One (1) run of 7/8" foam core coax
4. Two (2) Ground kits
5. Jumpers (one of approximately 35 ft. in length)
6. Connectors
7. Two (2) Hoist Grips
8. Two (2) Weather Proof Kits
9. WT Penetrations, if required

HTS Will provide the following materials

1. Snap-in Hangers for one (1) run of 7/8" foam core coax
2. Standoff kits to fit 2-1/2" O.D.
3. Rubber strips
4. Angle Adaptors
5. Pipe to angle clamp kit
6. 6 ft. Lightning rod

This bid proposal does not include any of the following:





**HIGGINS**  
**TOWER SERVICE, INC.**

**EST. 1971**

1. Entry pipe installed on top of WT or a condensation deck opening or for routing of coax, if required
2. Water Tank penetrations
3. All other materials including but not limited to the items listed under the Customer will provide the following sections.
4. Assuming the round member adaptors and hangers will continue up the filler pipe in the dry riser except as noted in previous paragraphs and to be installed as per the Water Utility's preference.
5. This bid proposal does not include any costs for a 3<sup>rd</sup> party inspection, if required

All work to be completed during normal business hours.

This bid proposal is valid for 60 days.

Thank you for this opportunity to be of service. If you have any questions or comments, please contact our office.

Sincerely,

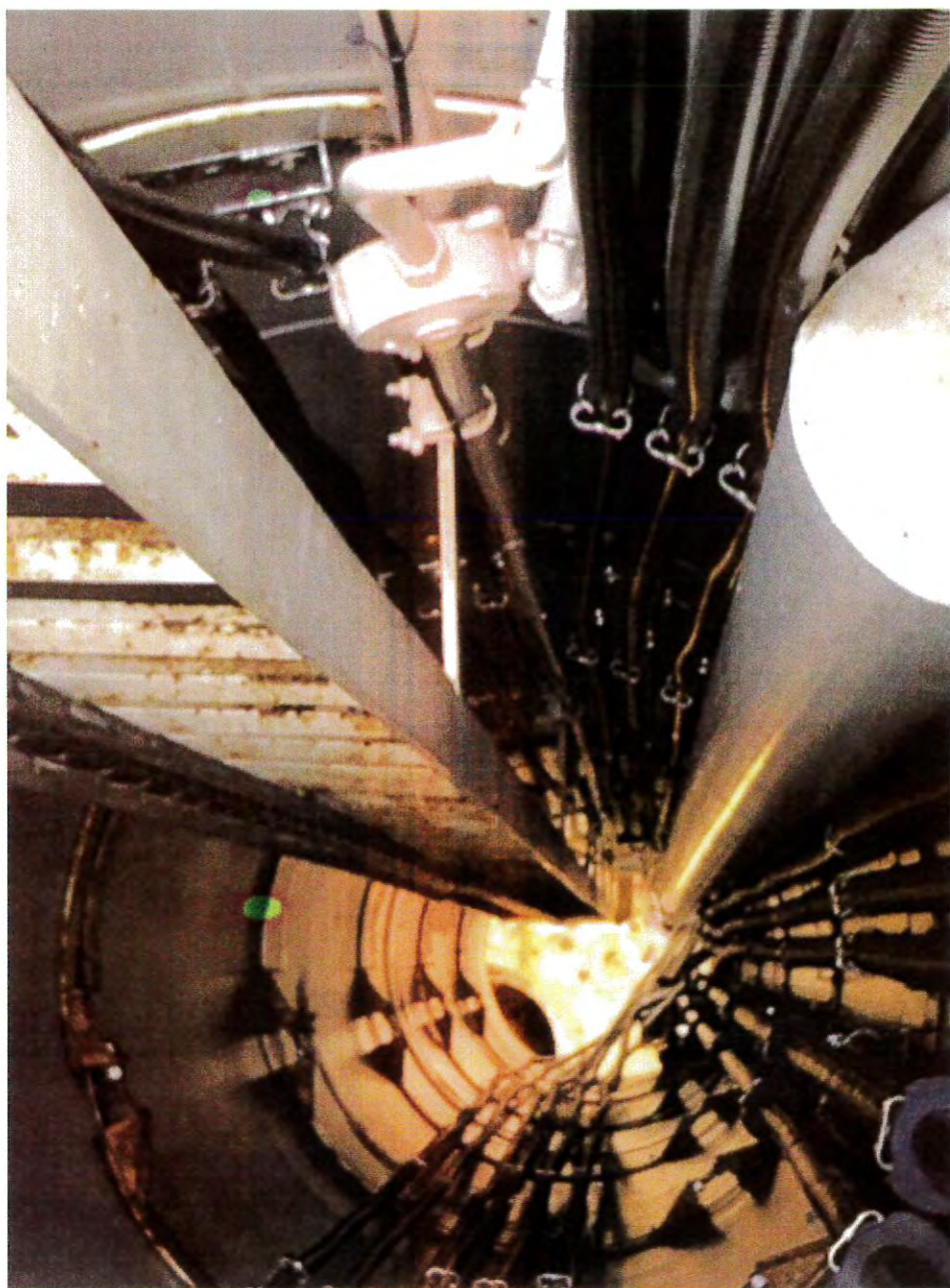
*Collette Klenz*

Collette Klenz  
Higgins Tower Service Inc.  
[collette@higginstower.com](mailto:collette@higginstower.com)













## Village of Mukwonago

### AGENDA ITEM REQUEST FORM

Committee/Board:	Public Works
Topic:	WWTF Circuit Breaker Replacement
From:	Dave Brown
Department:	Sewer Utility
Presenter:	Dave Brown
Date of Committee Action (if required):	1/16/19
Date of Village Board Action (if required):	1/16/19

### Information

**Subject:**

WWTF Circuit Breaker Replacement

**Background Information/Rationale:**

Existing breaker are obsolete and failing.

**Key Issues for Consideration:**

When failures happen we lose power to major processes of the treatment plant and can cause sanitary sewer backups and overflows.

**Fiscal Impact (If any):**

\$19,245.00

**Requested Action by Committee/Board:**

Make motion to approve quote from Terminal Andrea for the sum of \$19,245.00

### Attachments

Terminal Andrea quote





November 9, 2018

Village of Mukwonago  
440 River Crest Court  
Mukwonago, WI 53149

Attention: David Brown

**RE: Mukwonago Waste Water Treatment Circuit Breaker Replacement**

Dear David,

**Circuit Breaker Replacement**

- Replace (1) existing 600A circuit breaker with new matching breaker and mounting kit.
- Replace (3) existing 200A circuit breakers with new matching breakers and mounting kits.
- Replace (2) existing 300A circuit breakers with new matching breakers and mounting kits.
- Replace (1) existing 400A circuit breaker with new matching breaker and mounting kit.

Materials Cost	\$17,153.00
Labor Cost	\$ 2,092.00
<b><u>Project Total</u></b>	<b><u>\$19,245.00</u></b>

If you have any other questions, please feel free to reach out by either phone or email.

Respectively Submitted:  
**Terminal-Andrae Inc.**

Christopher M. Ward  
Project Manager

CMW/mgs  
q2018430