

Village of Mukwonago
PLAN COMMISSION MEETING
Notice of Meeting and Agenda
Tuesday, June 11, 2019

Time: **6:30 p.m.**
Place: **Mukwonago Municipal Building/Board Room, 440 River Crest Court**

1. Call to Order
2. Roll Call
3. Approval of minutes for the May 14, 2019 special and regular meetings
4. New Business
Discussion and Possible Action on the Following Items:
 - A. Recommendation to the Village Board regarding Site Plan and Architectural Review for Malcom Drilling Company, Part of Parcel #A477300002; (Brady Frederick, PE, agent), applicant
 - B. Recommendation to the Village Board regarding Site Plan and Architectural Review for Touchpad Electronics, Part of Parcel #A477300002; (Matt Sween, agent), applicant
 - C. Recommendation to the Village Board to Amend the Site Plan for DN Greenwald ProHealth Facility Additional Parking Submittal; 240 Maple Ave; MUKV 2016-993-002
5. Adjournment

It is possible that members of, and possibly a quorum of, members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note that, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request this service, contact the Clerk's Office, 440 River Crest Court, (262) 363-6420, Option 4.



Village of Mukwonago

Office of the Village Planner

440 River Crest Court, Mukwonago, Wisconsin 53149
(262) 363-6420 x.2111

www.villageofmukwonago.com
planner@villageofmukwonago.com

Date: June 5, 2019

To: Fred Winchowky, Village President
Plan Commissioners

Cc: John Weidl, Village Administrator (via email); Judy Taubert, Village Clerk (via email); Bob Harley, Supervisor of Inspections (via email); Mark Blum, Village Attorney (via email); Jerad Wegner, Village Engineer (via email); Kevin Schmidt, Police Chief (via email); Jeff Stein, Fire Chief (via email); Ron Bittner, Public Works Director (via email); Paul Grzeszczak, agent for applicant (via email)

From: Tim Schwecke, AICP; Interim Village Planner

Subject: Malcom Drilling Site Plan / Architectural Review

Meeting: June 11, 2019 Plan Commission meeting

Property location Hill Court (Part of Outlot 1 of CSM 4773)

Current zoning M-4 (Medium - Heavy Industrial)

General description Malcolm Drilling is proposing a 18,994 square foot industrial building with a potential expansion for a total of 23,844 square feet. The building will be used for administrative offices, storage, equipment repair and staging, and related operations.

Three accessory buildings may be constructed in the future. Those buildings will be reviewed at the time of submittal.

Parcel The subject property is currently part of a larger parcel in the industrial park. A certified survey map (CSM) will be prepared to create the parcel and submitted for village review. The proposed parcel will be about 9.63 acres.

Dimensional standards The proposed building complies with all relevant dimensional standards, including building height, setbacks and coverage.

Architectural review The exterior walls will consist of pre-cast concrete wall panels, with tinted window glazing in an aluminum window framing. The paint scheme uses two main colors and two accent colors. The proposed materials comply with the standards in the M-4 district.

Parking Two parking areas are planned: 37 stalls in front of the building and 16 stalls within the fenced area. Additional parking may be required as part of the building expansion.

As set forth in s. 100-402(f)(5) of the zoning code, all vehicle use areas with parking for 20 or more vehicles on a subject property, must be constructed with full concrete and gutter surrounding the vehicle use areas (both driveways and parking areas). The plan should be revised to meet this standard.

Outdoor storage As depicted in their application materials, there is a large storage area for equipment and materials. Some of the machinery will be kept in a vertical position (booms and the like). Given the size of some of the machinery, repairs will also be done in the yard. Shipping containers will also be

used for storage and staging equipment and will be stored in this area. The applicant will need to describe where the containers will be stored and if they will be stacked.

A portion of the yard is intended for long-term overflow storage. It is about 3,000 square feet and is located in the northeast corner of the yard. Given the size of the area and low number of vehicle trips over the area, dust should not be a concern. However, The Plan Commission will need to determine if this area should be hard-surfaced or not.

Outdoor lighting Parking lots will be lighted with a series of light poles with an overall height of 23 feet. (The maximum height is 25 feet.) As set forth in s. 100-601(e) of the zoning code, lighting levels shall not exceed zero footcandle at the lot line. The photometric plan submitted with the application shows compliance with that standard.

Landscaping plan Staff has reviewed the landscaping plan and has determined it complies with the landscaping requirements. It should be noted the plans call for a significant vegetative screening with conifers along the north north/east lot lines. In earlier reviews the previous Village Planner, stated that a berm would be required along the northeast lot line. That has not been addressed. The Plan Commission will need to determine if a berm is needed to provide additional screening of the site.

Fencing A 6-foot tall fence will be placed around the perimeter of the building and the yard.

Stormwater management The developer is proposing an onsite stormwater basin. It appears that a portion of the site is draining off-site (i.e., not directed to basin). The Village Engineer has conducted a preliminary review and has determined the plans, as submitted, can meet the village's requirements (letter attached).

Interdepartmental Review Conditions of approval are incorporated in the resolution to address comments made by village departments, including fire, police, public works, and utilities. Below is a summary of comments:

1. A fire department connection (FDC) as approved by the fire chief is required.
2. Will they install an 8-inch lead to the building?
3. Need an additional fire hydrant(s) to comply with a maximum distance of 300 feet between hydrants.
4. KNOX Box location to be approved by the fire chief.
5. A sampling manhole is required at the lot line per the utility department.
6. All private hydrants must be painted yellow to differentiate from public hydrants (red).
7. The sidewalk and apron should be constructed to accommodate the oversized vehicles (i.e., thicker concrete).

Public notice Aside from being included on the meeting agenda, no other public notice is required.

Potential motion Recommend to the Village Board the approval of the proposed project as set forth in the draft Resolution 2019-30

Attachments:

1. Correspondence from Peter Gesch (village engineer) dated May 30, 2019
2. Application materials
3. Draft Resolution 2019-30

May 30, 2019

Mr. Tim Schwecke
Interim Planning/Zoning Administrator
Village of Mukwonago
P.O. Box 206
Mukwonago, WI 53149

Re: Proposed Malcolm Drilling
Preliminary Storm Water Review

Dear Mr. Schwecke:

We have reviewed the preliminary storm water submittal for the proposed Malcolm Drilling Development. A plan commission submittal was submitted and is dated May 9, 2019 and was received in our office on May 16, 2019. This review is required by the Village Storm Water Ordinance to determine if early site planning has accounted for the requirements of the Ordinance and regional storm water management plan. The intent is to avoid large changes to developments after the Planning Commission and Village Board have approved the concept and site plan.

We believe the plans, as submitted, can meet the requirements of the Village Ordinance and regional storm water management plan and as such this letter will serve as the preliminary storm water review letter as detailed in 34-107(b) of the Village Ordinance. When a construction set is submitted to us, we will perform a detailed technical review of the documents. A few clarification should be made when the construction set is submitted:

1. Storm sewer and inlet capacity analysis computation should be included on the proposed utility plan.
2. A narrative should be submitted detailing how any spills or leaks of hydraulic fluid, gas, or oil will be handled on the site so that they never make it to the regional pond.

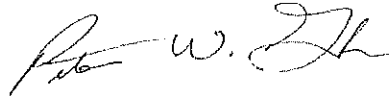
If the Planning Commission and the Village Board would choose to approve these documents, we would request that you make approvals subject to our detailed technical review of the construction drawings for the requirements of the Department Heads, Village Ordinances and regional storm water management plan. We also request that the permits to allow construction be withheld until this technical review is complete.

Mr. Tim Schwecke
Village of Mukwonago
May 30, 2019
Page 2

If you or any staff member should have any questions regarding this, please feel free to contact me at (262) 542-5733.

Very truly yours,

RUEKERT & MIELKE, INC.



Peter W. Gesch
Project Engineer
pgesch@ruekert-mielke.com

PWG:pwg

cc: Fred Winchowky, Village of Mukwonago
John Weidl, Village of Mukwonago
Bob Harley, Village of Mukwonago
Mark G. Blum, Village of Mukwonago
Dave Brown, Village of Mukwonago
Ron Bittner, Village of Mukwonago
Domenico Ferrante, AIA, Briohn Design Group LLC
Paul Grzeszczak, AIA, Briohn Design Group LLC
Christopher Jackson, P.E., CJ Engineering
Peyton Paquin, Briohn Building Corporation
Jerad J. Wegner, P.E., Ruekert & Mielke, Inc.
File

DESCRIPTION OF PROPOSAL FOR A NEW 16,960 SQUARE FOOT SINGLE USER BUILDING TO BE CONSTRUCTED FOR MALCOLM DRILLING COMPANY, ON HILL COURT (IN BEAR CORPORATE CENTER BUSINESS PARK IN THE VILLAGE OF MUKWONAGO)

May 9, 2019

Paul Grzeszczak of Briohn Design Group, LLC
Domenico Ferrante of Briohn Design Group, LLC
Peyton Paquin of Briohn Building Corporation
3885 N. Brookfield Road, Suite 200
Brookfield, Wisconsin 53045

SUBMITTED: On behalf of the building owner/occupant, Malcolm Drilling Company:

BRIOHN is submitting this “Description of Proposal” on behalf of Malcolm Drilling Company. Briohn Design Group LLC and Briohn Building Corp are acting as the representative applicant. The Village of Mukwonago Plan Commission Application is included, as well as supporting documents required by the Village of Mukwonago, which includes site plan, building plan, lighting plan with fixture cut sheets, utility plan, site grading plan, storm water management plan (as required) and detailed landscaping plan.

The Description of the Proposal and the Plan of Operation:

Malcolm Drilling Company will purchase a 9.63 acre parcel at the end of Hill Court, to construct a 16,960 sf industrial building (plus potential 3,000sf mezzanine space), and allow for the potential of future additions to make the total building size approximately 25,000 square feet. There is also the likelihood of outbuildings to be built on site in the future (see approximate locations on site plan). Malcolm Drilling Company is proposing this location as their Midwest District headquarters. This will be an operations and maintenance facility. The office area will serve as administrative headquarters for the region, and the shop and yard areas will be dedicated to storage, maintenance, and repair of heavy construction equipment and the materials needed to support these activities. See attached supplemental document from the owner (“Proposed Land Use Activities For Midwest District Office and Yard Facility – TID #5 Business Park, Mukwonago, WI”) for plan of operations information. This owner-provided document has previously been shared with Village officials during discussions for placing Malcolm Drilling on this particular site.

The facility will be constructed of painted pre-cast concrete insulated wall panels for all four sides of the proposed building, with insulated tinted glazing, and clear anodized aluminum window framing. The paint scheme uses two main colors and two accent colors, and provides canopy accents at the office area. There is a raised parapet at the front façade, to provide an accent wall at the entry and provide screening of rooftop mechanical units from the street.

Malcolm Drilling is primarily a one shift operation, from 6am to 6pm Monday through Saturday. There will be occasional night and Sunday work on an as needed basis. Some trucks will depart at night or weekends due to specific project requirements. At initial occupancy, there are anticipated to be 21 office employees. In the shop and yard, there will be 4 permanent staff on site, with 20

additional employees who are often off-site and project-based. Visitor access is very limited. We have included 52 marked car parking stalls, to meet full staffing count and ample visitor spaces. Additional non-striped areas are available for parking in the paved yard area, and could be striped as needed as additional staff is added. The facility has large areas of paved yard that can be used for future car parking stalls to meet the village requirements.

We respectfully ask the Village of Mukwonago to review and evaluate our proposal including the submitted drawings and other support materials. We look forward to your approval and our continued mutual success, and appreciate the assistance provided and afforded by the Village of Mukwonago in the approval process.

Please contact us if you have any questions or need additional information.

Sincerely,
Paul Grzeszczak, AIA
Director of Architecture, Briohn Design Group LLC



MALCOLM

Look to the Blue

Proposed Land Use Activities For Midwest District Office and Yard Facility

TID #5 Business Park Mukwonago, WI

Prepared By:
Malcolm Drilling Company, Inc.
543 AJ Allen Circle Suite B
Wales, WI 53183

May 2019



MALCOLM

Look to the Blue

This report details the activities planned for the proposed new Malcolm Drilling operations and equipment facility in Mukwonago, Wisconsin. In general, the property will be used for the storage, maintenance, and repair of heavy construction equipment and will serve as the administrative headquarters for the Midwest region. In addition to the equipment facility, the site will be used to store construction materials and fabricate drilling equipment. Maintenance and fabrication activities will take place both within enclosed structures and outdoors within the site. Specific activities that will take place within the boundaries of the site are detailed in the following list.

An office will be constructed to house the administrative and project management personnel for the District.

Personnel working in the office will engage in the following specific activities:

- Day to day management of construction projects within the District
- Accounting and general administrative functions
- Business development and marketing
- Estimating and pursuing new project opportunities
- Managing the equipment storage and maintenance facilities that will be constructed on the property
- Engineering design work
- Parking areas for staff automobiles will be located on the site

An equipment maintenance shop will be constructed and used for the following activities:

- Routine maintenance of both light vehicles and heavy construction equipment including:
 - Excavation equipment
 - Specialty drilling equipment and attachments
 - Vibratory pile installation equipment
 - Mobile and crawler cranes
 - Concrete pumping and conveying equipment
 - Grout mixing plants and silos
 - Small equipment including compressors, generators, water pumps, etc.
 - Small construction tools
 - Automobiles and trucks
 - Repair, testing, and calibration of hydraulic jacks
- Light fabrication operations that will include:
 - Welding, cutting and brazing
 - Operation of electrical and air powered hand tools
 - Pressure washing
 - Applying industrial sealants and coatings
 - Utilizing cranes, derricks and forklifts to lift and position materials, supplies and equipment
- Storage of equipment and materials including:
 - Automobiles and light trucks
 - Heavy duty trucks, semi-trucks, and tractor trailers
 - Construction watercraft including small boats and barges
 - Petroleum products and industrial lubricants in quantities consistent with a construction equipment maintenance and repair facility. Petroleum products will be stored indoors, above ground, and will have proper containment devices

- Spare parts for automobiles, trucks and heavy construction equipment
- Miscellaneous nuts, bolts, fasteners, pipe and pipe fittings
- Construction materials including steel, plastics, wood, and concrete admixtures
- Surveying equipment
- Operating and maintenance manuals, inspection reports, forms, records, and design drawings
- Welding, cutting and brazing equipment including consumable materials, oxygen, and acetylene
- Consumable wear parts
- Assembly, testing and troubleshooting of cranes, specialty drilling equipment and other miscellaneous construction equipment and vehicles

Various outbuildings, canopy and shed structures may be constructed to protect vehicles, construction equipment and materials from the elements.

- Shipping containers will be utilized for the storage of small equipment, parts and construction materials

Open air area of the site will be used for storage and maintenance, repair, and fabrication activities including:

- Maintenance and repair of automobiles, light trucks and heavy trucks
- Maintenance and repair of heavy construction equipment and specialty drilling equipment and attachments
- Fabrication and repair of specialty drilling equipment including:
 - Augers,
 - Rock drilling tools such as core barrels, cleanout buckets and rock chisels
 - Pneumatic drilling equipment (cluster drills and down the hole hammers)
 - Small and large diameter casing in many different lengths
 - Kelly bars
 - Deep soil mixing tools and cutter soil mixing tools
 - Vibratory pile installation equipment
- Fabrication of various materials used on construction projects including:
 - Load testing frames
 - Beam and pipe bracing materials
 - Sheet piles
 - Grout pipes
 - Concrete slickline pipes
 - Miscellaneous special metal fabrications
- Assembly, testing, troubleshooting, and tear down of heavy construction equipment including:
 - Mobile and crawler cranes
 - Specialty drilling equipment including:
 - Fixed mast type drill rigs
 - Drilling lead systems
 - Augers and other miscellaneous drilling equipment
 - Bulk material silos
 - Grout mixing plants
 - Concrete and grout pumps
 - Crawler and air-track drills
 - Vibratory pile installation equipment
- Fueling and lubricating construction equipment
- Pressure washing and cleaning construction equipment and materials
- Welding, cutting and brazing

- Operation of electrical and air powered hand tools
- Applying industrial sealants and coatings
- Utilizing cranes, derricks and forklifts to lift and position materials, supplies and equipment
- Storage of equipment and materials including:
 - Excavation equipment
 - Specialty drilling equipment and attachments
 - Mobile and crawler cranes
 - Concrete pumping and conveying equipment
 - Grout mixing plants and silos
 - Small equipment including compressors, generators, water pumps, etc.
 - Small construction tools
 - Automobiles and trucks
 - Drilling tools and metal casings in various diameters and lengths
 - Shipping containers
 - Miscellaneous bulk construction materials required for business operations including:
 - Structural Steel
 - Concrete reinforcing steel
 - Sheet piles
 - Various steel piling products including H-piles and pipe piles
 - Timber Products
 - Metal pipe
 - Plastics
 - Concrete products and admixtures

The facility will serve as a shipping and receiving point for equipment and materials. Shipping and receiving activities will include:

- Loading and unloading of delivery trucks and trailers using cranes and forklifts
- Preparing and staging materials for delivery to jobsites
- Packaging of materials for shipment

Pictures of Proposed Land Use:



Outside Storage of Drilling Equipment and Shipping Containers -
Hayward, CA



Outside Storage of Grout Silo and Equipment Components
Kent, WA



Outside Storage of Drilling Equipment – Kent, WA



Outside Storage of Drilling Equipment - Kent, WA



Outside Storage of Structural Steel and Shipping Containers – Hayward, CA



Outside Storage of Drilling Equipment - Kent, WA



Outside Storage of Equipment and Metal Casings - Hayward, CA



Outside Storage of Drilling Tools - Hayward, CA



Outside Storage of Metal Casings and Equipment Components - Hayward, CA



Outside Storage of Drilling Equipment - Hayward, CA



Specialty Drilling Equipment - Hayward, CA



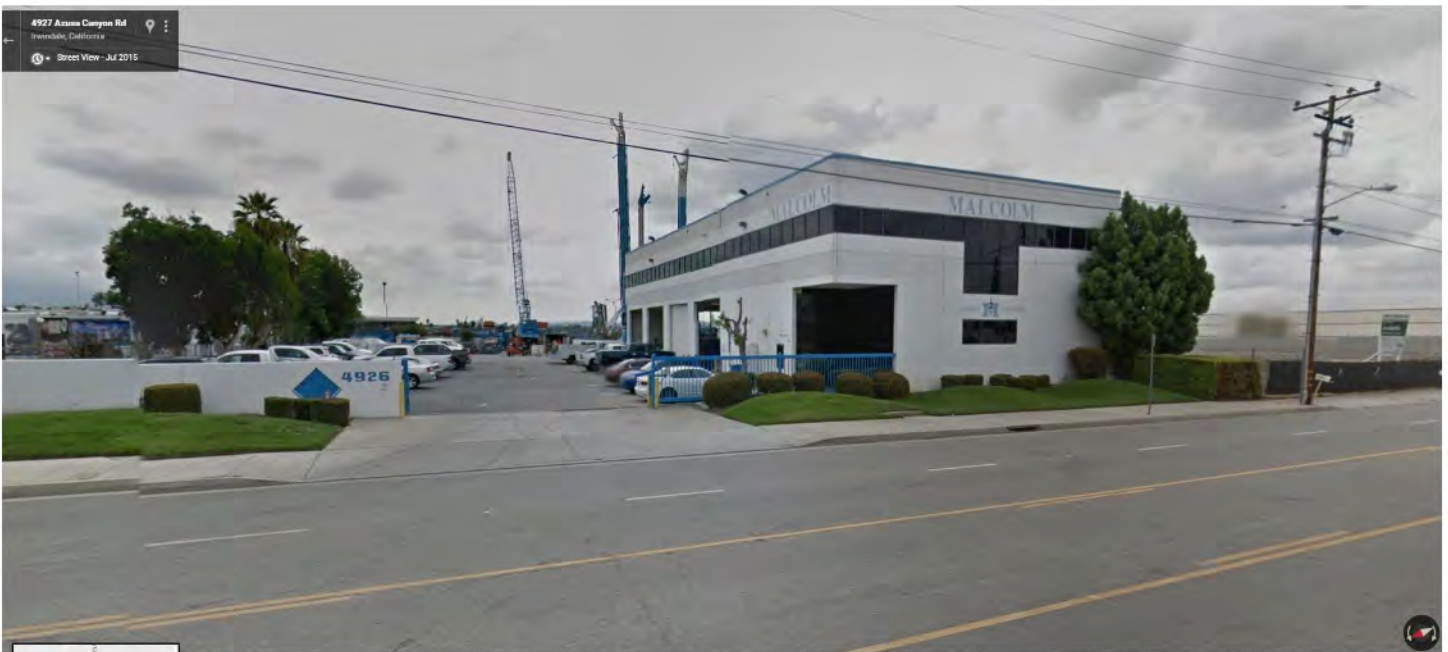
Outside Welding and Fabrication of Drill Tooling- Hayward, CA



Storage and Fabrication of Shipping Container - Hayward, CA



Google Street View of Malcolm Facility in Hayward, CA



Google Street View of Malcolm Facility in Irwindale, CA



Street View of Malcolm Facility in Drain, OR



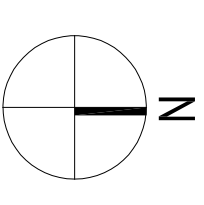
Google Street View of Malcolm Facility in Salt Lake City, UT



View of Malcolm Facility in Kent, WA



SITE PLAN
Scale: 1" = 30'-0"



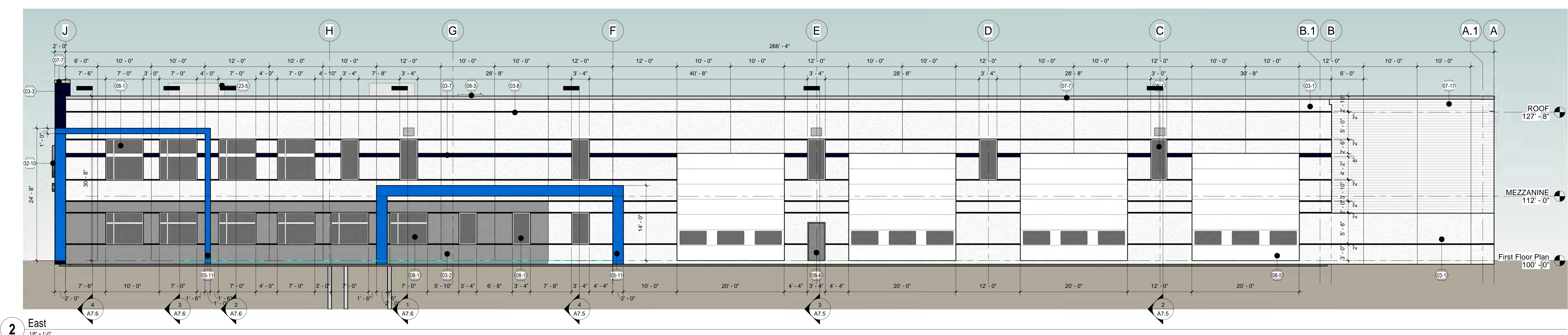
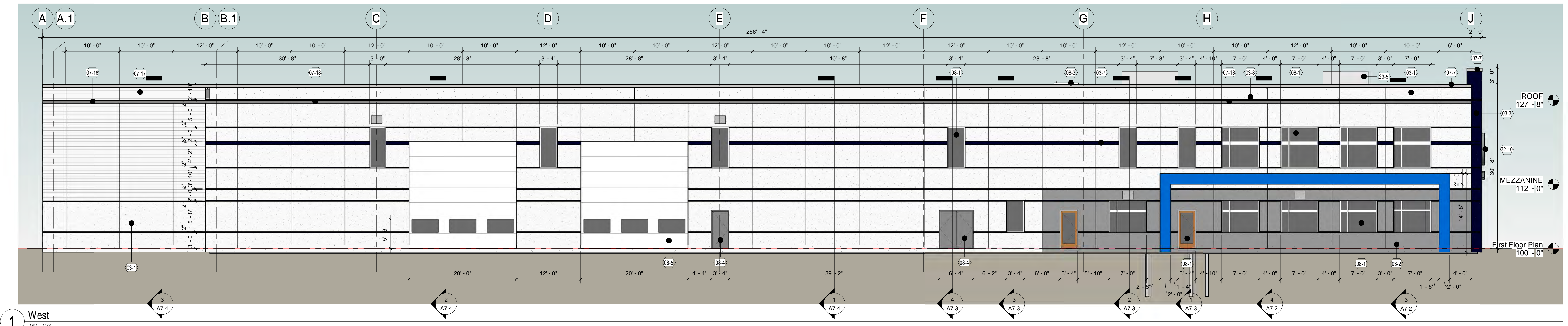
SHEET TITLE
EXTERIOR ELEVATIONS

MALCOLM DRILLING
 PROPOSED NEW FACILITY AT:
 HILL COURT
 MUKWONAGO, WI

PROGRESS SET
 NOT FOR CONSTRUCTION

JOB: 3175
 DRAWN: PG/TT
 CHECKED: DF/PP/PG
 DATE: 05-22-2019
 SHEET:

A5.1



THE PROPOSED COMMERCIAL NON-RESIDENTIAL BUILDING TO BE LOCATED IN CLIMATE ZONE 6 (PER IECC SECTION 502) PER TABLE 502.2 (1) BUILDING ENVELOPE REQUIREMENTS - OPAQUE ASSEMBLIES.

ROOFS - PROPOSED ROOF INSULATION ENTIRELY ABOVE DECK R-20ci REQUIRED R-25ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

WALLS ABOVE GRADE PROPOSED EXTERIOR WALL - MASS (PRECAST INSULATED CONCRETE) R-13.3ci REQUIRED R-13.37ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

SLAB-ON-GRADE FLOORS - PROPOSED UNHEATED SLABS R-10 FOR 24 INCHES BELOW REQUIRED R-10 FOR 24 INCHES OR MORE PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

PER TABLE 502.3 BUILDING ENVELOPE REQUIREMENTS: FENESTRATION VERTICAL FENESTRATION (40% MAXIMUM ALLOWED ABOVE GRADE): 13.45% ACTUAL PROVIDED. REQUIRED U-FACTOR .40; ACTUAL PROVIDED .29 AND SHGC .41

PER 2015 IECC:

C402.5 AIR LEAKAGE THERMAL ENVELOPE. PROPOSED BUILDING COMPLIES.

C402.5.1 AIR BARRIER PER C402.5.1.2.1 MATERIALS SEE EXCEPTION 13 CAST-IN-PLACE AND PRECAST CONCRETE. PROPOSED BUILDING COMPLIES.

C402.5.2 AIR LEAKAGE FENESTRATION SEE EXCEPTION 1. FIELD FABRICATED FENESTRATION ASSEMBLIES THAT ARE SEALED IN ACCORDANCE WITH SECTION C402.5.1. PROPOSED BUILDING COMPLIES.

C402.5.3 ROOMS CONTAINING FUEL - BURNING APPLIANCES EXCEPTION 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO OUTSIDE. PROPOSED BUILDING COMPLIES.

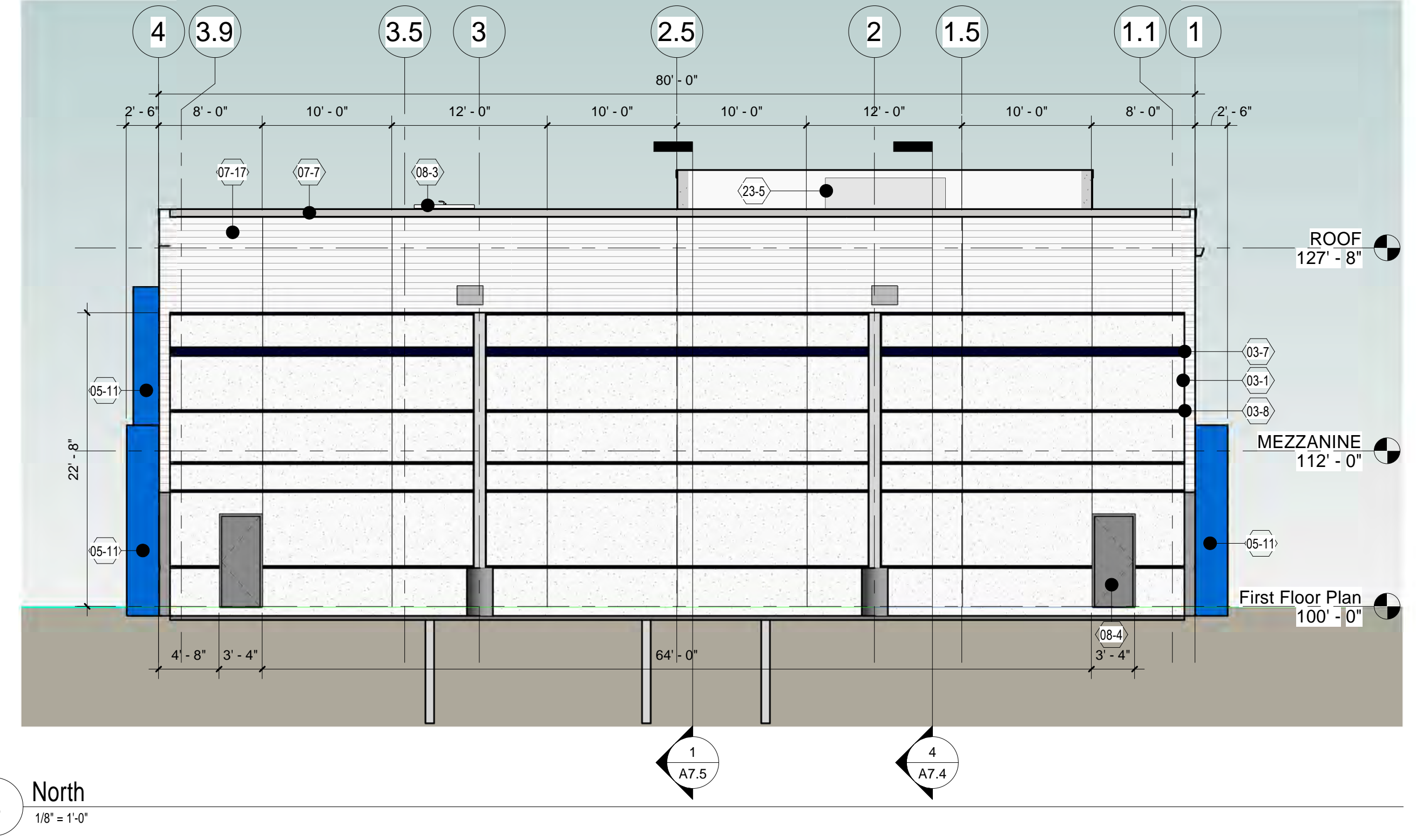
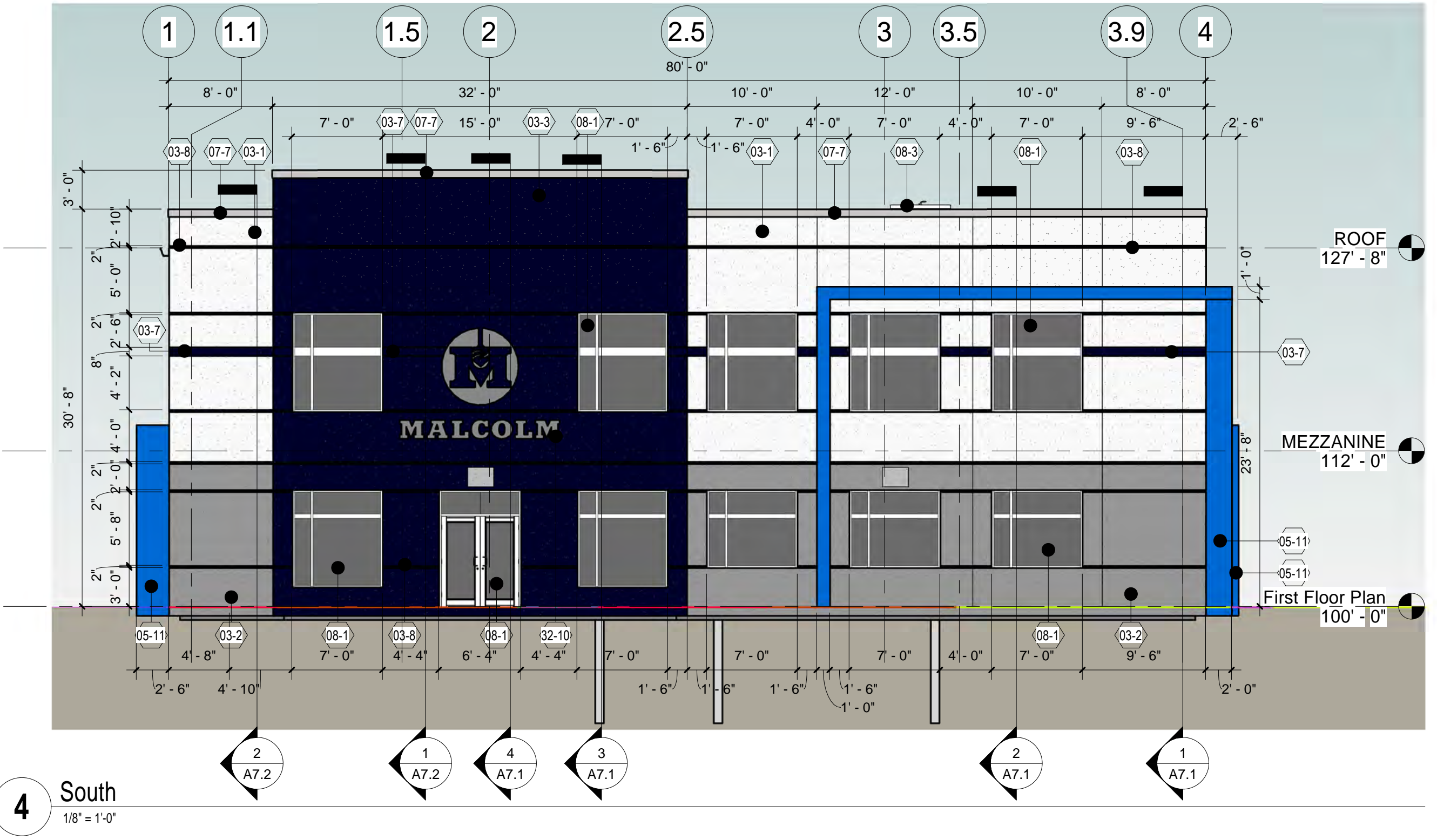
C402.5.4 DOORS AND ACCESS OPENINGS TO SHAFTS, CHUTES, STAIRWAYS AND ELEVATOR LOBBIES. NOT APPLICABLE TO PROPOSED BUILDING.

C402.5.5 AIR INTAKES, EXHAUST OPENINGS, STAIRWAYS AND SHAFTS. IF REQUIRED TO BE DAMPERED. PROPOSED BUILDING COMPLIES.

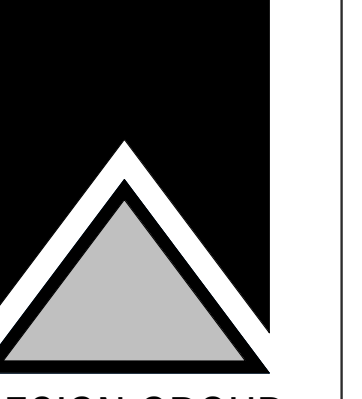
C402.5.6 LOADING DOCK WEATHER SEALS TO BE PROVIDED FOR LOADING DOCK DOORS. PROPOSED BUILDING COMPLIES.

C402.5.7 VESTIBULES EXCEPTION 2. DOORS NOT INTENDED TO BE USED BY THE PUBLIC, SUCH AS DOORS TO MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS, OR INTENDED SOLELY FOR EMPLOYEE USE. EXCEPTION 4 DOORS THAT OPEN DIRECTLY FROM A SPACE LESS THAN 3,000 SQUARE FEET IN AREA. EXCEPTION 6: DOORS USED PRIMARILY TO FACILITATE VEHICULAR MOVEMENT OR MATERIAL AND ADJACENT PERSONNEL DOORS. PROPOSED BUILDING COMPLIES.

C402.5.8 RECESSED LIGHTING. NOT APPLICABLE TO PROPOSED BUILDING.



VALUE	CODED NOTES
03-1	EXTERIOR PRE-CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - SW 7004 SNOWBOND.
03-2	EXTERIOR PRE-CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - SW 7464 STEELY GRAY.
03-3	EXTERIOR PRE-CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - SW 9178 IN THE NAVY.
03-7	8" X 1/2" DEEP REVEAL
03-8	2" X 1/2" DEEP REVEAL
05-11	ALUMINUM COMPOSITE PANEL - CUSTOM FACTORY FINISH
07-7	PRE-FINISHED METAL 24 GA. GRAVEL STOP COLOR SHALL BE "CLEAR ANODIZED FINISH".
07-17	PRE-FINISHED METAL FASCIA PANEL WITH PAINTED FINISH - SW 6958 DYNAMIC BLUE.
07-18	PRE-FINISHED STEEL GUTTER AND DOWNSPOUT SYSTEM. SIZE AND GA. TO BE VERIFIED BY PLUMBER. COORD. W/ ROOF INSTALLATION.
08-1	ALUMINUM STOREFRONT
08-3	ROOF HATCH, PROVIDE CODE-COMPLIANT HATCH SIZE. FOR USE WITH OSHA-APPROVED STEEL LADDER ACCESS FROM FLOOR BELOW. PROVIDE FRAMING, CURB, FLASHING, AND TAPERED INSULATION FOR DRAINAGE AROUND HATCH AS REQUIRED. SEE DETAIL 3/A4.1
08-4	PAINTED HOLLOW METAL SERVICE DOOR AND FRAME WITH EMERGENCY EGRESS CODE REQUIRED LIGHTING (COLOR TO MATCH ADJACENT PRE-CAST COLOR).
08-5	INSULATED OH DOOR, FACTORY FINISHED WITH VISION WINDOWS. 6" DIAMETER X 4'-0" TALL CONCRETE FILLED STEEL PIPE BOLLARD(S), PAINTED SAFETY YELLOW.
23-5	ROOFTOP MECHANICAL UNITS. PARAPET TO PROVIDE SCREENING.
32-10	INTERNALLY LIT SIGN BY OWNER



OVERALL FLOOR PLAN

SHEET TITLE

MALCOLM DRILLING
PROPOSED NEW FACILITY AT:
HILL COURT
MUKWONAGO, WI

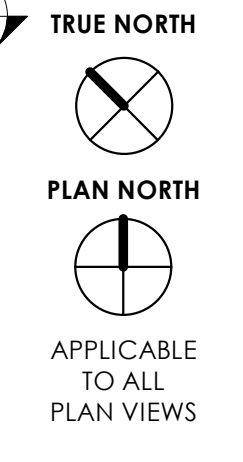
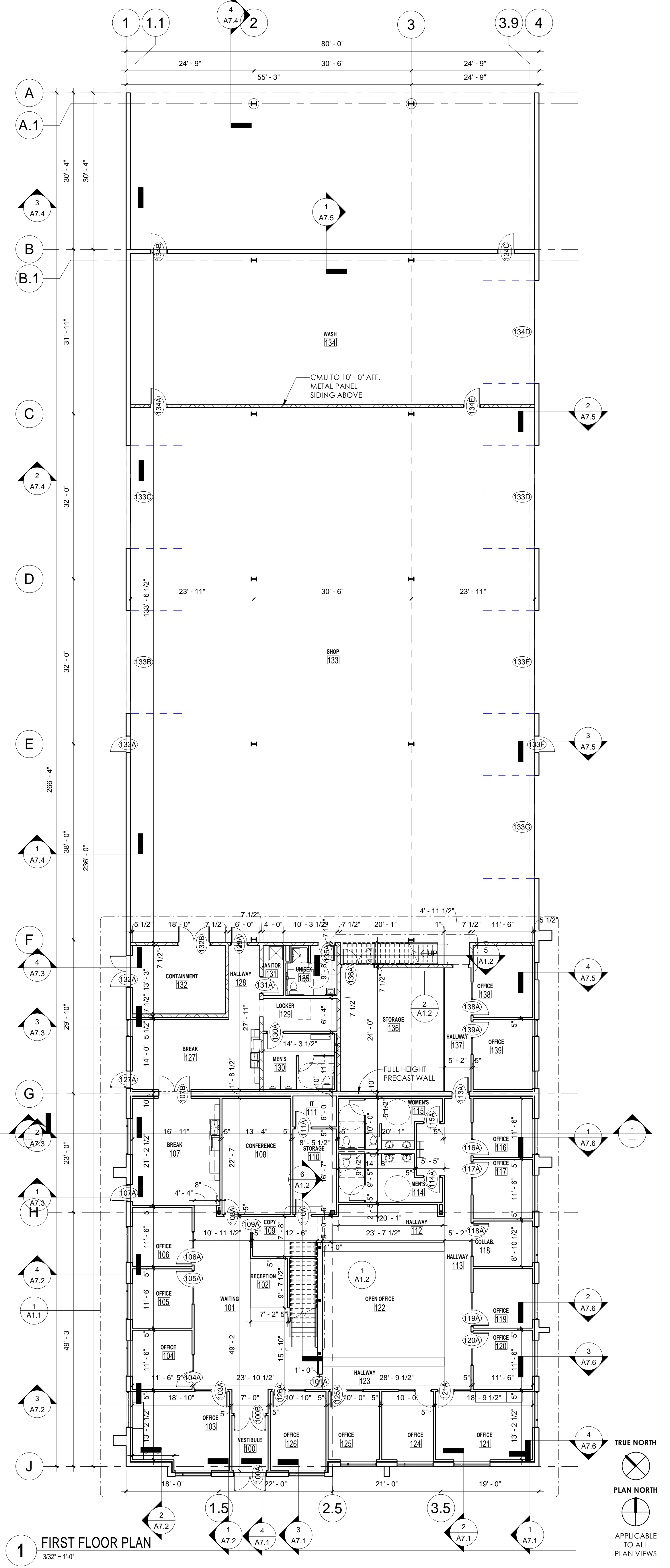
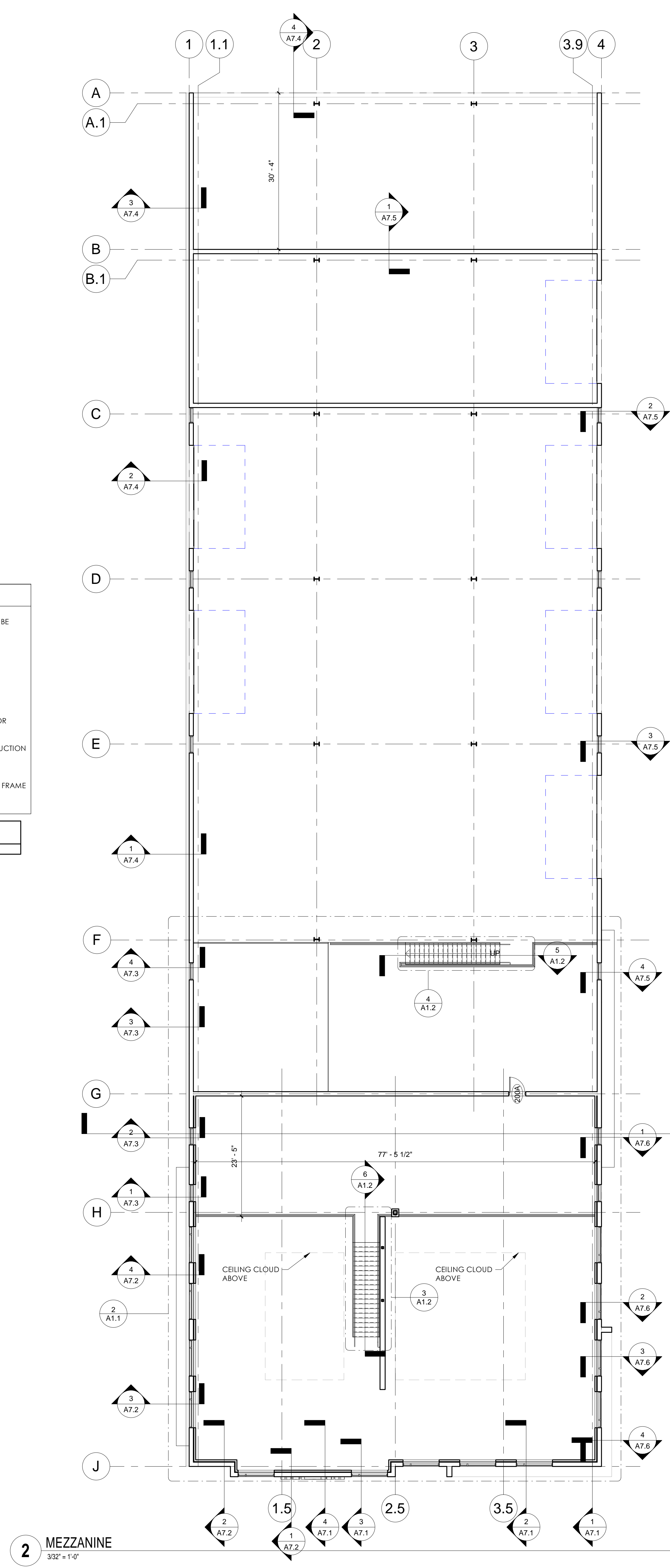
PROGRESS SET
NOT FOR CONSTRUCTION

JOB: 3175
DRAWN: PG/TT
CHECKED: DF/PP/PG
DATE: 05-22-2019

SHEET:
A1.0

FLOOR PLAN LEGEND			
	ROOM NAME ROOM NUMBER		PARTITION TO BE DEMOLISHED
	DOOR NUMBER		DOOR AND FRAME TO BE REMOVED
	PARTITION TYPE		EXISTING PARTITION TO REMAIN
	PLAN NOTES		EXISTING DOOR TO REMAIN
	SURFACE MOUNTED FIRE EXTINGUISHER		NEW CONSTRUCTION
	RECESSED EXTINGUISHER CABINET & FIRE EXTINGUISHER		NEW DOOR & FRAME
	EXIT LIGHT		
	EXIT LIGHT (DIRECTIONAL)		

KEYNOTE LEGEND	
VALUE	CODED NOTES

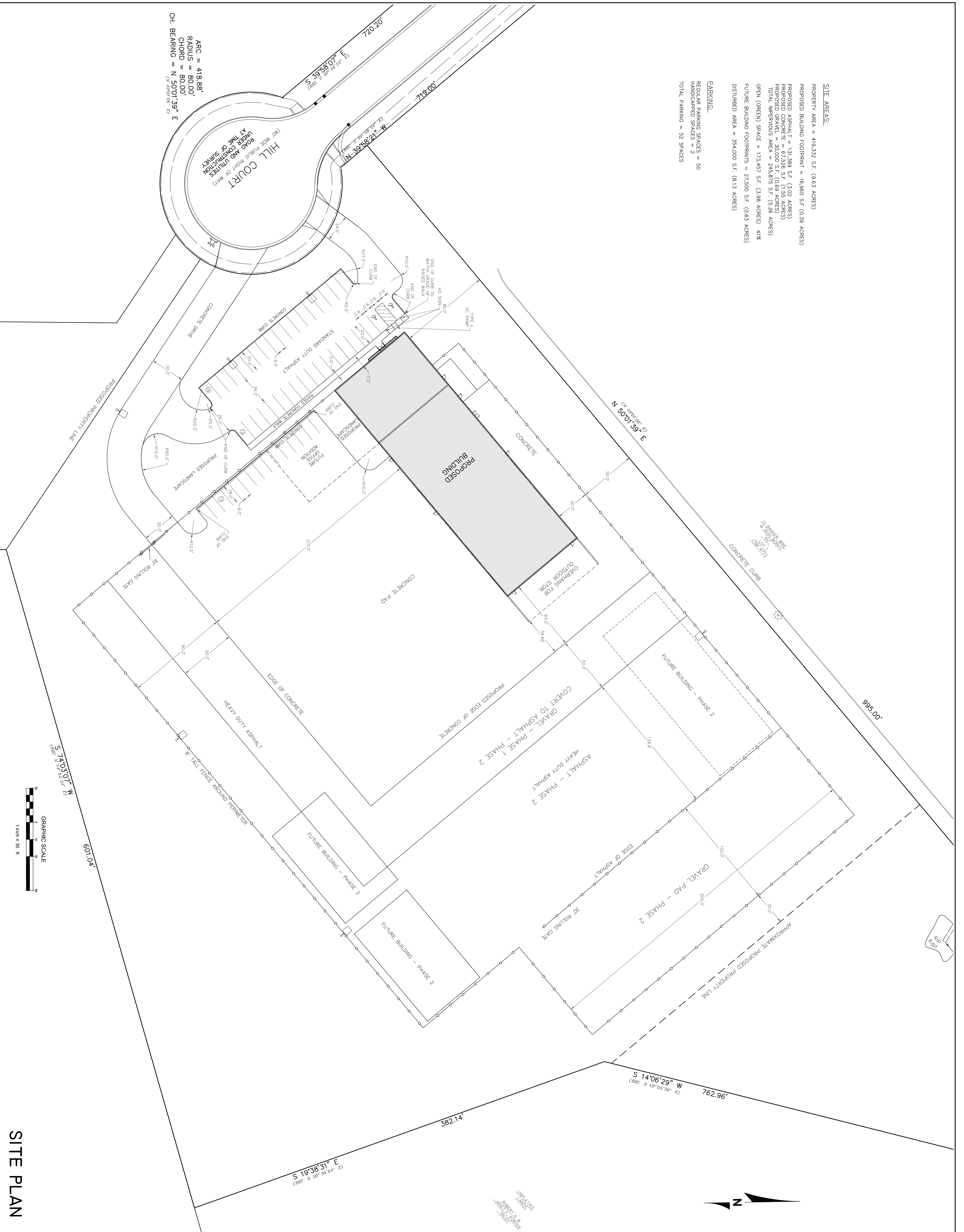


SITE AREAS:

PROPERTY AREA = 419,332 S.F. (9.63 ACRES)
 PROPOSED BUILDING FOOTPRINT = 16,960 S.F. (0.39 ACRES)
 PROPOSED ASPHALT = 131,389 S.F. (3.02 ACRES)
 PROPOSED CONCRETE = 67,526 S.F. (1.55 ACRES)
 PROPOSED GRAVEL = 30,000 S.F. (0.69 ACRES)
 TOTAL IMPERVIOUS AREA = 248,895 S.F. (5.26 ACRES)
 OPEN (GREEN) SPACE = 173,457 S.F. (3.98 ACRES) 41%
 FUTURE BUILDING FOOTPRINTS = 27,500 S.F. (0.63 ACRES)
 DISTURBED AREA = 354,000 S.F. (8.13 ACRES)

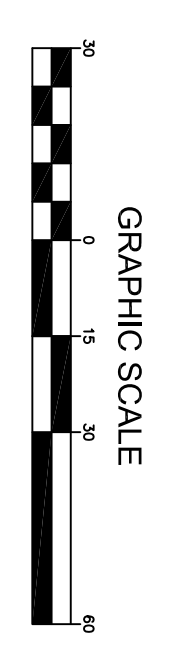
PARKING:

REGULAR PARKING SPACES = 50
 HANDICAPPED SPACES = 2
 TOTAL PARKING = 52 SPACES



ARC = 418.88'
 RADIUS = 80.00'
 CHORD = 80.00'
 CH. BEARING = N 50°01'39" E
 (REC: S 0°00'00" E)

HILL COURT
 ROAD AND UTILITIES
 AT LINE CONSTRUCTION
 (80' WIDE PUBLIC RIGHT OF WAY)



SITE PLAN

C1.0
 SHEET 1 OF 4

CJE NO.: 191R5
 MAY 28, 2019

MALCOLM DRILLING COMPNAY
 HILL COURT MUKWANAGO, WISCONSIN

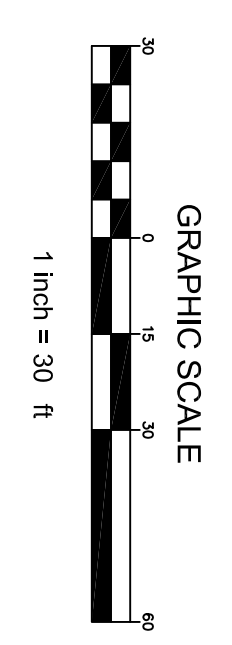
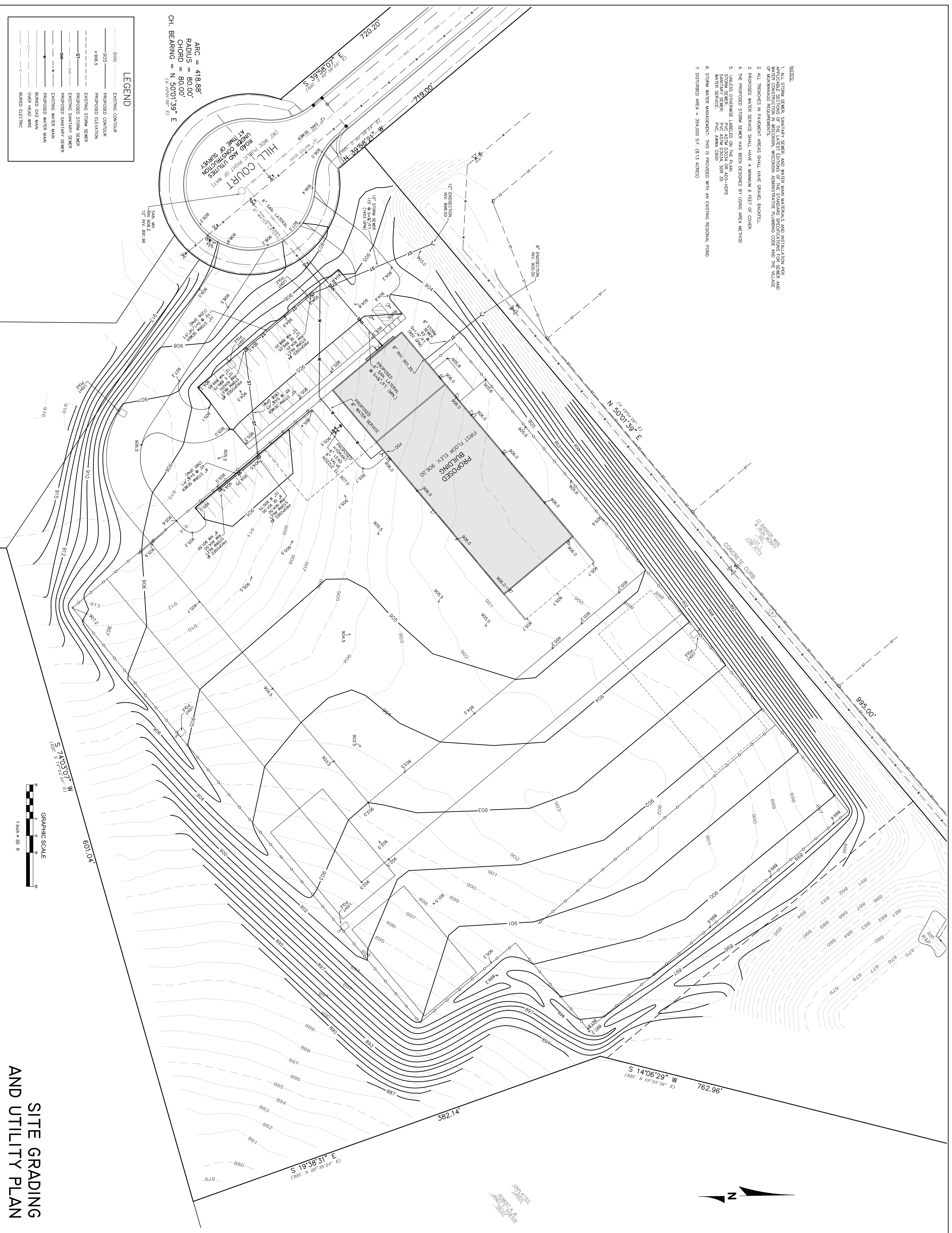
engineering
 civil design and consulting
 9205 W. Center Street
 Milwaukee, WI 53222
 PH: (414) 443-1312
 www.cjengineering.com

- NOTES:
1. ALL STORM, SANITARY SEWER AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER MAINS AND CONCRETE PIPE, WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE VILLAGE OF MUKWANAGO REQUIREMENTS.
 2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
 3. PROPOSED WATER SERVICE SHALL HAVE A MINIMUM 6 FEET OF COVER.
 4. THE PROPOSED STORM SERVICE HAS BEEN DESIGNED BY USING AREA METHOD.
 5. UNLESS OTHERWISE LABELED ON THE PLAN:
 STORM SEWERS: PVC ASTM D3034 OR AAS-HDPE
 SANITARY SEWERS: PVC ASTM D3034 OR AAS-HDPE
 WATER SERVICE: PVC, AMVA C900
 6. STORM WATER MANAGEMENT: THIS IS PROVIDED WITH AN EXISTING REGIONAL POND.
 7. DISTURBED AREA = 354,000 S.F. (8.13 ACRES)

ARC = 418.88'
 RADIUS = 80.00'
 CHORD = 80.00'
 CH. BEARING = N 50°01'39" E
 (REC. N 50°01'00" E)

LEGEND

886	EXISTING CONTOUR
905	PROPOSED CONTOUR
* 896.5	PROPOSED ELEVATION
ST	EXISTING STORM SEWER
ST	PROPOSED STORM SEWER
SM	EXISTING SANITARY SEWER
SM	PROPOSED SANITARY SEWER
W	EXISTING WATER MAIN
W	PROPOSED WATER MAIN
—	EXISTING GAS MAIN
—	OVER HEAD WIRE
—	BURIED ELECTRIC



**SITE GRADING
 AND UTILITY PLAN**

C2.0
 SHEET 2 OF 4

CJE NO.: 1911R4
 MAY 28, 2019

MALCOLM DRILLING COMPANY
 HILL COURT MUKWANAGO, WISCONSIN

engineering
 civil design and consulting
 9205 W. Center Street
 Milwaukee, WI 53222
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CONSTRUCTION SCHEDULE

1. OBTAIN PERMITS AND OTHER NECESSARY PERMITS.
2. INSTALL SILT FENCE.
3. INSTALL CONSTRUCTION EXIT.
4. STRIP TOPSOIL AND STOCKPILE IN AREA OF SEDIMENT BASIN.
5. INSTALL SEDIMENT BASIN AND DIVERSION BERMS AND SNALES.
6. INSTALL LAKE BALES IN EXISTING DITCH.
7. INSTALL LAKE BALES IN EXISTING DITCH SURROUND WITH SILT FENCE.
8. BEGIN BUILDING CONSTRUCTION.
9. INSTALL PROPOSED UTILITIES.
10. INSTALL INLET FRAME SCREENS IN ALL NEW STORM INLETS.
11. FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES.
12. FINAL EROSION CONTROL PRACTICES WILL BE PERFORMED AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED.
13. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY.
14. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES ESTIMATED THE BEFORE FINAL STABILIZATION - 6 MONTHS.

EROSION CONTROL PRACTICES SCHEDULE

- 1 SILT FENCE
- 2 CONSTRUCTION EXIT
- 3 INLET PROTECTION
- 4 OUTLET PROTECTION
- 5 EROSION MAT
- 6 SEDIMENT BASIN
- 7 LAKE BALES

EROSION MATTING

EROSION MATTING SHALL BE INSTALLED IN ALL AREAS THAT ARE INCAPABLE OF HOLDING SOIL IN PLACE. MATTING SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE MAINTAINED THROUGHOUT CONSTRUCTION AND AFTER CONSTRUCTION. EVERY WEEK, ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
2. DURING ALL PRECIPITATION EVENTS, THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARBER.
3. ALL SEDIMENT AREAS WILL BE WATERED, FERTILIZED, RESEEDED AS NECESSARY TO MAINTAIN A BARBER.
4. ANY SEDIMENT REMOVED BY A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.

TEMPORARY COVER

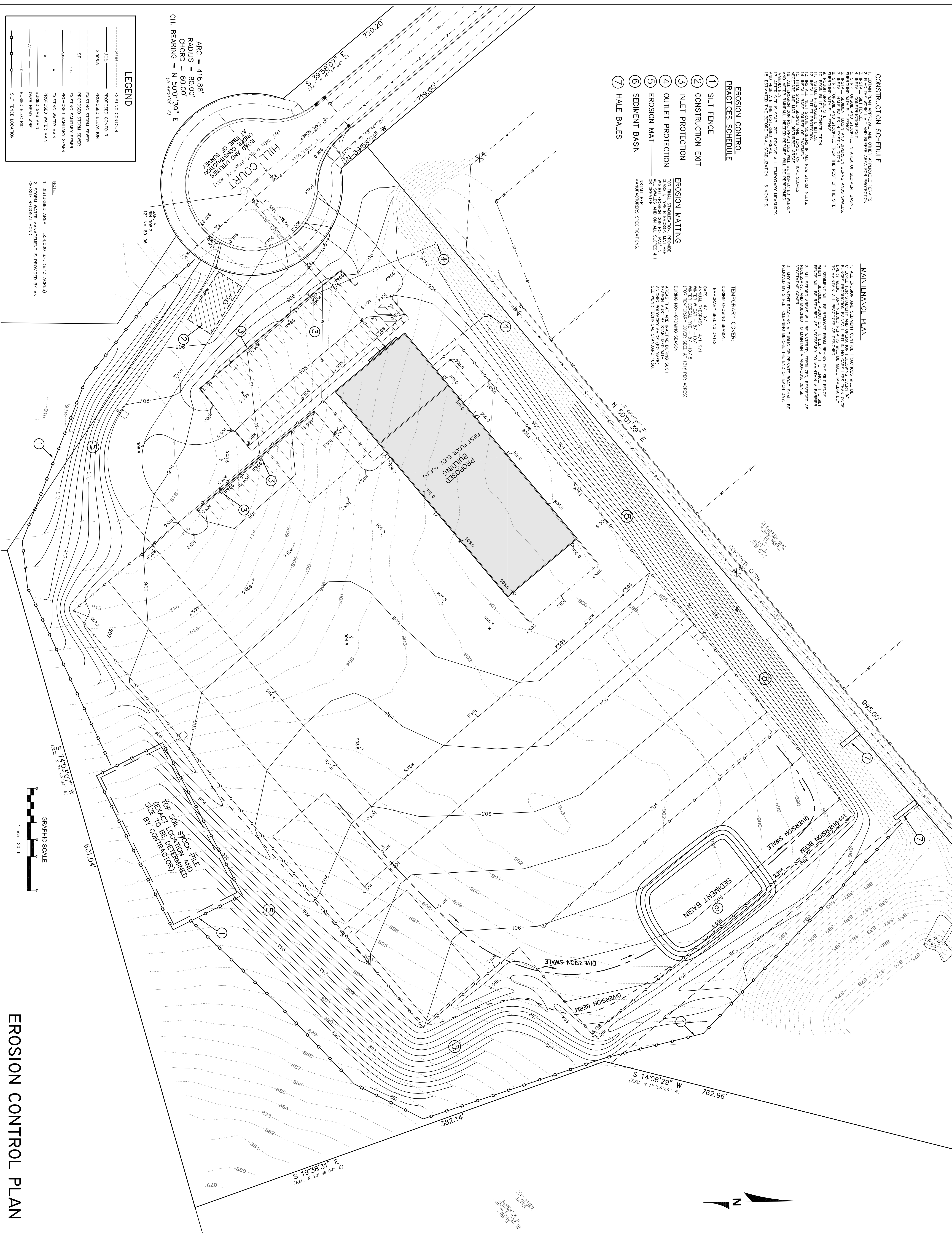
DURING GROWING SEASON:
 TEMPORARY SEEDING DATES:
 O.A.S. - 4/1-8/1
 WATER SEEDING - 4/1-9/1
 WATER GERMAL FIVE - 8/1-10/1
 (FOR TEMPORARY COVER SEED AT 131# PER ACRE)
 AREAS THAT ARE INCAPABLE OF HOLDING SOIL IN PLACE SHALL BE COVERED WITH POLYPROPYLENE (PP) OR POLYETHYLENE (PE) SEE WORK TECHNICAL STANDARD 1050.

ARC = 418.88'
 RADIUS = 80.00'
 CHORD = 80.00'
 CH. BEARING = N 50°01'39" E
 (REVISED PER 2/11)

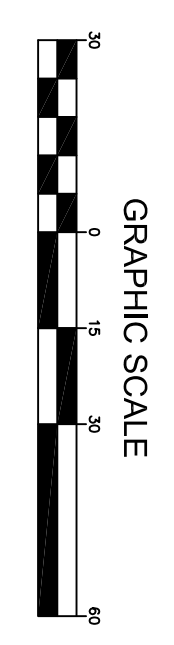
LEGEND

- 8986 - EXISTING CONTOUR
- 9025 - PROPOSED CONTOUR
- 9094.5 - PROPOSED ELEVATION
- ST - EXISTING STORM SEWER
- SM - EXISTING SANITARY SEWER
- SM - PROPOSED SANITARY SEWER
- SM - EXISTING WATER MAIN
- SM - PROPOSED WATER MAIN
- SM - EXISTING GAS MAIN
- SM - PROPOSED GAS MAIN
- SM - EXISTING OVERHEAD WIRE
- SM - PROPOSED OVERHEAD WIRE
- SM - EXISTING BURIED ELECTRIC
- SM - PROPOSED BURIED ELECTRIC
- SM - SILT FENCE LOCATION

- NOTE:**
1. DISTURBED AREA = 34,400 SF. (8.13 ACRES)
 2. STORM WATER MANAGEMENT IS PROVIDED BY AN OFFSITE REGIONAL POND.



TOP SOIL STOCK PILE LOCATION AND SIZE TO BE DETERMINED BY CONTRACTOR



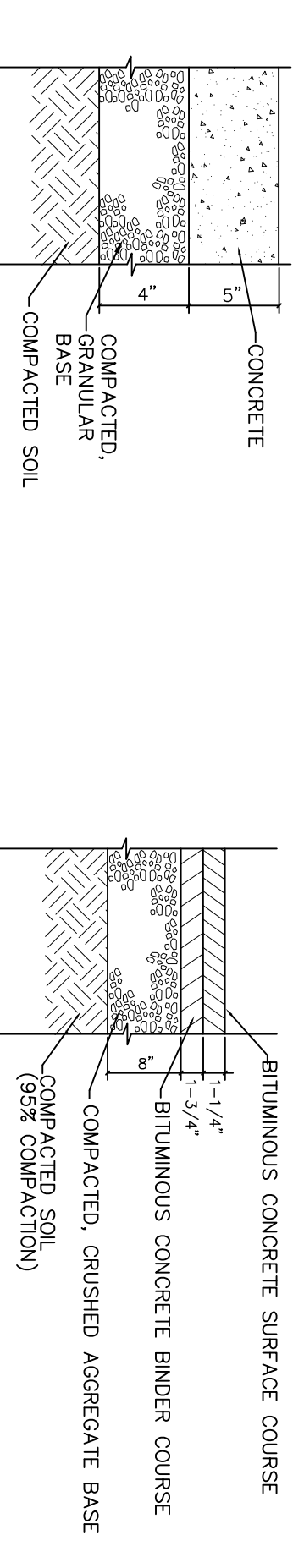
EROSION CONTROL PLAN

C3.0
 SHEET 3 OF 4

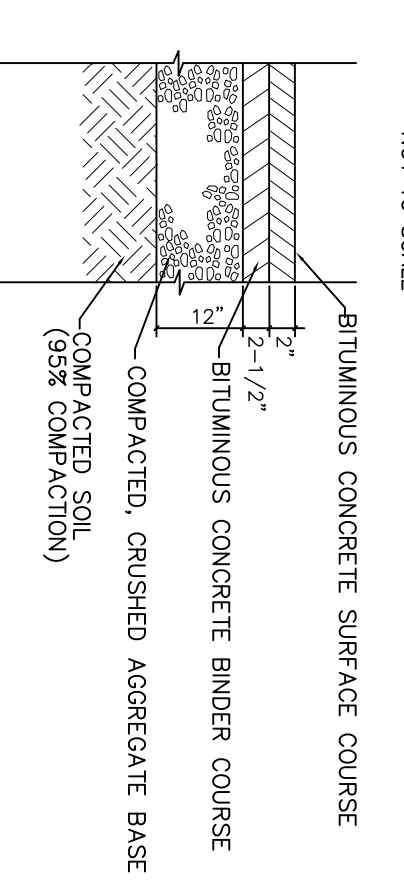
CUE NO.: 191IRS
 MAY 28, 2019

MALCOLM DRILLING COMPANY
 HILL COURT MUKWANAGO, WISCONSIN

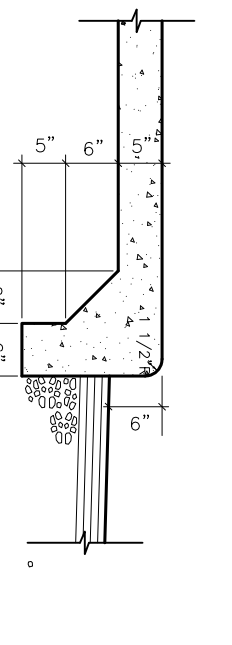




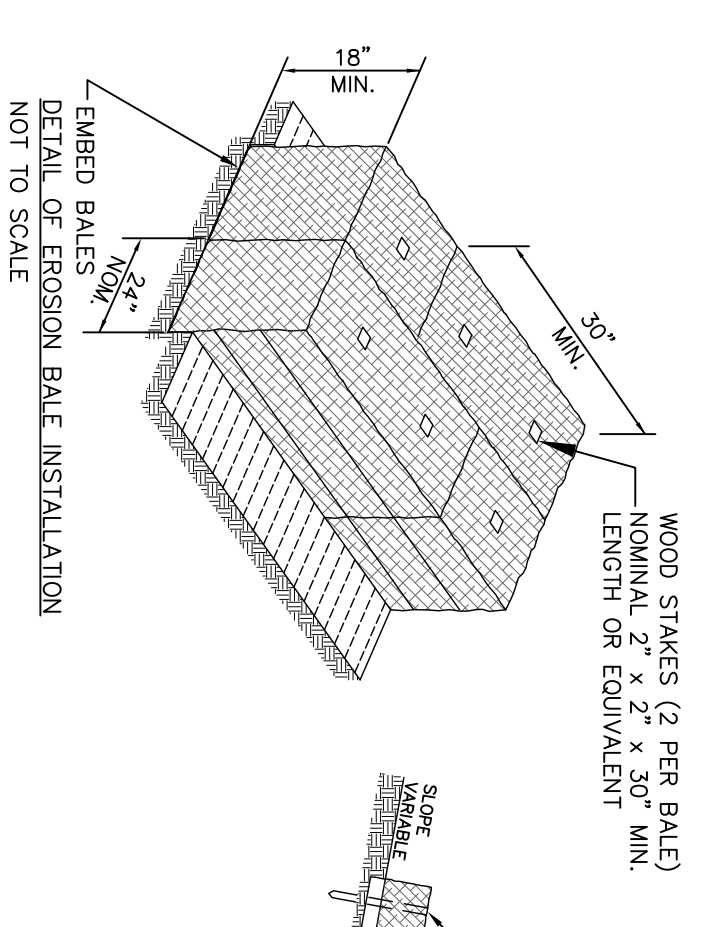
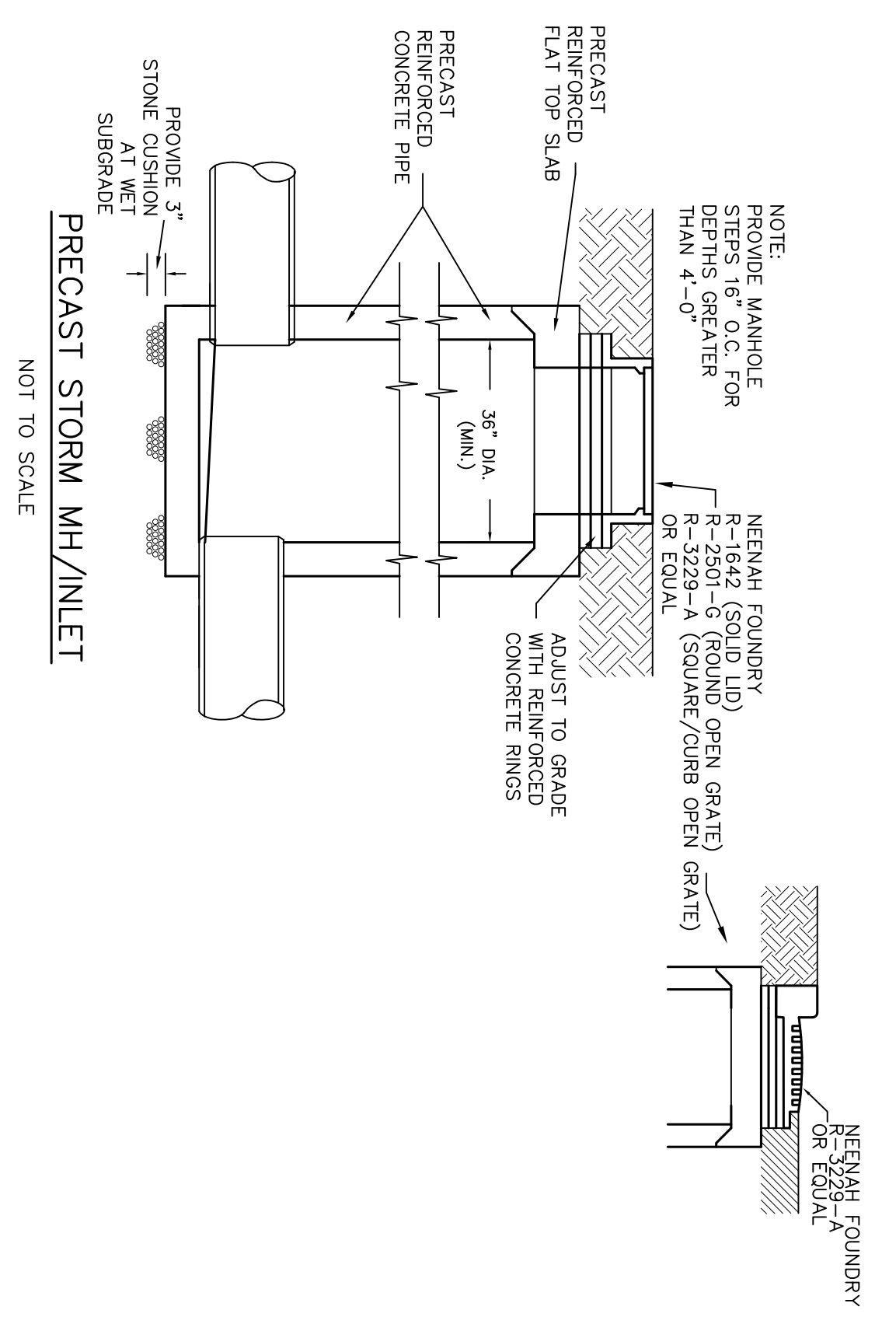
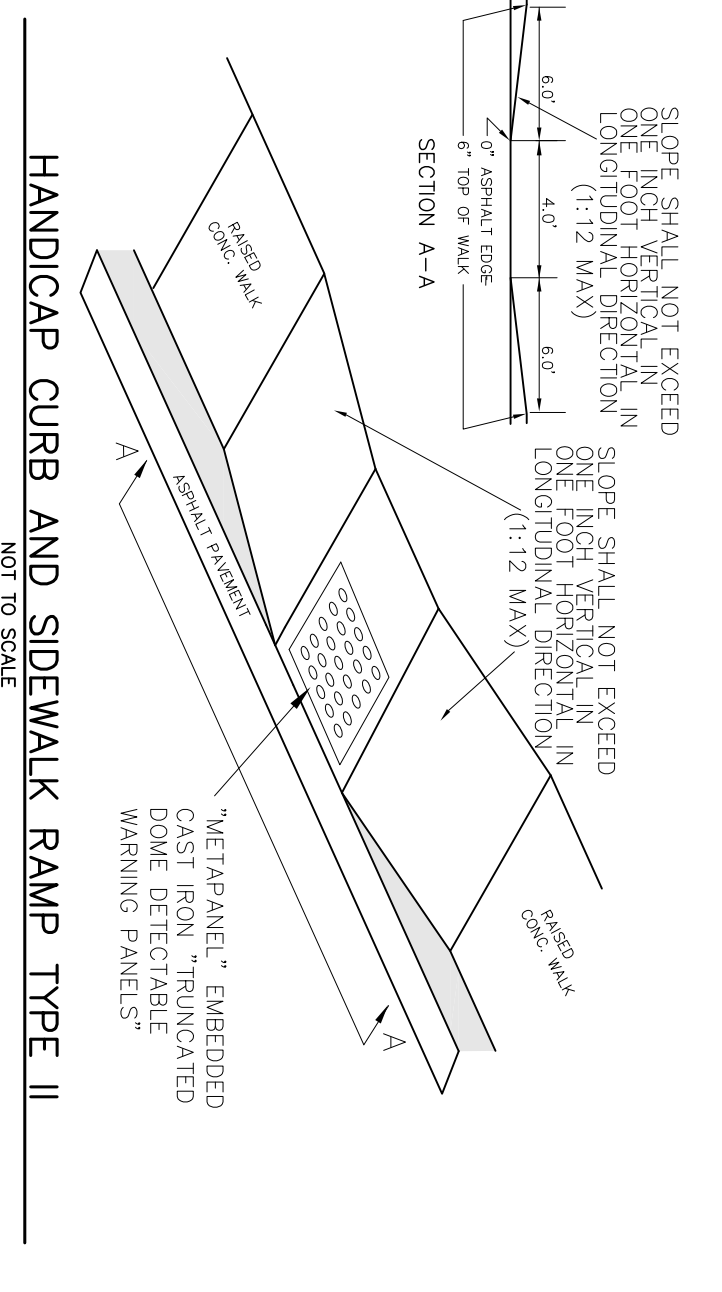
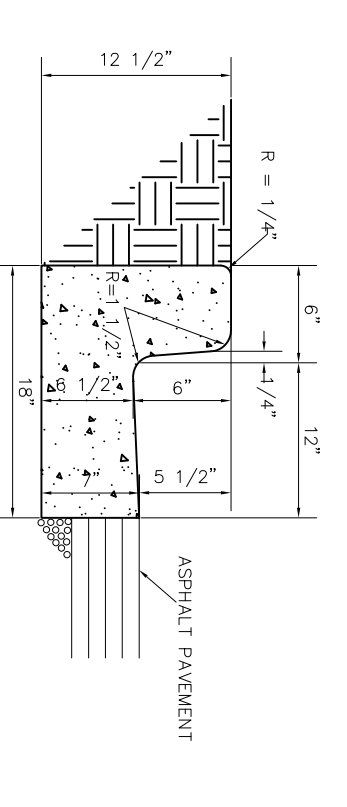
STANDARD DUTY ASPHALT PAVEMENT (PARKING AREA)
NOT TO SCALE



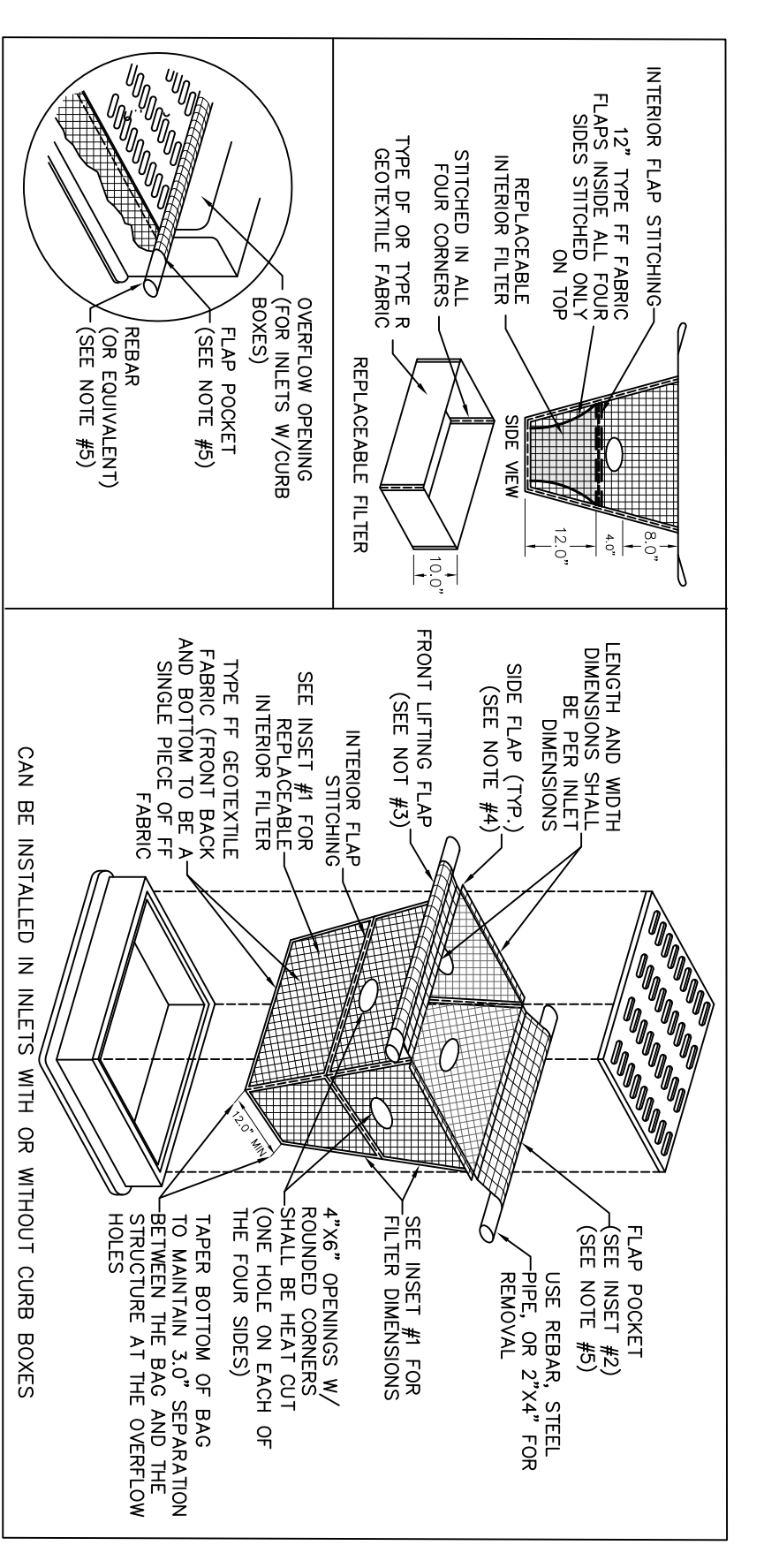
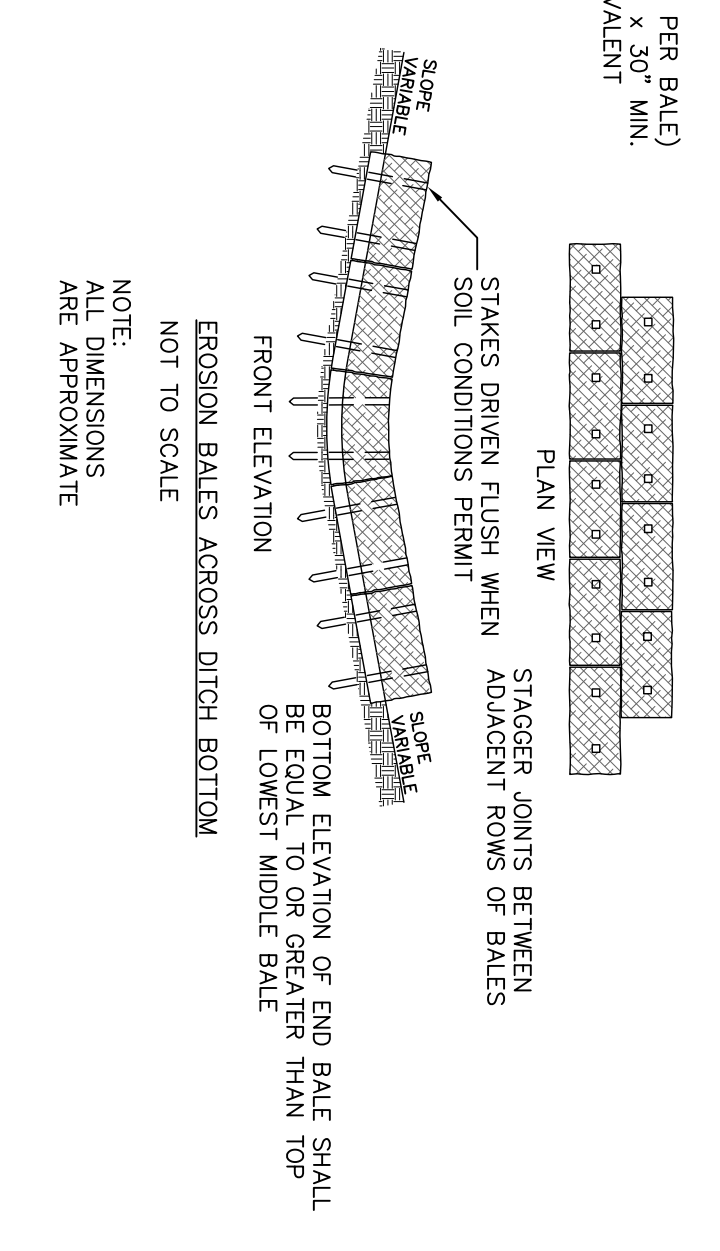
CONCRETE PAYMENT (LOADING DOCKS)
NOT TO SCALE



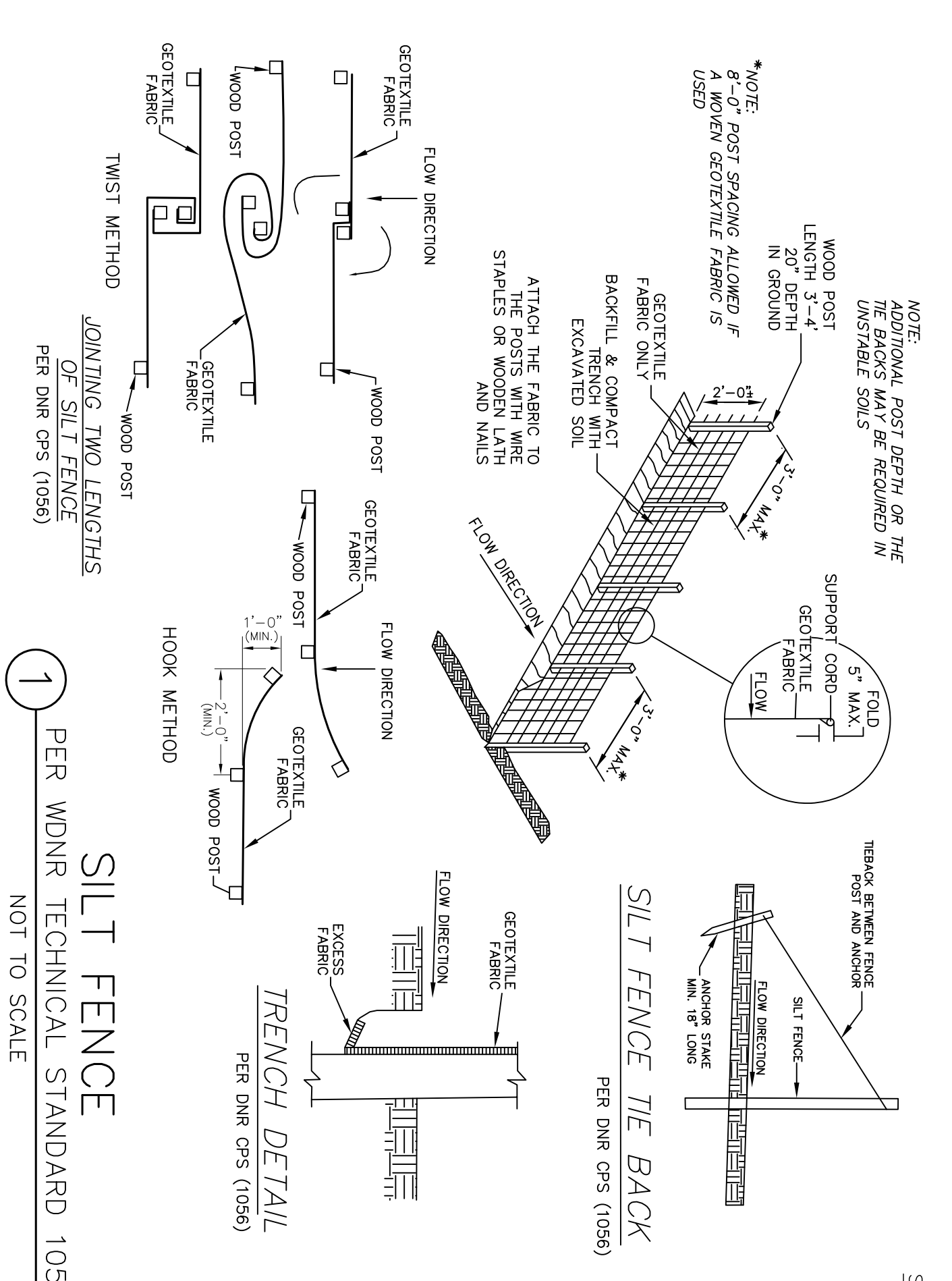
CONCRETE WALK WITH INTEGRAL CURB
NOT TO SCALE



HAY BALE DITCH CHECK
PER WDNR TECHNICAL STANDARD 1062
NOT TO SCALE

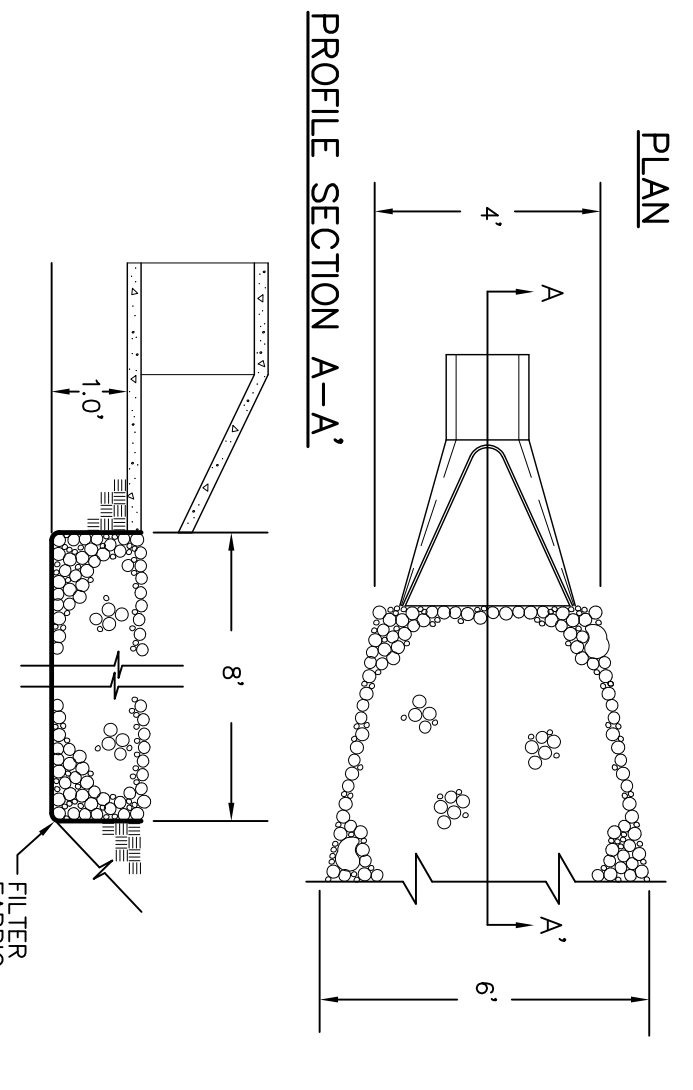


INLET PROTECTION, TYPE D-M
PER WDNR TECHNICAL STANDARD 1050
NOT TO SCALE



SILT FENCE
PER WDNR TECHNICAL STANDARD 1056
NOT TO SCALE

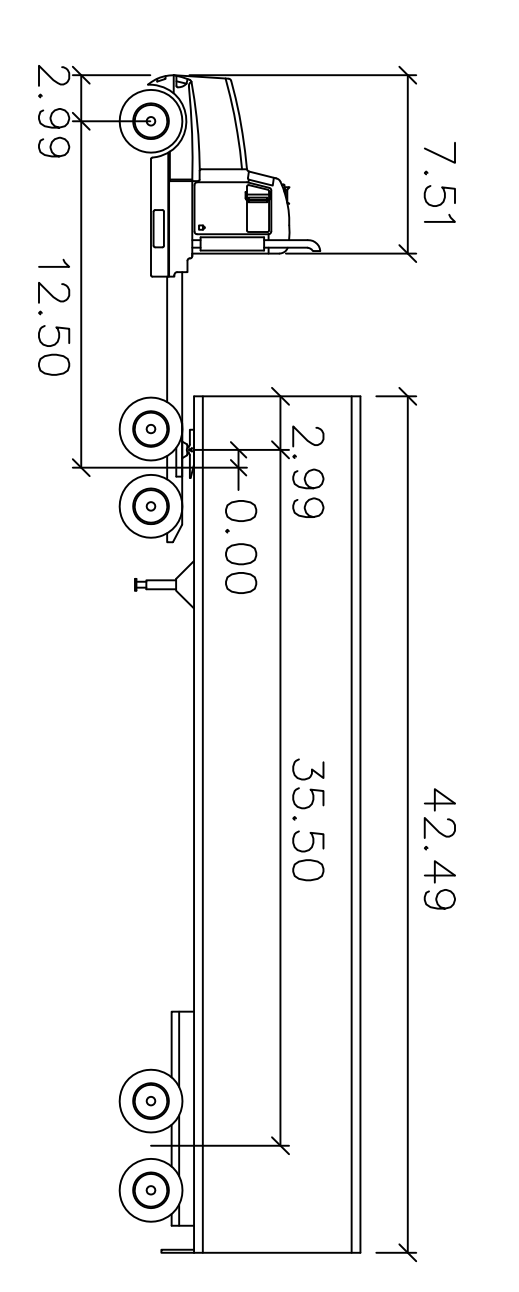
- SILT FENCE CONSTRUCTION SPECIFICATIONS** (SEE GPS 1056)
1. Excavate below ground surface to a depth of 12" and install a 12" x 12" x 12" concrete curb and 12" x 12" x 12" concrete curb.
 2. Locate posts per DNR GPS (1056).
 3. When post spacing necessary, refer to DNR GPS (1056).
 4. Filter fabric to be of nylon, polyester, polypropylene or ethylene glycol with a flow rate of at least 0.3 gal/5s ft²/min and with a flow rate of at least 0.3 gal/5s ft²/min and stabilizer.
 5. The filter fabric shall be enclosed by spreading of at least 8 inches of fabric in a 4' x 6' trench.
 6. The filter fabric shall be secured by staples or steel pins.
 7. Post to be 1 1/8" x 1 1/2" Hickory or oak, 3 feet long, spaced at a maximum of 3 feet apart.
 8. Use wire reinforcement in unstabilized minor swales.
 9. Use WDOT approved silt fence.



OUTLET PROTECTION FOR ENDSECTION
NOT TO SCALE

- CONSTRUCTION SPECIFICATIONS**
1. EXCAVATE BELOW GROUND SURFACE TO A DEPTH OF 12" AND INSTALL A 12" X 12" X 12" CONCRETE CURB AND 12" X 12" X 12" CONCRETE CURB.
 2. PLACE FILTER FABRIC ON BOTTOM AND STAPLES TO ZERO GRADE AND SMOOTHED.
 3. EXPOSE CURB IN RIP RAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.
 4. PLACE RIP RAP ON ZERO GRADE - TOP OF RIP RAP TO BE LEVEL WITH EXISTING GROUND - NO OVERLAP AT ENDS.
 5. RIP RAP TO BE HARD, ANGULAR, WELL SORTED AND FREE FROM ORGANIC MATERIALS.
 6. STABILIZE EXPOSED AREAS WITH VEGETATION.

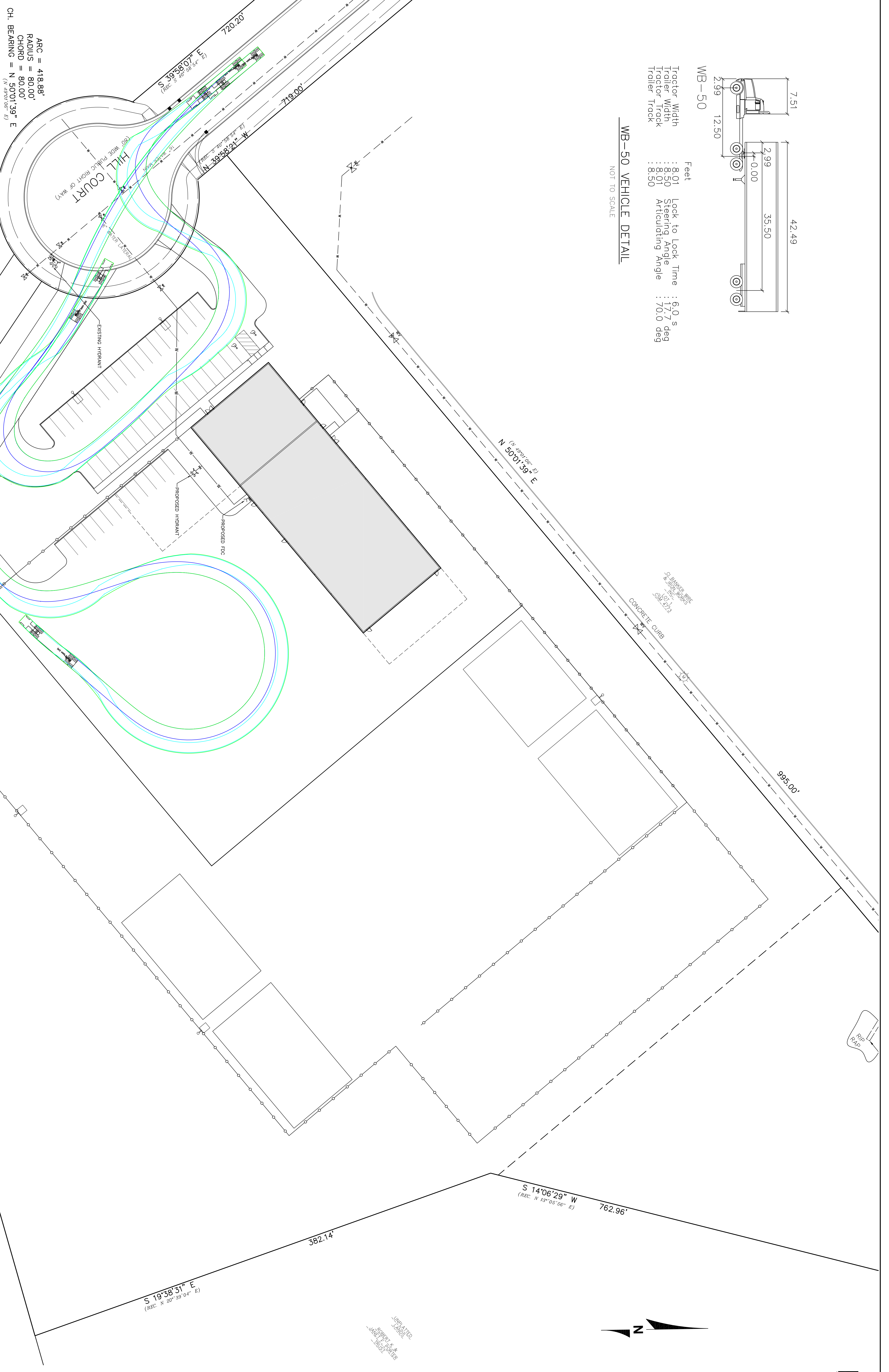
- NOTES:**
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE. MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO GIRT STRUCTURE WALL.
 2. THE OVERFLOW FABRIC TYPE FT FOR FLAPS, TOP AND BOTTOM OF INSIDE OF FILTER BAG, FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
 3. FRONT LIFTING FLAPS IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
 4. REAR LIFTING FLAPS IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
 5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4"s. THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
- MAINTENANCE NOTES:**
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



WB-50

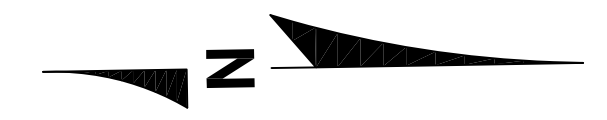
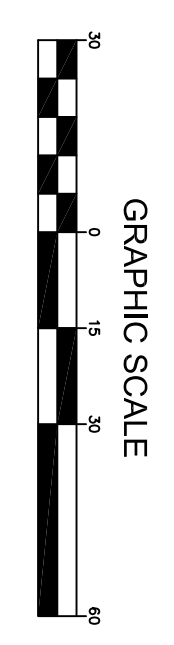
Feet	
Tractor Width	: 8.01
Trailer Width	: 8.00
Trailer Track	: 8.50
Lock to Lock Time	: 6.0 s
Steering Angle	: 17.7 deg
Articulating Angle	: 70.0 deg

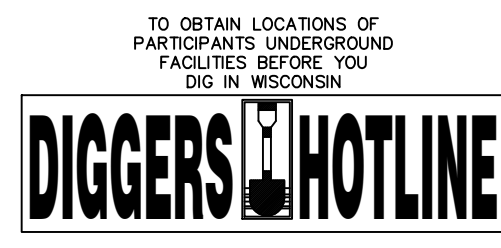
WB-50 VEHICLE DETAIL
NOT TO SCALE



ARC = 418.88'
RADIUS = 80.00'
CHORD = 80.00'
CH. BEARING = N 50°01'39\" E
(R.B.C. N 50°01'39\" E)

S 74°03'07\" W
(R.B.C. N 15°28'34\" E)





TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG TO EXCAVATE
CALL DIGGERS HOTLINE 811 or 1-800-242-8811
MUN. ORD. 231-1181
MS. STATUTE 18-2175(1974)
REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

Required Site Landscaping

One (1) tree for every 20 LF of street frontage.

Length of Street Frontage: 217 LF
Required Trees for Site: 11 Trees
Number of Trees Shown: 73 Trees

Parking Lot Landscaping

15 SF of interior landscape area per parking stall.

Landscaping between building and parking can count up to count up 50% of requirement.

Minimum island size is 720 SF

10% of required site trees must be located in interior islands.

Number of Parking Stalls: 52 Stalls
Required Area of Interior Islands: 780 SF
Total Area of Interior Islands: 8,971 SF
Area Between Building and Vehicle Use Area Being Counted: 2,545 SF

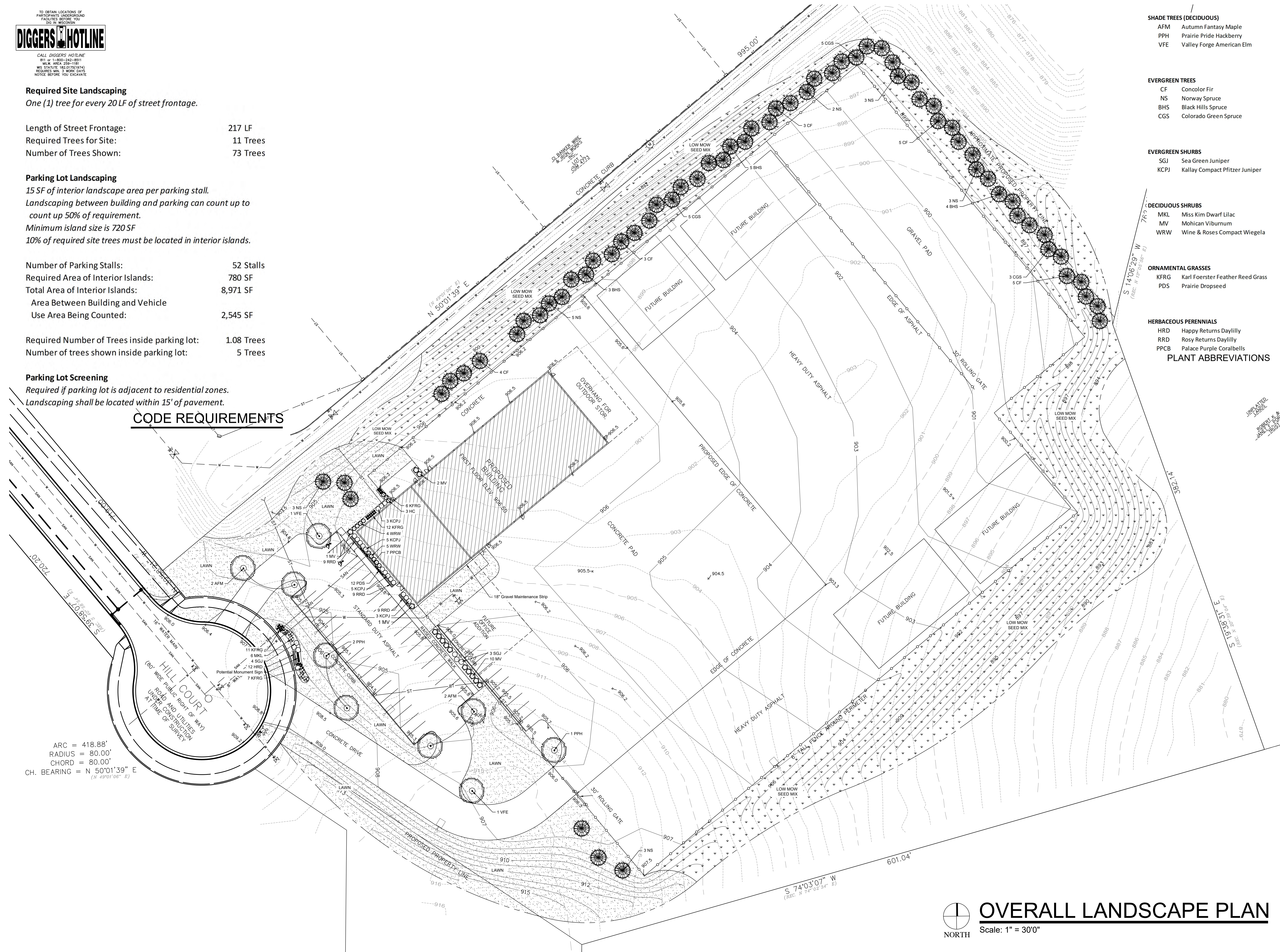
Required Number of Trees inside parking lot: 1.08 Trees
Number of trees shown inside parking lot: 5 Trees

Parking Lot Screening

Required if parking lot is adjacent to residential zones.

Landscaping shall be located within 15' of pavement.

CODE REQUIREMENTS



ARC = 418.88'
RADIUS = 80.00'
CHORD = 80.00'
CH. BEARING = N 50°01'39" E
(N 49°01'09" E)

- SHADE TREES (DECIDUOUS)**
- AFM Autumn Fantasy Maple
 - PPH Prairie Pride Hackberry
 - VFE Valley Forge American Elm

- EVERGREEN TREES**
- CF Concolor Fir
 - NS Norway Spruce
 - BHS Black Hills Spruce
 - CGS Colorado Green Spruce

- EVERGREEN SHRUBS**
- SGJ Sea Green Juniper
 - KCPJ Kallay Compact Pfitzer Juniper

- DECIDUOUS SHRUBS**
- MKL Miss Kim Dwarf Lilac
 - MV Mohican Viburnum
 - WRW Wine & Roses Compact Wiegela

- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass
 - PDS Prairie Dropseed

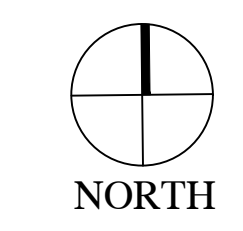
- HERBACEOUS PERENNIALS**
- HRD Happy Returns Daylilly
 - RRD Rosy Returns Daylilly
 - PPCB Palace Purple Coralbells

PLANT ABBREVIATIONS



OVERALL LANDSCAPE PLAN

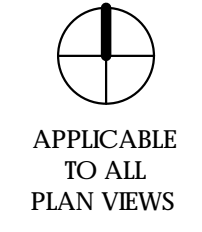
PROPOSED NEW BUILDING:
MALCOLM DRILLING
MUKWONAGO, WI



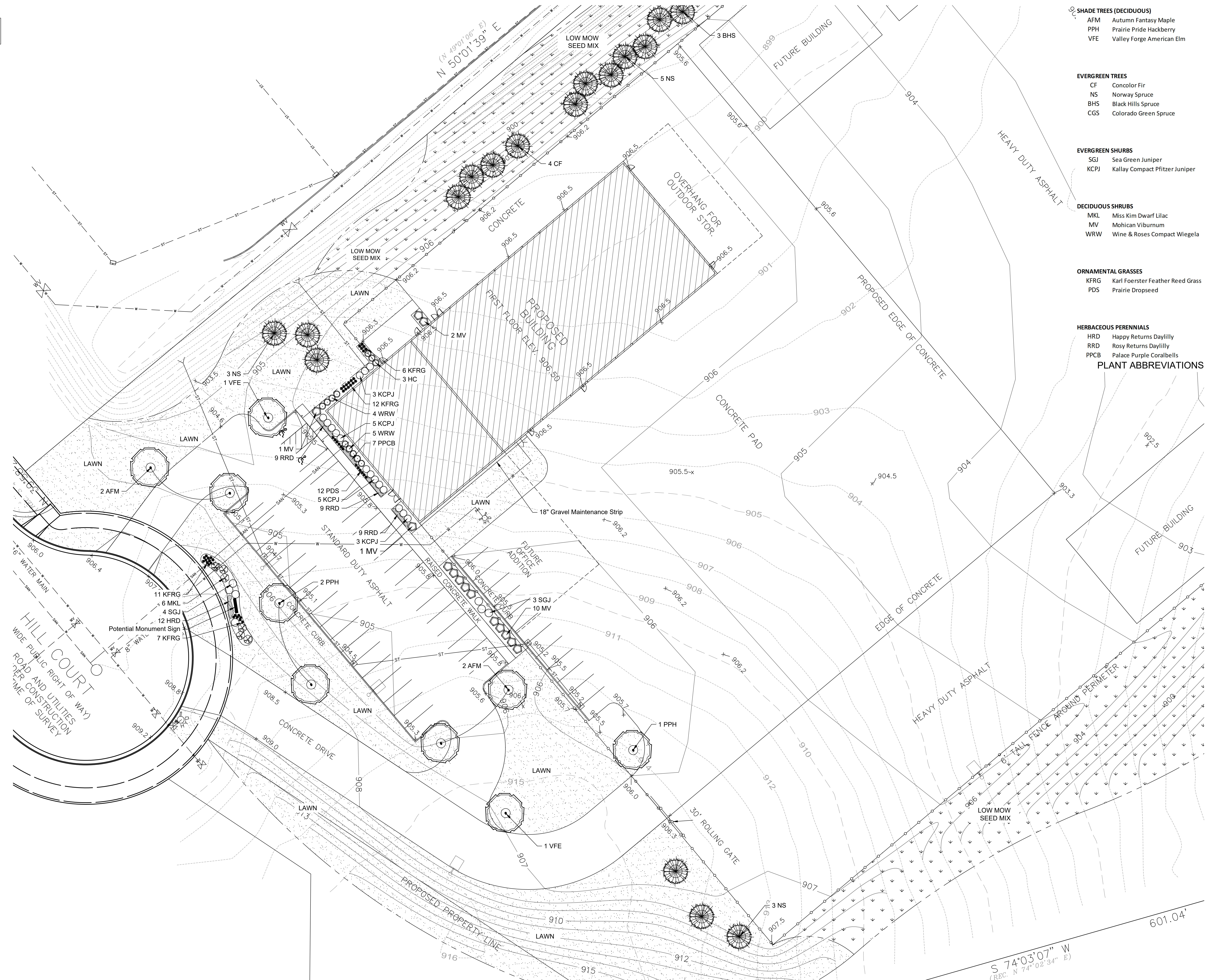
OVERALL LANDSCAPE PLAN
Scale: 1" = 30'0"

JOB:	3175
DRAWN:	PCA
CHECKED:	WDH
DATE:	04-18-2019
SHEET:	

L 1.0



APPLICABLE TO ALL PLAN VIEWS



- SHADE TREES (DECIDUOUS)**
- AFM Autumn Fantasy Maple
 - PPH Prairie Pride Hackberry
 - VFE Valley Forge American Elm
- EVERGREEN TREES**
- CF Concolor Fir
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- HRD Happy Returns Daylily
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- PLANT ABBREVIATIONS**



SHEET TITLE

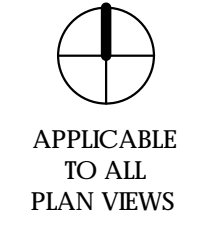
ENLARGED LANDSCAPE PLAN

PROPOSED NEW BUILDING:
MALCOLM DRILLING
MUKWONAGO, WI

JOB:	3175
DRAWN:	PCA
CHECKED:	WDH
DATE:	04-18-2019
SHEET:	

L 1.1

ENLARGED LANDSCAPE PLAN
Scale: 1" = 20'0"



HILL COURT
WIDE PUBLIC RIGHT OF WAY
ROAD AND UTILITIES
UNDER CONSTRUCTION
TIME OF SURVEY

S 74°03'07" W
(REC. N 74°02'34" E)



- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5' diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50% mix of plant starter with topsoil. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1/2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:
 - Per 100 SF of bed area (Soil Amendment composition):
 - 3/4 CY Peat Moss or Mushroom Compost
 - 3/4 CY blended/pulverized Topsoil
 - 1/4 CY composted manure

- In roto-tilled beds only, also include in above mixture:
 - 2 lbs Starter Fertilizer
- Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones 1/2" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TP (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.
- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor on higher responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.
 - An acceptable quality seed installation is defined as having:
 - No bare spots larger than one (1) square foot
 - No more than 10% of the total area with bare areas larger than one (1) square foot
 - A uniform coverage through all turf areas

- No-Mow seed areas: "No-Mow" fine fescue seed mix with annual rye nurse crop (available at Cedar Creek Seed Farm 888-313-6807; or Prairie Nursery 608-296-3679) or approved equivalent mix from a reputable seed mix provider. Apply at 220 lbs per acre or at rate recommended by supplier. Prepare seed bed and soil as specified in item #13 above.
- Native Prairie Seed Mix / Stormwater Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Prairie Nursery 608-296-3679 or JF New 608-848-1789 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and stormwater seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

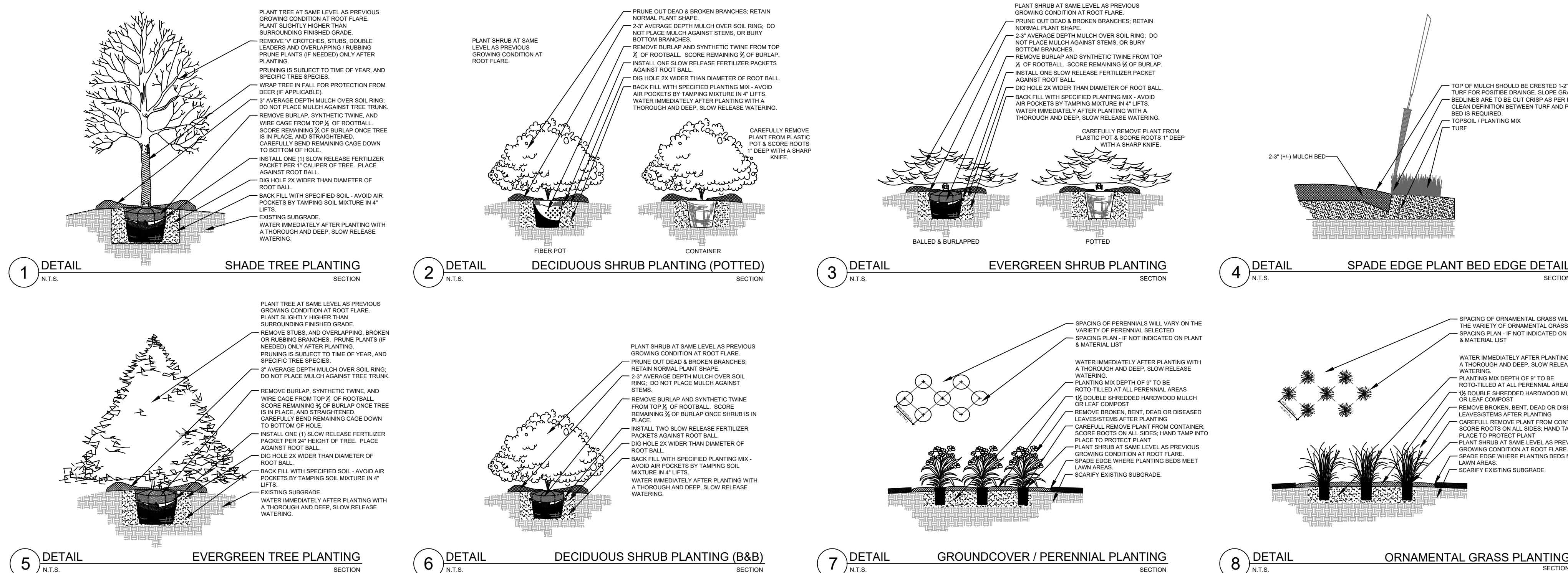
LANDSCAPE GENERAL NOTES

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CALIPER/HEIGHT SIZE	ROOT	SPECIFICATION / NOTES
		BOTANICAL NAME	COMMON NAME			
Proposed Landscape Materials						
SHADE TREES (DECIDUOUS)						
AFM	4	Acer xfreemani 'Autumn Fantasy'	Autumn Fantasy Maple	3"	B&B	Straight central leader, full and even crown. Prune only after planting
PPH	3	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	3"	B&B	Straight central leader, full and even crown. Prune only after planting
VEE	2	Ulmus americana 'Valley Forge'	Valley Forge American Elm	3"	B&B	Straight central leader, full and even crown. Prune only after planting
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		HEIGHT SIZE	ROOT	SPECIFICATION / NOTES
BOTANICAL NAME	COMMON NAME					
EVERGREEN TREES						
CF	20	Abies concolor	Concolor Fir	7'	B&B	Evenly shaped tree with branching to the ground
NS	19	Picea abies	Norway Spruce	7'	B&B	Evenly shaped tree with branching to the ground
BHS	12	Picea glauca 'densata'	Black Hills Spruce	7'	B&B	Evenly shaped tree with branching to the ground
CGS	13	Picea pungens	Colorado Green Spruce	7'	B&B	Evenly shaped tree with branching to the ground
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES
BOTANICAL NAME	COMMON NAME					
EVERGREEN SHRUBS						
SGI	10	Juniperus chinensis 'Sea Green'	Sea Green Juniper	24"	Cont.	Full rounded well branched shrub
KCPJ	16	Juniperus chinensis 'Kallay'	Kallay Compact Pfitzer Juniper	#5	Cont.	Full rounded well branched shrub
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES
BOTANICAL NAME	COMMON NAME					
DECIDUOUS SHRUBS						
MKL	6	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	24"	Cont.	Full, well rooted plant, evenly shaped
MV	14	Viburnum lantana 'Mohican'	Mohican Viburnum	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance
WRW	9	Wiegela florida 'Wine & Roses'	Wine & Roses Compact Wiegela	24"	Cont.	Full, well rooted plant, evenly shaped
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CONTAINER SIZE	ROOT/CONT.	SPECIFICATION / NOTES
BOTANICAL NAME	COMMON NAME					
ORNAMENTAL GRASSES						
KFRG	36	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant
PDS	12	Sporobolus heterolepis	Prairie Dropseed	#1	Cont.	Full, well rooted plant
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CONTAINER SIZE	ROOT/CONT.	SPECIFICATION / NOTES
BOTANICAL NAME	COMMON NAME					
HERBACEOUS PERENNIALS						
HRD	12	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped
RRD	27	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped
PPCB	7	Heuchera micrantha 'Palace Purple'	Palace Purple Coralbells	#1	Cont.	Full, well rooted plant, evenly shaped
PLAN KEY	QUANTITY	PLANT MATERIAL PROPOSED		CONTAINER SIZE	ROOT/CONT.	SPECIFICATION / NOTES
SPECIFIED SEED MIXES						
LAWN	2910	Lawn Establishment Area / Grading Area			SY	Reinder's Deluxe 50 Seed Mix (800-785-3301)
	103400	Erosion Matting for sloped seeded areas		<i>see plan for area delineation</i>	SF	EroTex DS75 Erosion Control Blanket (or approved equal)
LMMM	8570	Low-Mow Meadow Mix		<i>see plan for area delineation</i>	SY	Reinders No Mow / Low-Grow Seed Mix (800-785-3301)
Hardscape Materials						
2		Heritage River Gravel Mulch (1.0-1.5" pieces)	Area: 115 SF		TN	2" depth
80		Aluminum Edge Restraint (gravel areas)	Permaloc ProSlide 3/16"x5.5" Black Duraflex Finish		LF	
115		Landscape Fabric	SF		SF	
28		Shredded Hardwood Mulch (3" depth)	Area: 4,570 SF		CY	Bark Mulch; apply Preemergent after installation of mulch
42		Soil Amendments (2" depth)	Area: 4,570 SF		CY	
318		Pulverized Topsoil [Seeded Areas]	Area: 103,400 SF		CY	
28		Pulverized Topsoil [2" over bed areas]	Area: 4,570 SF		CY	

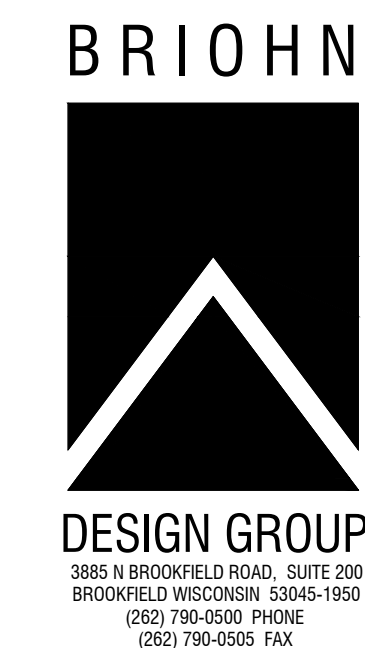
*Landscape counts & quantities are provided as a service to the Landscape Contractor; Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan-including the graphics and notations depicted therein-shall govern.

- Seed Compositions:**
- Reinder's Deluxe 50 Seed Mix (800-785-3301):**
- 20% Kentucky Bluegrass (Sod Quality)
 - 15% Newport Kentucky Bluegrass
 - 15% Ken Blue Kentucky Bluegrass
 - 25% Creeping Red Fescue
- 15% Quebec Perennial Ryegrass
10% Fiesta III Perennial Ryegrass
- Seed at rate of 150-200# per acre
- Reinders No Mow / Low-Grow Seed Mix (800-785-3301):**
- 45% Spartan II Hard Fescue
 - 40% Quatro Sheep Fescue
 - 15% TXR Annual Ryegrass
- Seed at a rate of 4-6# per 1000 SF

PLANT & MATERIAL SCHEDULE



PLANTING & HARDSCAPE DETAILS



LANDSCAPE DETAILS, NOTES, & SCHEDULES

SHEET TITLE

PROPOSED NEW BUILDING: MALCOLM DRILLING MUKWONAGO, WI

JOB: 3175
DRAWN: PCA
CHECKED: WDH
DATE: 04-18-2019
SHEET:



L 1.2



RESIDENTIAL • COMMERCIAL • INDUSTRIAL

227 Weil Drive • Slinger, WI 53086

Phone(262)644-6940 • Fax(262)644-7647

Malcolm Drilling

Exterior Lighting Submittal 5-3-19



Color: Bronze

Weight: 34.8 lbs

Project: Malcolm Drilling	Type: A
Prepared By: HFR electric inc.	Date: 5-3-19

Driver Info		LED Info	
Type	Constant Current	Watts	50W
120V	0.46A	Color Temp	5000K (Cool)
208V	0.27A	Color Accuracy	71 CRI
240V	0.23A	L70 Lifespan	100,000
277V	0.20A	Lumens	6,855
Input Watts	55.2W	Efficacy	124.2 LPW

Technical Specifications

Listings

UL Listing:

Suitable for wet locations as a downlight

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

DLC Product Code: P00001794

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

LEDs:

Multi-chip, high-output, long-life LEDs

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

IES Classification:

The Type III distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

IP Rating:

Ingress Protection rating of IP66 for dust and water

Ambient Temperature:

Suitable For use in 40°C (104°F)

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Thermal Management:

Superior thermal management design with external Air-Flow fins provides maximum operational life, even in high ambient temperature environments

Housing:

Die cast aluminum housing, lens frame and mounting arm

Mounting:

Heavy-duty mounting arm with "O" ring seal & stainless steel screws

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High-temperature silicone gaskets

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Technical Specifications (continued)

Electrical

Surge Protection:

6kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2.

Driver:

Constant Current, Class 2, 1400mA, 100-277V, 50-60Hz, 0.8A, Power Factor 99%

THD:

6.1% at 120V, 9.4% at 277V

Power Factor:

99.6% at 120V, 96% at 277V

Other

Patents:

The WPLED™ design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at www.rablighting.com/legal#warranty

Equivalency:

Replaces 200W Metal Halide

Buy American Act Compliance:

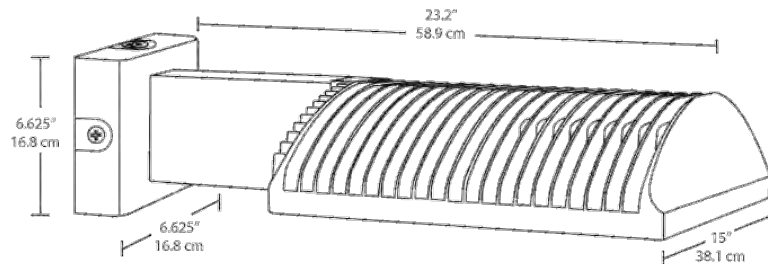
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical

BUG Rating:

B1 U0 G2

Dimensions



Features

- High performance LED light engine
- Maintains 70% of initial lumens at 100,000-hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- Replaces 400W MH
- 100 up to 277 Volts
- 5-Year, No-Compromise Warranty

Ordering Matrix

Family	Optics	Wattage	Color Temp	Mounting	Finish	Driver Options	Other Options
WPLED	3T	50					
	4T = Type IV	50 = 50W 78 = 78W	Blank = 5000K (Cool) N = 4000K (Neutral) Y = 3000K (Warm)	Blank = Arm FX = Flat Mount	Blank = Bronze W = White	Blank = Standard /480 = 480V /BL = Bi-Level /D10 = 0-10V Dimming /480/D10 = 480V 0-10V Dimming	Blank = Standard /PC = 120V Photocell /PC2 = 277V Photocell /PCT = 120-277V Twistlock Photocell /PCT4 = 480V Twistlock Photocell /PCS = 120V Swivel Photocell /PCS2 = 277V Swivel Photocell /PCS4 = 480V Swivel Photocell /WS2 = Multi-Level Motion Sensor (20 ft. mt. ht.) /WS4 = Multi-Level Motion Sensor (40 ft. mt. ht.) /LC = Lightcloud Controller



Color: Bronze

Weight: 34.8 lbs

Project: Malcolm Drilling	Type: B
Prepared By: HFR electric inc.	Date: 5-3-19

Driver Info		LED Info	
Type	Constant Current	Watts	105W
120V	0.89A	Color Temp	5000K (Cool)
208V	0.58A	Color Accuracy	70 CRI
240V	0.50A	L70 Lifespan	100,000
277V	0.44A	Lumens	12,476
Input Watts	108.9W	Efficacy	114.6 LPW

Technical Specifications

Listings

UL Listing:

Suitable for wet locations

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

DLC Product Code: P0000179D

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

LEDs:

Multi-chip, high-output, long-life LEDs

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warrantied to shift no more than 200K in CCT over a 5-year period

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

IES Classification:

The Type III distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

IP Rating:

Ingress Protection rating of IP66 for dust and water

Maximum Ambient Temperature:

Suitable for use in 40°C (104°F)

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Thermal Management:

Superior thermal management with external "Air-Flow" fins

Housing:

Die-cast aluminum housing, lens frame and mounting arm

Mounting:

Heavy-duty mounting arm with "O" ring seal & stainless steel screws

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High-temperature silicone gaskets

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Technical Specifications (continued)

Other

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at www.rablighting.com/legal#warranty

Patents:

The design of WPLED105 is protected by patents pending in US, Canada, China, Taiwan and Mexico

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical

BUG Rating:

B1 U0 G2

Electrical

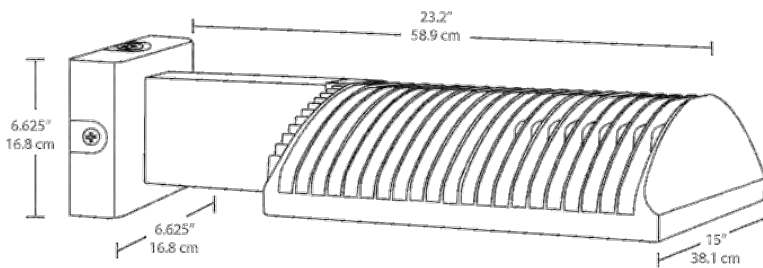
Drivers:

Two Drivers, Constant Current, Class 2, 1400mA, 100-277V, 50/60Hz, 0.8A, Power Factor 99%

THD:

7.9% at 120V, 16.2% at 277V

Dimensions



Features

- High performance LED light engine
- Maintains 70% of initial lumens at 100,000-hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- Replaces 400W MH
- 100 up to 277 Volts
- 5-Year, No-Compromise Warranty

Ordering Matrix

Family	Optics	Wattage	Color Temp	Mounting	Finish	Driver Options	Other Options
WPLED	3T	105					
	4T = Type IV	50 = 50W 78 = 78W	Blank = 5000K (Cool) N = 4000K (Neutral) Y = 3000K (Warm)	Blank = Arm FX = Flat Mount	Blank = Bronze W = White	Blank = Standard /480 = 480V /BL = Bi-Level /D10 = 0-10V Dimming /480/D10 = 480V 0-10V Dimming	Blank = Standard /PC = 120V Photocell /PC2 = 277V Photocell /PCT = 120-277V Twistlock Photocell /PCT4 = 480V Twistlock Photocell /PCS = 120V Swivel Photocell /PCS2 = 277V Swivel Photocell /PCS4 = 480V Swivel Photocell /WS2 = Multi-Level Motion Sensor (20 ft. mt. ht.) /WS4 = Multi-Level Motion Sensor (40 ft. mt. ht.) /LC = Lightcloud Controller



Color: Bronze

Weight: 34.8 lbs

Project: Malcolm Drilling	Type: C
Prepared By: HFR electric inc.	Date: 5-3-19

Driver Info		LED Info	
Type	Constant Current	Watts	150W
120V	1.31A	Color Temp	5000K (Cool)
208V	0.80A	Color Accuracy	71 CRI
240V	0.69A	L70 Lifespan	100,000
277V	0.60A	Lumens	18,464
Input Watts	155.8W	Efficacy	118.5 LPW

Technical Specifications

Listings

UL Listing:

Suitable for wet locations

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

DLC Product Code: P0000174K

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

LEDs:

Multi-chip, high-output, long-life LEDs

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warrantied to shift no more than 200K in CCT over a 5-year period

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

IES Classification:

The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semiCircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

IP Rating:

Ingress Protection rating of IP66 for dust and water

Maximum Ambient Temperature:

Suitable for use in 40°C (104°F)

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Thermal Management:

Superior thermal management with external "Air-Flow" fins

Housing:

Die-cast aluminum housing, lens frame and mounting arm

Mounting:

Heavy-duty mounting arm with "O" ring seal & stainless steel screws

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High-temperature silicone gaskets

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Technical Specifications (continued)

Other

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at www.rablighting.com/legal#warranty

Patents:

The design of WPLED150 is protected by patents pending in US, Canada, China, Taiwan and Mexico

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical

BUG Rating:

B1 U0 G3

Electrical

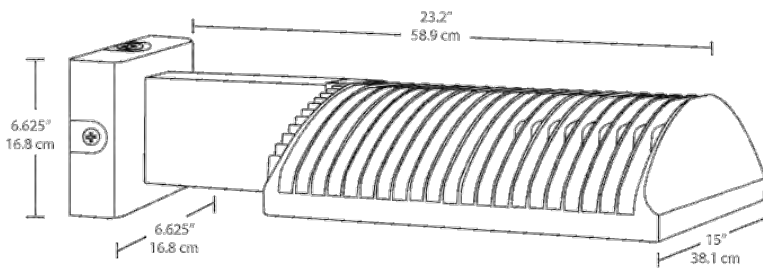
Driver:

One Driver, Constant Current, Class 2, 2100mA 100-277V, 50-60Hz, Power Factor 99%

THD:

4.7% at 120V, 13.3% at 277V

Dimensions



Features

- High performance LED light engine
- Maintains 70% of initial lumens at 100,000-hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- Replaces 400W MH
- 100 up to 277 Volts
- 5-Year, No-Compromise Warranty

Ordering Matrix

Family	Optics	Wattage	Color Temp	Mounting	Finish	Driver Options	Other Options
WPLED	4T	150					
	4T = Type IV	50 = 50W 78 = 78W	Blank = 5000K (Cool) N = 4000K (Neutral) Y = 3000K (Warm)	Blank = Arm FX = Flat Mount	Blank = Bronze W = White	Blank = Standard /480 = 480V /BL = Bi-Level /D10 = 0-10V Dimming /480/D10 = 480V 0-10V Dimming	Blank = Standard /PC = 120V Photocell /PC2 = 277V Photocell /PCT = 120-277V Twistlock Photocell /PCT4 = 480V Twistlock Photocell /PCS = 120V Swivel Photocell /PCS2 = 277V Swivel Photocell /PCS4 = 480V Swivel Photocell /WS2 = Multi-Level Motion Sensor (20 ft. mt. ht.) /WS4 = Multi-Level Motion Sensor (40 ft. mt. ht.) /LC = Lightcloud Controller



LED 10W & 13 Wallpacks. patent-pending thermal management system. 100,000 hour L70 lifespan. 5-year, no-compromise warranty.

Color: Bronze

Weight: 3.3 lbs

Project: Malcolm Drilling	Type: D
Prepared By: HFR electric inc.	Date: 5-3-19

Driver Info		LED Info	
Type	Constant Current	Watts	10W
120V	0.1A	Color Temp	5000K (Cool)
208V	0.07A	Color Accuracy	73 CRI
240V	0.06A	L70 Lifespan	100,000
277V	0.05A	Lumens	1,208
Input Watts	12.4W	Efficacy	97.4 LPW

Technical Specifications

Listings

UL Listing:

Suitable for Wet Locations as a Downlight. Suitable for Damp Locations as an Uplight. Wall Mount only. Suitable for Mounting within 4ft. of ground.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: PXP2JZLL

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warrantied to shift no more than 200K in CCT over a 5-year period

Color Uniformity:

RAB's of CCT (Correlated color temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Lumen Maintenance:

The LED will deliver 70% of its initial lumens at 100,000 hours of operation

Construction

Finish:

Formulated for high durability and long-lasting color

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in 40°C (104°F)

Housing:

Precision die cast aluminum housing, lens frame

Mounting:

Junction box

Green Technology:

Mercury and UV free. RoHS-compliant components.

Gaskets:

High-temperature Silicone

Other

Patents:

The LPACK design is protected under patents in the U.S. Pat. D608,040, Canada Pat. 130,243, China Pat. 200930183252.2, and pending patents in Taiwan and Mexico.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at www.rablighting.com/legal#warranty

Equivalency:

Equivalent to 70W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Technical Specifications (continued)

Optical

BUG Rating:

B1 U0 G0

Electrical

Driver:

Multi-chip 10W high output long life LED Driver
Constant Current, Class II, 120V-240V, 50/60/ Hz,
350mA

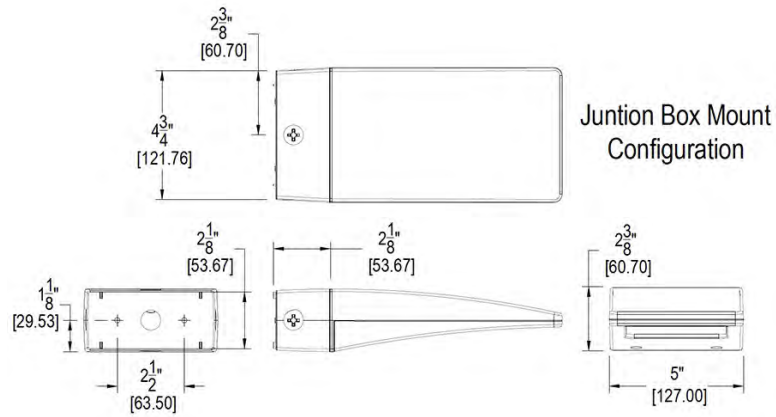
THD:

10.8% at 120V, 13.8% at 277V

Power Factor:

98.5% at 120V, 92.1% at 277V

Dimensions



Features

- High performance LED light engine
- Maintains 70% of initial lumens at 100,000-hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- 5-Year, No-Compromise Warranty



Color: Bronze

Weight: 32.3 lbs

Project: Malcolm Drilling	Type: E
Prepared By: HFR electric inc.	Date: 5-3-19

Driver Info		LED Info	
Type	Constant Current	Watts	105W
120V	0.89A	Color Temp	5000K (Cool)
208V	0.58A	Color Accuracy	70 CRI
240V	0.50A	L70 Lifespan	100,000
277V	0.44A	Lumens	12,476
Input Watts	108.9W	Efficacy	114.6 LPW

Technical Specifications

Listings

UL Listing:

Suitable for wet locations

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

DLC Product Code: P0000177E

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Dark Sky Conformance:

Conforms to (allows for conformance to) the IDA's fully shielding requirement, emitting no light above 90 degrees (with the exclusion of incidental light reflecting from fixture housing, mounts, and pole).

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

LEDs:

Multi-chip, high-output, long-life LEDs

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

IES Classification:

The Type III distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

Effective Projected Area:

EPA = 0.75

Maximum Ambient Temperature:

Suitable for use in 40°C (104°F)

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Thermal Management:

Superior thermal management with external "Air-Flow" fins

Lens:

Tempered glass lens included

Housing:

Die-cast aluminum housing, lens frame and mounting arm

Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be >4" to mount fixtures at 90° orientation.

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High-temperature silicone gaskets

IP Rating:

Ingress Protection rating of IP66 for dust and water

Technical Specifications (continued)

Construction

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Electrical

Surge Protection:

4kV

Drivers:

Two Drivers, Constant Current, Class 2, 1400mA, 100-277V, 50/60Hz, 0.8A, Power Factor 99%

THD:

7.9% at 120V, 16.2% at 277V

Power Factor:

99.6% at 120V, 94.5% at 277V

Other

Compatibility:

Compatible with Round Poles with a diameter of 2.5" to 6"

BAA Compliance:

Click www.rablighting.com/product/ALED3T105 USA for BAA compliance.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at www.rablighting.com/legal#warranty

Equivalency:

Replaces 320W Metal Halide

Buy American Act Compliance:

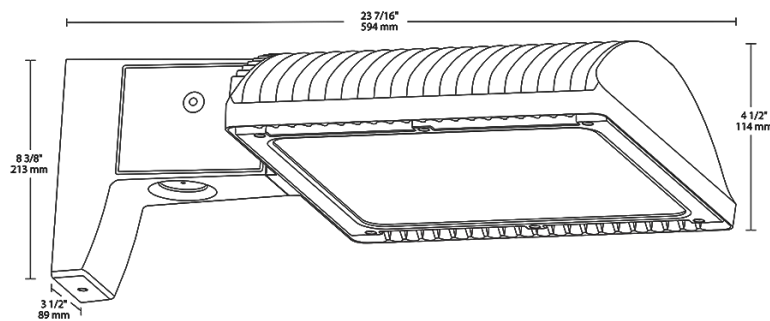
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical

BUG Rating:

B1 U0 G2

Dimensions



Features

- 66% energy cost savings vs. HID
- 100,000-hour LED lifespan
- 5-Year, No-Compromise Warranty

Ordering Matrix

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	3T	105						
	4T = Type IV	50 = 50W 78 = 78W	Blank = Pole mount SF = Slipfitter	Blank = 5000K (Cool) N = 4000K (Neutral) Y = 3000K (Warm)	Blank = Bronze RG = Roadway Gray W = White K = Black	Blank = 120-277V /480 = 480V /BL = Bi-Level /D10 = 0-10V Dimming	Blank = No Option /LC = Lightcloud® Controller /PCS = 120V Swivel Photocell /PCS2 = 277V Swivel Photocell /PCT = 120-277V Twistlock Photocell /PCS4 = 480V Swivel Photocell /PCT4 = 480V Twistlock Photocell /WS2 = Multi-Level Motion Sensor 20 ft. /WS4 = Multi-Level Motion Sensor 40 ft.	Blank = Standard USA = BAA Compliant



Color: Bronze

Weight: 32.9 lbs

Project: Malcolm Drilling	Type: F
Prepared By: HFR electric inc.	Date: 5-3-19

Driver Info		LED Info	
Type	Constant Current	Watts	150W
120V	1.31A	Color Temp	5000K (Cool)
208V	0.80A	Color Accuracy	71 CRI
240V	0.69A	L70 Lifespan	100,000
277V	0.60A	Lumens	18,464
Input Watts	155.8W	Efficacy	118.5 LPW

Technical Specifications

Listings

UL Listing:

Suitable for wet locations

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

DLC Product Code: P0000175F

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Dark Sky Conformance:

Conforms to (allows for conformance to) the IDA's fully shielding requirement, emitting no light above 90 degrees (with the exclusion of incidental light reflecting from fixture housing, mounts, and pole).

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

LEDs:

Multi-chip, high-output, long-life LEDs

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

IES Classification:

The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semiCircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

Effective Projected Area:

EPA = 0.75

Maximum Ambient Temperature:

Suitable for use in 40°C (104°F)

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Thermal Management:

Superior thermal management with external "Air-Flow" fins

Lens:

Tempered glass lens included

Housing:

Die-cast aluminum housing, lens frame and mounting arm

IP Rating:

Ingress Protection rating of IP66 for dust and water

Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be >4" to mount fixtures at 90° orientation.

Reflector:

Specular vacuum-metallized polycarbonate

Technical Specifications (continued)

Construction

Gaskets:

High-temperature silicone gaskets

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Electrical

Surge Protection:

4kV

Driver:

One Driver, Constant Current, Class 2, 2100mA 100-277V, 50-60Hz, Power Factor 99%

THD:

4.7% at 120V, 13.3% at 277V

Power Factor:

99.5% at 120V, 93.7% at 277V

Optical

BUG Rating:

B1 U0 G3

Other

BAA Compliance:

Click www.rablighting.com/product/ALED4T150 USA for BAA compliance.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at www.rablighting.com/legal#warranty

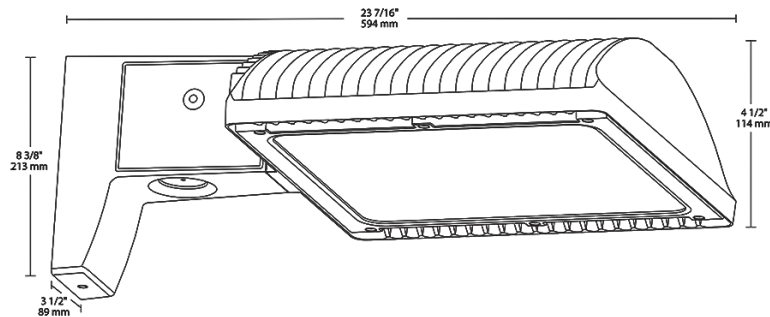
Equivalency:

Equivalent to 400W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

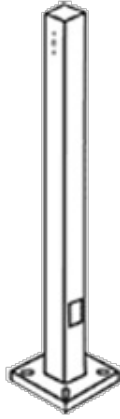
66% energy cost savings vs. HID

100,000-hour LED lifespan

5-Year, No-Compromise Warranty

Ordering Matrix

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	4T	150						
	4T = Type IV	50 = 50W 78 = 78W	Blank = Pole mount SF = Slipfitter	Blank = 5000K (Cool) N = 4000K (Neutral) Y = 3000K (Warm)	Blank = Bronze RG = Roadway Gray W = White K = Black	Blank = 120-277V /480 = 480V /BL = Bi-Level /D10 = 0-10V Dimming	Blank = No Option /LC = Lightcloud® Controller /PCS = 120V Swivel Photocell /PCS2 = 277V Swivel Photocell /PCT = 120-277V Twistlock Photocell /PCS4 = 480V Swivel Photocell /PCT4 = 480V Twistlock Photocell /WS2 = Multi-Level Motion Sensor 20 ft. /WS4 = Multi-Level Motion Sensor 40 ft.	Blank = Standard USA = BAA Compliant
	3T = Type III	105 = 105W						
	2T = Type II	125 = 125W 150 = 150W						



Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

Weight: 136.7 lbs

Project: Malcolm Drilling	Type: Pole
Prepared By: HFR electric inc.	Date: 5-3-19

Technical Specifications

Listings

CSA Listed:

Suitable for wet locations

Construction

Shaft:

46,000 p.s.i. minimum yield.

Hand Holes:

Reinforced with grounding lug and removable cover

Base Plates:

Slotted base plates 36,000 p.s.i.

Shipping Protection:

All poles are shipped in individual corrugated cartons to prevent finish damage

Color:

Bronze powder coating

Height:

20 FT

Weight:

137 lbs

Gauge:

11

Wall Thickness:

1/8"

Shaft Size:

4"

Hand Hole Dimensions:

3" x 5"

Bolt Circle:

8 1/2"

Base Dimension:

8"

Anchor Bolt:

Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

Anchor Bolt Templates:

WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available www.rablighting.com/downloads/instructions/poles4.pdf target="_blank".

Pre-Shipped Anchor Bolts:

Bolts can be pre-shipped upon request for additional freight charge

Max EPA's/Max Weights:

- 70MPH 8.3 ft./240 lb.
- 80MPH 5.6 ft./165 lb.
- 90MPH 3.6 ft./110 lb.
- 100MPH 2.2 ft./75 lb.
- 110MPH 1.0 ft./45 lb.
- 120MPH 0.2 ft./20 lb..

Accessories:

Anchor Bolts: www.rablighting.com/product/ABK4-11

Technical Specifications (continued)

Other

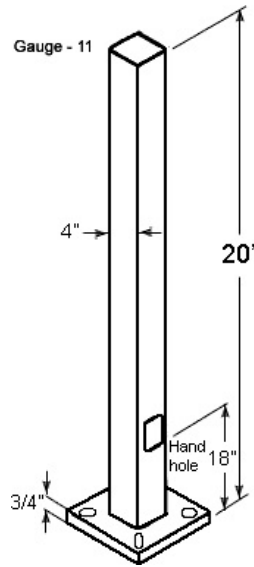
Terms of Sale:

Pole Terms of Sale is available .

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions

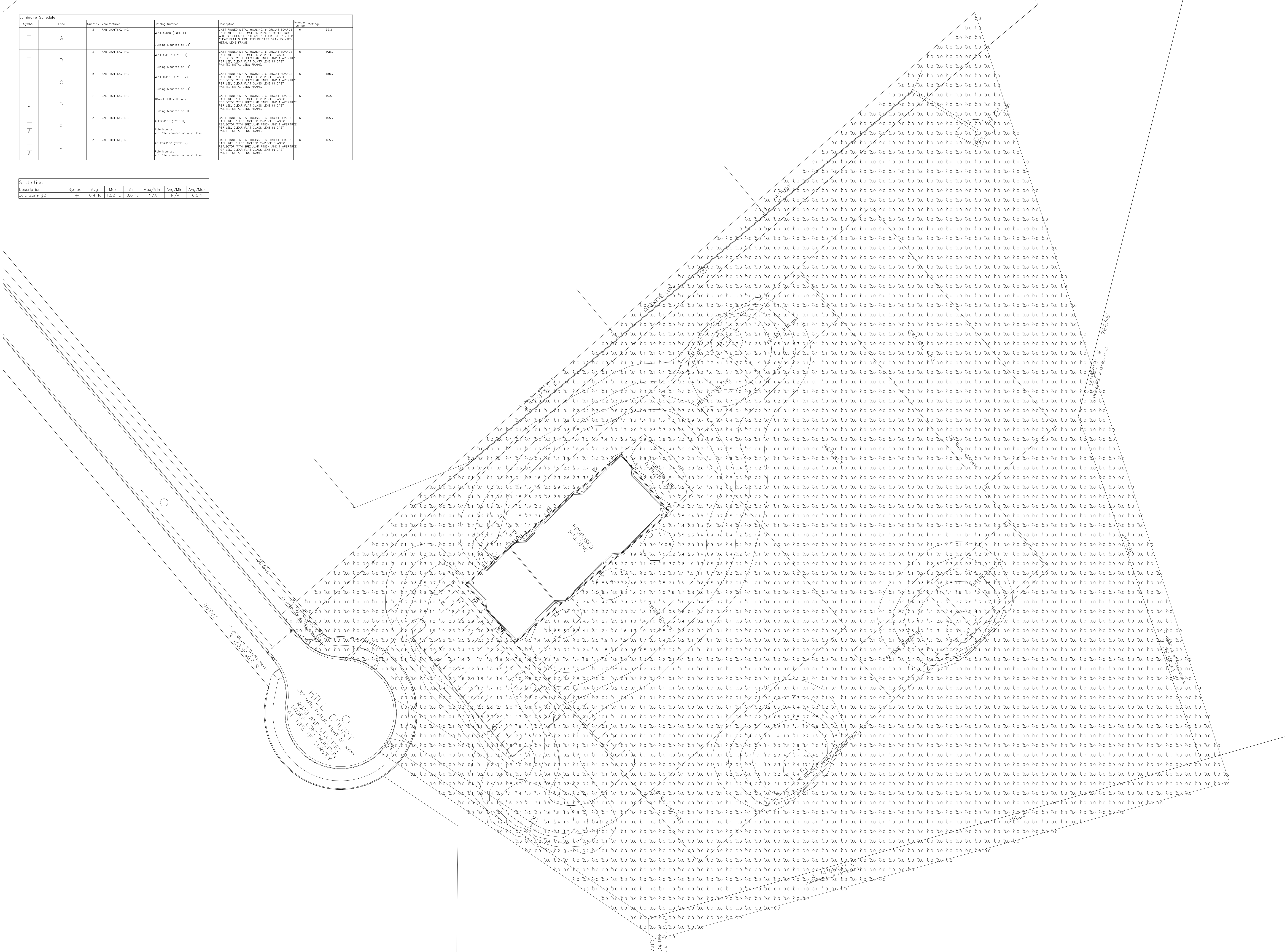


Features

- Designed for ground mounting
- Heavy duty TGIC polyester coating
- Reinforced hand holes with grounding lug and removable cover for easy wiring access
- Anchor Bolt Kit includes pole cap and base cover (sold separately)
- Custom manufactured for each application

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Wattage
	A	2	RAB LIGHTING, INC.	WLED3150 (TYPE II)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST PAINTED METAL LENS FRAME.	6	55.2
	B	2	RAB LIGHTING, INC.	WLED3105 (TYPE II)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST PAINTED METAL LENS FRAME.	6	105.7
	C	5	RAB LIGHTING, INC.	WLED4150 (TYPE IV)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST PAINTED METAL LENS FRAME.	6	156.7
	D	2	RAB LIGHTING, INC.	WLED4150 (TYPE IV)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST PAINTED METAL LENS FRAME.	6	105.7
	E	3	RAB LIGHTING, INC.	ALED3105 (TYPE II)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST PAINTED METAL LENS FRAME.	6	105.7
	F	3	RAB LIGHTING, INC.	WLED4150 (TYPE IV)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST PAINTED METAL LENS FRAME.	6	156.7

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Calc. Zone #2	+	0.4 fc	12.2 fc	0.0 fc	N/A	N/A	0.0:1



RESOLUTION 2019-30

RESOLUTION APPROVING SITE PLAN AND ARCHITECTURAL REVIEW FOR CONSTRUCTION OF AN INDUSTRIAL BUILDING AT 101 W BOXHORN DRIVE MALCOLM DRILLING, APPLICANT

WHEREAS, pursuant to Section 100-601 of the Zoning Code, an application for a Site Plan and Architectural Review has been filed in the office of the Village Clerk for an industrial building with 18,994 square feet, a permitted use within the M-4, Medium/Heavy Industrial, located OFF OF Hill Court, and

WHEREAS, the application has been submitted by Malcolm Drilling, and

WHEREAS, the plan of operation and plans have been reviewed and recommended by the Village Plan Commission.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the Site Plan and Architectural Review for the aforementioned project based upon the plan of operation and plans submitted to the Village.

NOW, THEREFORE, BE IT FURTHER RESOLVED this Site Plan and Architectural Review approval shall be subject to the following conditions:

1. Site Plan and Architectural Review approval for the construction of an industrial building with 18,994 square feet with site improvements are subject to all plans and information submitted by the property owner, Briohn Design Group, and other subconsultants with all plans and information on file in the office of the Zoning Administrator. The plans may be modified with the approval of the Zoning Administrator and Supervisor of Inspections to conform to Building and Fire Safety Codes and all plans may be further modified to conform to Village design standards. However, the basic layout and design of the site shall remain unchanged.
2. Prior to the start of any site construction or issuance of a building permit, whichever occurs first, the following shall occur:
 - a. Approval of the site construction and building plans by the Fire Chief, which may include, but are not limited to internal fire suppression, external fire department connection location, Knox Box requirements, and hydrant locations.
 - b. Approval of the site construction plans by the Utilities Director.
 - c. Approval of building plans by the Supervisor of Inspections after receipt of approval of building plans by the State of Wisconsin.
 - d. The Supervisor of Inspections, the Utilities Director, the Public Works Director and the Village Engineer shall approve all site engineering and utility plans and documents, including a complete Erosion Control Plan.
 - e. Approval by the Zoning Administrator of the curbing related to the parking area in the front of the building.
 - f. Approval by the Village Engineer of any matter relating to stormwater management.
 - g. Approval by the Village Engineer for any proposed grading extending beyond the proposed lot lines.

- h. Approval by the Village Engineer and Zoning Administrator of a berm along the northeast lot line.
 - i. Approval by the Zoning Administrator of the perimeter fencing.
 - j. Approval of directional, no parking signs and other on-site traffic control signs locations by the Police Chief, which also may include pavement markings.
 - k. The parcel must be created via a certified survey map as approved by the Village.
3. Furthermore, in addition to the requirements within Condition #2, before any site construction all Village Department Heads shall verify in writing they have approved the final plans and drawings within their purview; a pre-construction meeting shall be held with the applicant's representatives and contractors, and Village Department Heads and representatives; and all required fees owed by the applicant shall be paid to the Village.
 4. Prior to temporary occupancy issuance, and if needed prior to final occupancy permit, the following shall occur:
 - a. Completion of all site grading in accordance with submitted and approved plans.
 - b. Completion of the building in accordance with approved plans and all applicable codes.
 - c. Completion of paving of driveways and parking lots, including parking space pavement markings and all other pavement markings including handicapped parking signs, and installation of on-site traffic control signs.
 - d. Completion of all utility connections.
 5. Prior to final occupancy permit, which shall be issued no later than 120 days after any temporary occupancy permit, the following shall occur:
 - a. Completion of all items required in Condition No. 4.
 - b. Installation of dumpster enclosure, site lighting and site landscaping, as shown on approved plans with verification by the zoning administrator.
 6. All on-site signs shall be approved by separate review and permit. The future buildings shown on the submitted application materials shall be subject to site plan and architectural review requirements as set forth in the zoning code in effect at the time of submittal.

NOW, THEREFORE, BE IT FURTHER RESOLVED the applicant, upon the approval of this Site Plan and Architectural Review shall agree to accept the same in writing.

Passed and dated this 19th day of June, 2019.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Judy A. Taubert, Village Clerk

The remainder of this page left intentionally blank.

ACCEPTANCE

This Site Plan and Architectural Review is accepted, and permittee agrees to abide by the terms thereof.

Village of Mukwonago

By: _____
Representative

Malcolm Drilling

By: _____
Owner/Agent

Print Name: _____



Village of Mukwonago

Office of the Village Planner

440 River Crest Court, Mukwonago, Wisconsin 53149
(262) 363-6420 x.2111

www.villageofmukwonago.com
planner@villageofmukwonago.com

Date: June 5, 2019

To: Fred Winchowky, Village President
Plan Commissioners

Cc: John Weidl, Village Administrator (via email); Judy Taubert, Village Clerk (via email); Bob Harley, Supervisor of Inspections (via email); Mark Blum, Village Attorney (via email); Jerad Wegner, Village Engineer (via email); Kevin Schmidt, Police Chief (via email); Jeff Stein, Fire Chief (via email); Ron Bittner, Public Works Director (via email); Matthew Sween, applicant (via email)

From: Tim Schwecke, AICP; Interim Village Planner

Subject: Touchpad Electronics review

Meeting: June 11, 2019 Plan Commission meeting

Property location 101 W Boxhorn Drive (Corner of STH 83 and Southside of Boxhorn Drive)

Current zoning M-4 (Medium - Heavy Industrial)

General description Touchpad Electronics is proposing a 22,500 square foot industrial building with a potential expansion of 25,500 square feet for a total of 48,000 square feet. The building will be used for administrative offices, manufacturing, storage, and shipping. Touchpad is currently located in the village; the proposed new facility will become their new headquarters.

Parcel The subject property is currently part of a larger parcel in the industrial park. A certified survey map (CSM) will be prepared to create the parcel and submitted for village review. The proposed parcel will be about 3.786 acres.

Dimensional standards The proposed building complies with all relevant dimensional standards, including building height, setbacks and coverage.

Architectural review The exterior walls will consist of pre-cast concrete wall panels, with tinted window glazing in an aluminum window framing. The paint scheme uses three color tones with canopy accents at the office entry area, extending on both the north and east elevations. The proposed materials comply with the standards in the M-4 district.

Parking Two parking areas are planned: 20 spaces on the back of the building and 32 in the front. Future parking areas are also depicted on the site plan to accommodate any future building expansions.

As set forth in s. 100-402(f)(5) of the zoning code, all vehicle use areas with parking for 20 or more vehicles on a subject property, must be constructed with full concrete and gutter surrounding the vehicle use areas (both driveways and parking areas). The Plan Commission will determine if it is acceptable to not require curbing in those area that could be impacted by a building expansion, that may or may not happen. The plans may need to be revised based on that determination.

Outdoor storage There will be no outdoor storage

Outdoor lighting Parking lots will be lighted with a series of light poles with an overall height of 23 feet. (The maximum height is 25 feet.) As set forth in s. 100-601(e) of the zoning code, lighting levels shall not exceed zero footcandle at the lot line. The photometric plan submitted with the application shows compliance with that standard.

Landscaping plan Staff has reviewed the landscaping plan and has determined it complies with the landscaping requirements.

Village Engineer Review The Village Engineer has reviewed the preliminary storm water management plan and has determined that the village's requirements can be met. When a full stormwater management plan and civil plan are submitted, they will perform a detailed technical review. The review letter is attached.

Interdepartmental Review Conditions of approval are incorporated in the resolution to address comments made by village departments, including fire, police, public works, and utilities. Below is a summary of comments:

1. A fire department connection (FDC) as approved by the fire chief is required.
2. Will they install an 8-inch lead to the building?
3. Need an additional fire hydrant to comply with a maximum distance of 300 feet between hydrants.
4. KNOX Box location to be approved by the fire chief.
5. A sampling manhole is required at the lot line per the utility department.
6. All private hydrants must be painted yellow to differentiate from public hydrants (red).

Public notice Aside from being included on the meeting agenda, no other public notice is required.

Potential motion Recommend to the Village Board the approval of the proposed project as set forth in the draft Resolution 2019-28

Attachments:

1. Application materials
2. Draft Resolution 2019-28

DESCRIPTION OF PROPOSAL FOR A NEW 22,500 SQUARE FOOT SINGLE USER BUILDING TO BE CONSTRUCTED FOR TOUCHPAD ELECTRONICS, INC., IN PROPOSED INDUSTRIAL PARK IN MUKWONAGO

May 9, 2019

Rob Stensberg of Briohn Design Group, LLC

Domenico Ferrante of Briohn Design Group, LLC

Peyton Paquin of Briohn Building Corporation

3885 N. Brookfield Road, Suite 200

Brookfield, Wisconsin 53045

SUBMITTED: On behalf of the building owner/occupant, Touchpad Electronics, LLC:

BRIOHN is submitting this "Description of Proposal" on behalf of Touchpad Electronics, LLC. Briohn Design Group LLC and Briohn Building Corp are acting as the representative applicant. The Village of Mukwonago Plan Commission Application is included, as well as supporting documents required by the Village of Mukwonago, which includes site plan, building plan, lighting plan with fixture cut sheets, utility plan, site grading plan, storm water management plan (as required) and detailed landscaping plan.

The Description of the Proposal and the Plan of Operation:

Touchpad Electronics proposes to construct a 22,500 square foot industrial building with the potential for a future addition to make the total building size approximately 48,000 square feet. Touchpad Electronics is a manufacturer of a variety of electronic components, which are further specified in the Touchpad Electronics proposed land use report included with Plan of Operation. Touchpad is currently located in Mukwonago; the proposed new facility will become their new headquarters.

The building will house fabrication, powder coating, and light assembly, and office areas for the business, sales, engineering, and technical support staff. Touchpad's industrial coating processes are state of the art, and no hazardous air or water discharge is created.

Touchpad does not plan on outside storage. Trash and recyclables will be stored inside the building.

The facility will be constructed of painted pre-cast concrete insulated wall panels for all four sides of the proposed building, with insulated tinted glazing, and clear anodized aluminum window framing featuring some clerestory windows as well. The paint scheme uses three color tones and provides canopy accents at the office entry area, extending on both the north and east elevations. The southeast corner of the building will feature an outdoor patio seating area immediately adjacent to the employee break and lounge area. The interior space will be able to open-up to the outside during our warmer weather months. Touchpad proposes to include wall mounted signs as well on both the east and north facades near the office and entry. Please see attached building elevations.

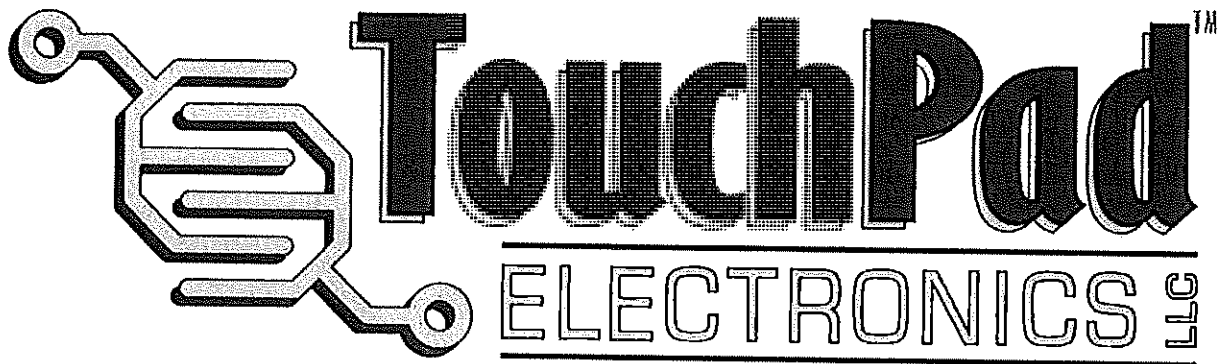
We are assuming approximately 43 employees on 1 shift. Operations would be from 6AM – 5 PM Monday through Friday, and an occasional Saturday shift if the demand is there. Currently there are 2-3 deliveries and shipments a day utilizing Fed Ex/UPS/DHL as service providers. There is limited need for visitor parking. We have included 52 car parking stalls, to meet main shift, overlap, and visitor spaces. We have reserved adequate space for additional future car parking stalls to meet the village requirements.

We respectfully ask the Village of Mukwonago to review and evaluate our proposal including the submitted drawings and other support materials. We believe that the proposed new building will not only meet Touchpad Electronics needs and expectations but the Village of Mukwonago as well. We look forward to your approval and our continued mutual success and appreciate the assistance provided and afforded by the Village of Mukwonago in the approval process. Please contact us if you have any questions or need additional information.

Sincerely,
Rob Stensberg, AIA
Project Architect, Briohn Design Group LLC

Dom Ferrante, AIA
Principal-In-Charge, Briohn Design Group LLC

Peyton Paquin PM
Project Manager, Briohn Design Group LLC

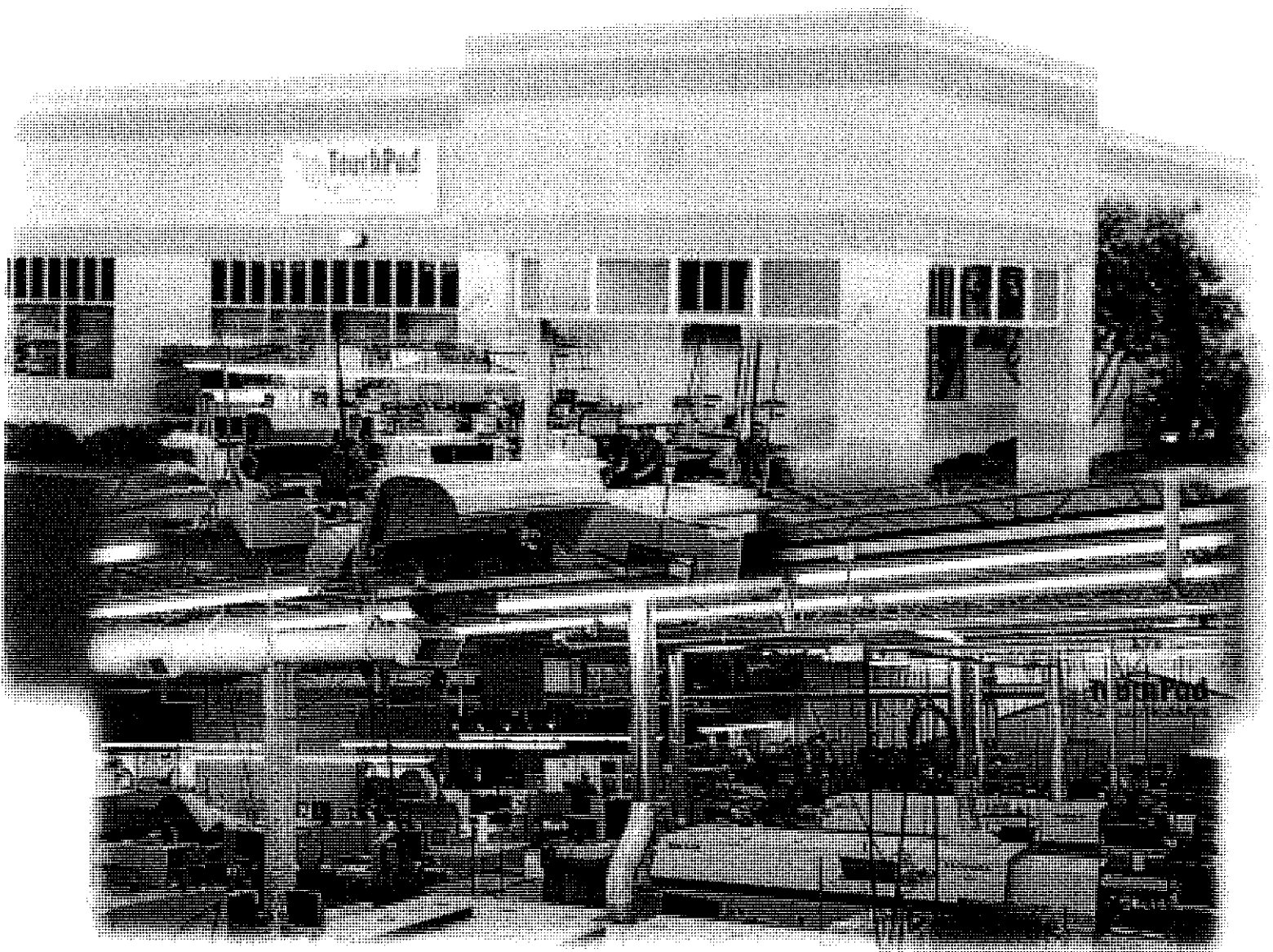


Proposed Land Use Activities
For New Engineering and Production
Facility

TID #5 Business Park
Mukwonago, WI

TouchPad Electronics, LLC.
421 McKenzie Drive
Mukwonago, WI 53183

May 2019





This report details the activities planned for the proposed new engineering and production facility in Mukwonago, Wisconsin. In general, the property will be used for the designing and manufacturing of electronics, and electronic assemblies.

A building will be constructed to house the entire organization. Personnel working in the office will engage in the following specific activities:

- Day to day project management of engineering and manufacturing projects
- Accounting and general administrative functions
- Business development and marketing
- Estimating and pursuing new project opportunities
- Managing the equipment storage and maintenance facilities that will be constructed on the property
- Engineering design work
- Parking areas for staff automobiles will be located on the site

The manufacturing portion of the facility will carry out the following activities:

- Routine maintenance of manufacturing equipment including:
 - Placement machines
 - X-Ray
 - Reflow Ovens
 - Soldering machines
 - Machining equipment
 - Grout mixing plants and silos
 - Small equipment including compressors etc.
- Light fabrication operations that will include:
 - Soldering
 - Operation of electrical and air powered hand tools
 - Machine operation
 - Light assembly work
 - Applying industrial coatings
 - Utilizing scissor lift to position materials, supplies and equipment
- Storage of equipment and materials including:
 - Electronic components
 - Solder
 - Packaging materials
 - Printed circuit boards
 - Fabricated parts and components.
 - Assembly, testing and troubleshooting of electronic assemblies
 - Office supplies and other consumables.

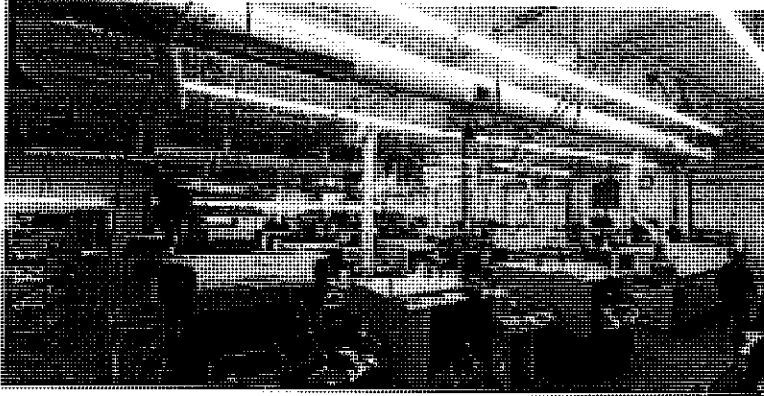
Open air area of the site will be used for:

- Outdoor and visible activities including parking and recreating/eating in outdoor seating area.

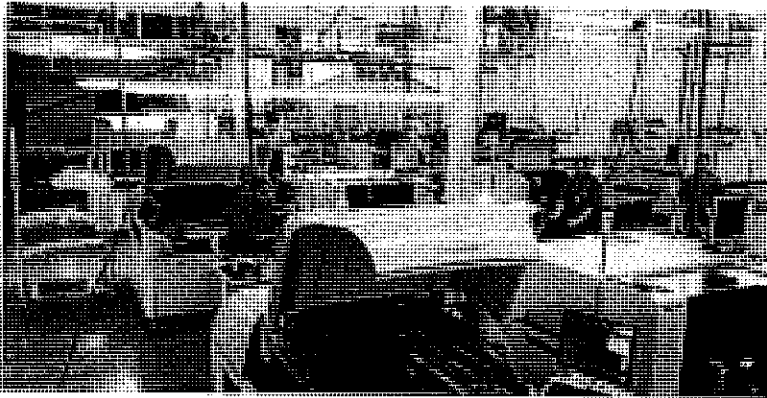
The facility will serve as a shipping and receiving point for equipment and materials. Shipping and receiving activities will include:

- Loading and unloading of delivery trucks and trailers
- Preparing and staging materials for delivery to customers
- Packaging of materials for shipment

Existing Facility located at 421 McKenzie Dr. Mukwonago, WI.



Manufacturing Floor



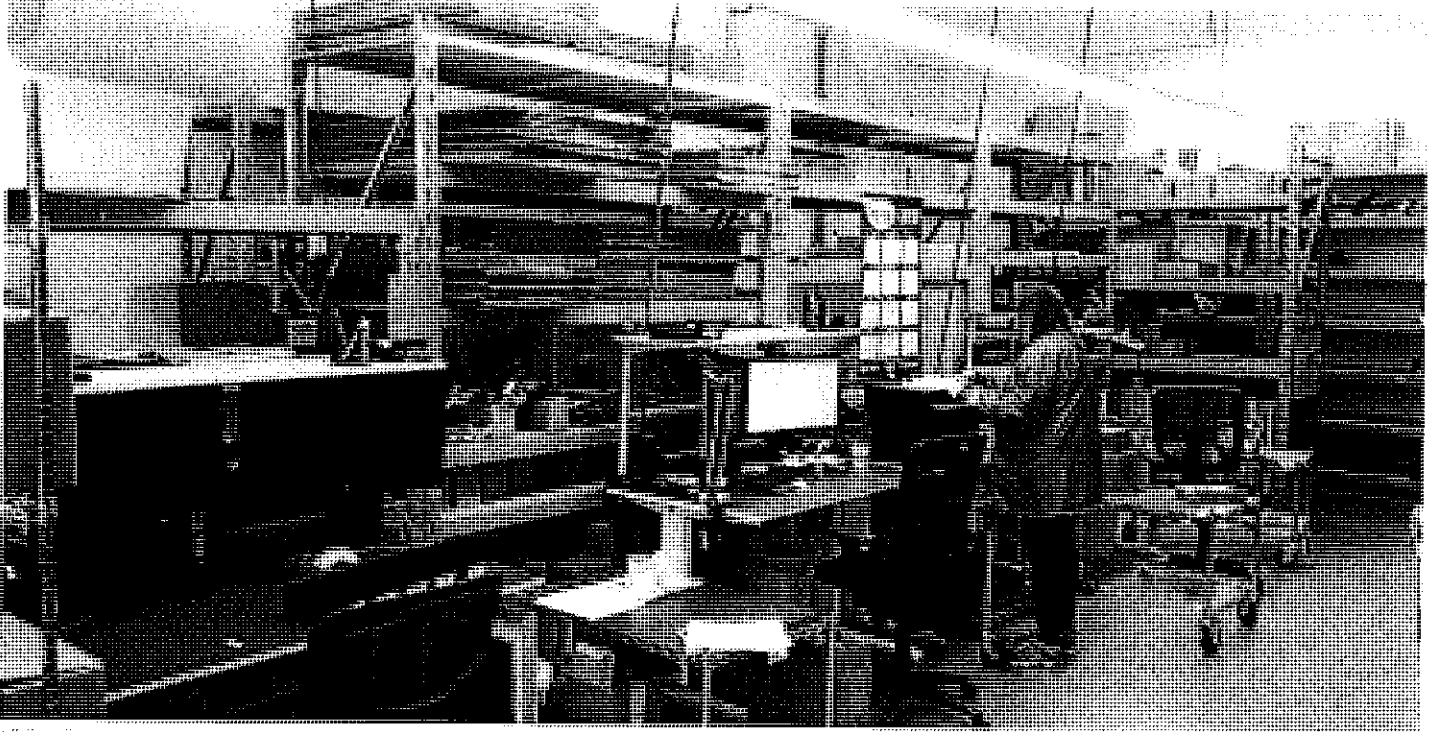
Manufacturing Floor



Manufacturing Floor



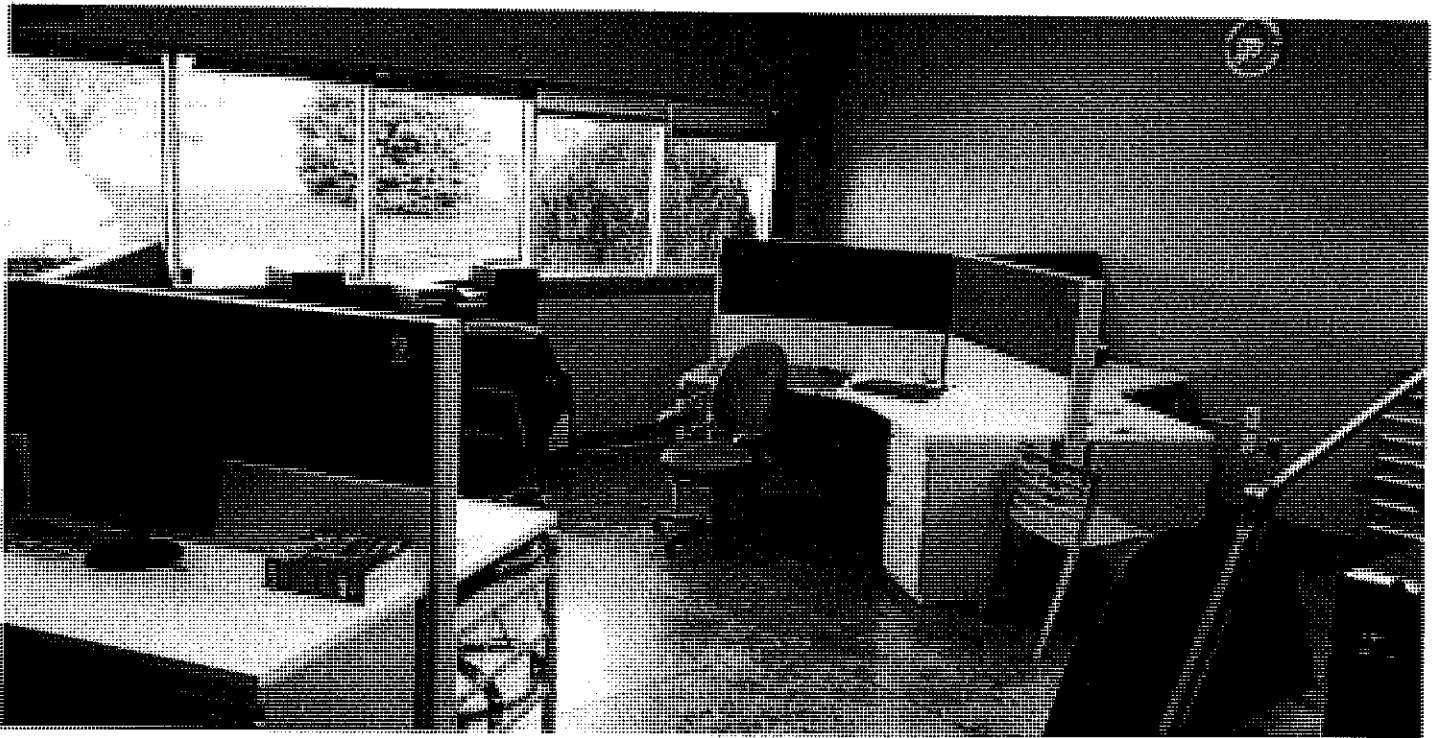
Shipping and Receiving



Shipping and Receiving



Office and Project management



Engineering



Outside of our facility



Outside of our facility

PROPOSED INDUSTRIAL BUILDING FOR:

TOUCHPAD ELECTRONICS

W. BOXHORN DRIVE
MUKWONAGO, WISCONSIN



SHEET INDEX	
0-GENERAL	TITLE SHEET
1-CIVIL	
C1.0	SITE PLAN
C2.0	SITE GRADING AND UTILITY PLAN
C3.0	EROSION CONTROL
C4.0	FIRE DEPARTMENT EXHIBIT
2-LANDSCAPING	
L1.0	OVERALL LANDSCAPE PLAN
L1.1	ENLARGED LANDSCAPE PLAN
L1.2	LANDSCAPE DETAILS, NOTES AND SCHEDULE
4-ARCHITECTURAL	
A1.1	FLOOR PLANS
A5.1	EXTERIOR ELEVATIONS
A5.2	EXTERIOR PERSPECTIVES
A5.3	EXTERIOR PERSPECTIVES
7-ELECTRICAL	
E1.0	EXTERIOR LIGHTING AND PHOTOMETRIC PLAN
E1.1	PRODUCT SPECS

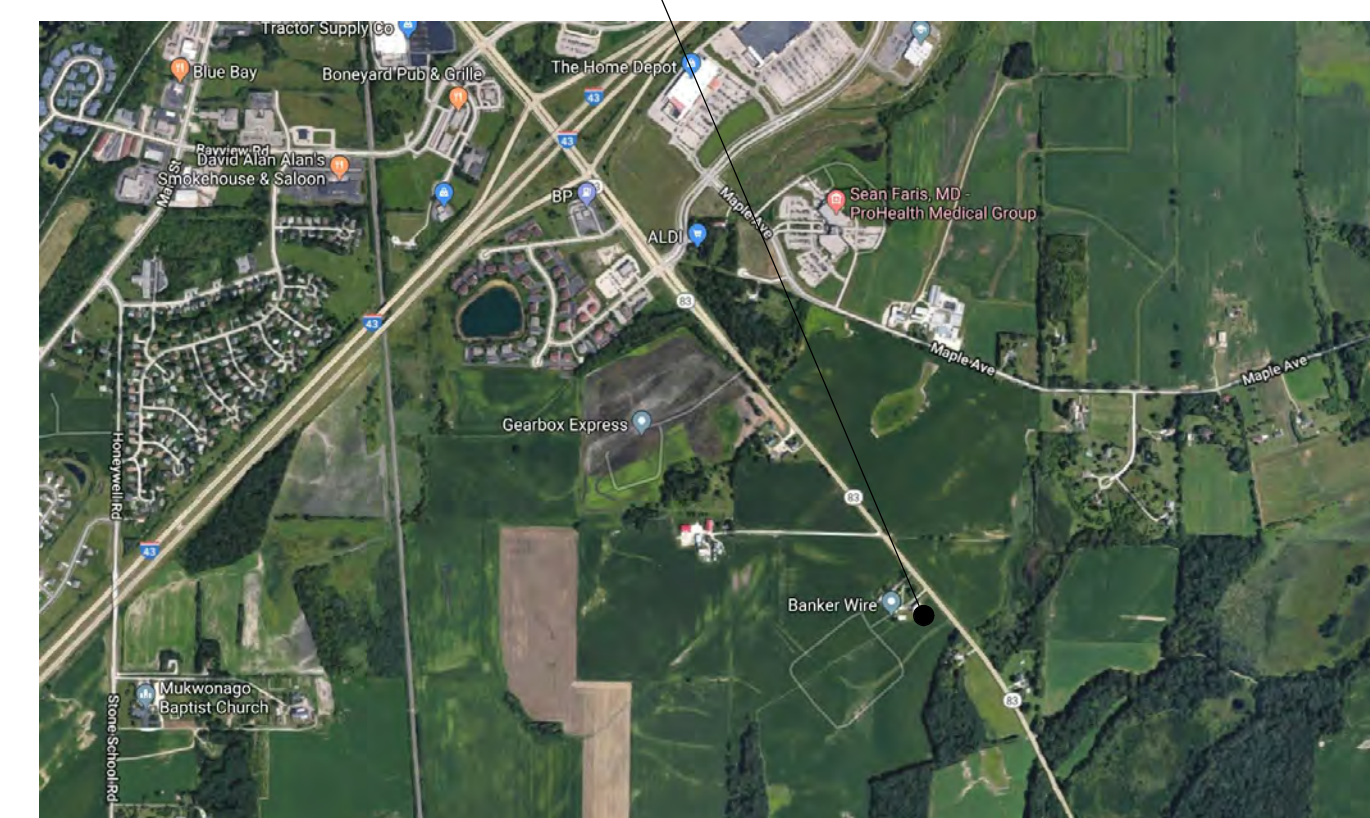
SITE INFORMATION:

TOTAL SITE AREA:	3.786 ACRES
TOTAL DISTURBED AREA (THIS PROJECT):	1.44 AC.
TOTAL SITE EXISTING IMPERVIOUS AREA:	0.00 AC.
TOTAL SITE PROPOSED IMPERVIOUS AREA:	1.44 AC.
TOTAL GREENSPACE PROPOSED:	2.34 AC. = 61.9%
TOTAL BUILDING FOOTPRINT:	22,500 SF
ZONING:	M-4 MED/HEAVY INDUSTRIAL DISTRICT
SETBACKS:	SEE CIVIL
PARKING (REGULAR):	50
PARKING (HANDICAP):	2
TOTAL PARKING STALLS:	52
(SEE CIVIL FOR FUTURE SITE INFORMATION)	

PLAN COMMISSION SUBMITTAL
MAY 9, 2019

OWNER : TOUCHPAD ELECTRONICS Matthew R. Sween 421 MCKENZIE ROAD MUKWONAGO, WI 53149 (262) 378-3000 PHONE	GENERAL CONTRACTOR : BRIOHN BUILDING CORPORATION Peyton Paquin 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	ARCHITECT : BRIOHN DESIGN GROUP LLC Domenico Ferrante, AIA Robert Stensberg, AIA 3885 N. BROOKFIELD RD., SUITE 200 BROOKFIELD, WISCONSIN 53045 (262) 790-0500 PHONE (262) 790-0505 FAX	STRUCTURAL ENGINEER: StrucRite Boyd E. Coleman III, PE 805 CLINTON ST. WAUKESHA, WI 53186 (262) 549-3222 PHONE (262) 896-2079 FAX	CIVIL ENGINEER: C.J. ENGINEERING Christopher A. Jackson, PE, PLS 9205 W. CENTER STREET, SUITE 214 MILWAUKEE, WI 53222 (414) 443-1312 x222 PHONE (414) 940-4450 MOBILE
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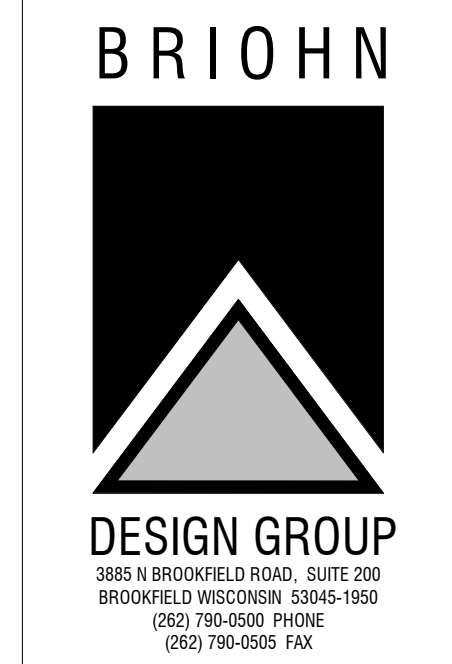
PROJECT LOCATION:



PROJECT INFORMATION:

CODE:	SPS 360-366 WISCONSIN COMMERCIAL BUILDING CODE (IBC 2015, IECC 2015, IEBC 2015, IMC 2015 AND IFGC 2009) SPS 314 FIRE PREVENTION SPS 316 ELECTRICAL SPS 381-387 PLUMBING
OCCUPANCY:	PRIMARY F-1 (MODERATE HAZARD OCCUPANCY) SECONDARY B (OFFICE/BUSINESS) SECONDARY S-1 (MODERATE HAZARD STORAGE)
CLASS OF CONSTRUCTION:	TYPE 2B
SPRINKLER SYSTEM:	FULL - NFPA 13
FLOOR LEVELS:	1
NUMBER OF STORIES	1+MEZZANINE
TOTAL SITE AREA:	164,918 SF 3.786 ACRES
TOTAL BUILDING AREA:	22,500 SF

NOTE:
ALL MECHANICAL, ELECTRICAL,
PLUMBING AND FIRE SPRINKLER
ENGINEERING BY DESIGN-BUILD
CONTRACTORS



TITLE SHEET

TOUCHPAD ELECTRONICS
PROPOSED NEW BUILDING:
W. BOXHORN DRIVE
MUKWONAGO, WI

JOB: 3124
DRAWN: RS
CHECKED: DF
DATE: 5/9/2019

SHEET:
T1.0

LEGAL DESCRIPTION:
 PART OF OUTLOT 1 OF CERTIFIED SURVEY MAP NO 4773 BEING A PART OF THE
 NORTHEAST 1/4, SOUTHWEST 1/4, AND NORTHWEST 1/4 OF
 SECTION 1, TOWNSHIP 4 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO,
 WALWORTH COUNTY, WISCONSIN.

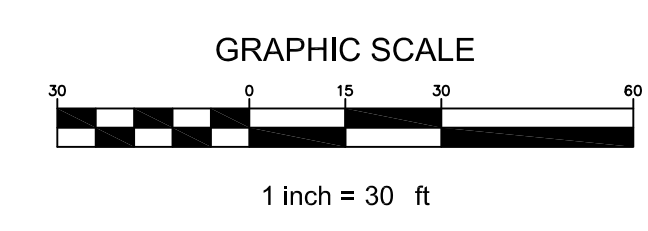


TOUCHPAD
 BOXHORN DRIVE MUKWONAGO, WI

NOTES

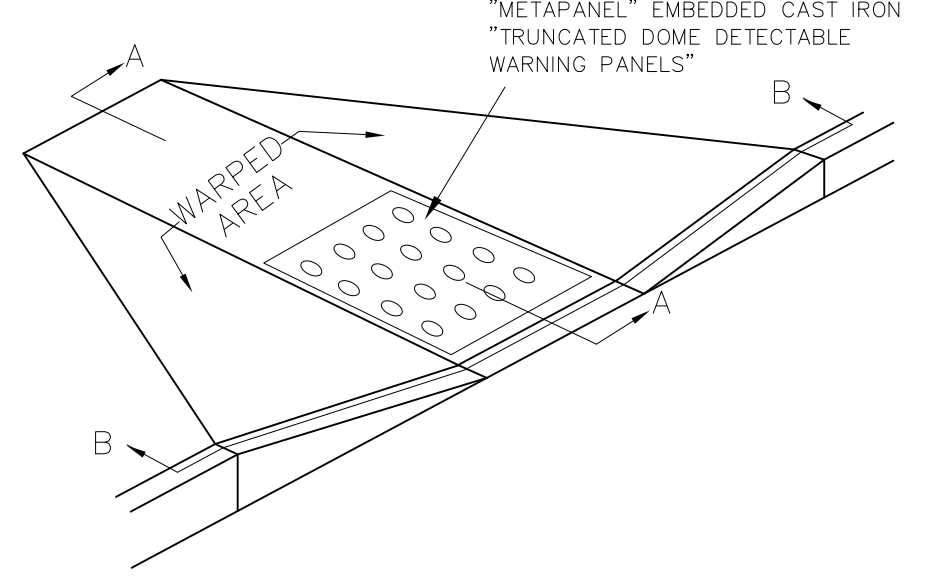
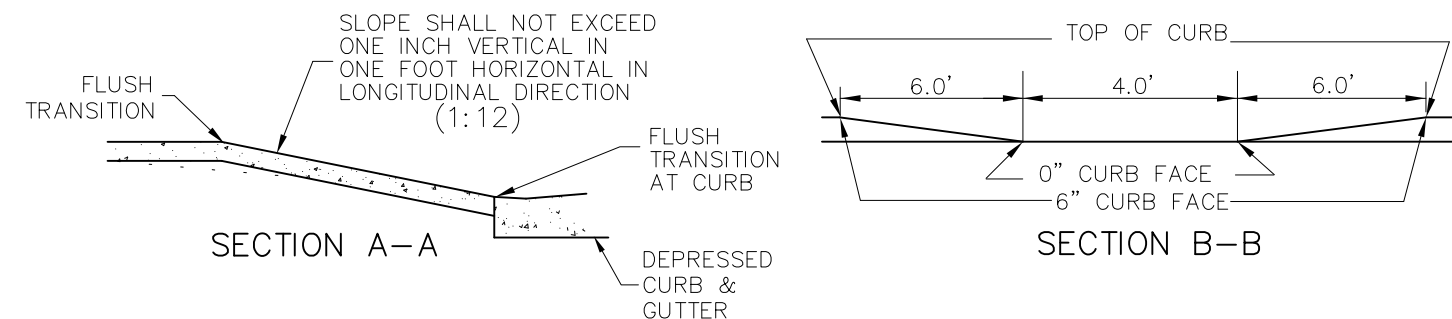
1. NO LEGAL DESCRIPTION EXISTS FOR SUBJECT PROPERTY AT TIME OF SURVEY. LANDS SHOWN ON SUBJECT PROPERTY CURRENTLY DESCRIBED AS PART OF OUTLOT 1 OF CSM 4773.
2. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
3. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55127001250, WITH A DATE OF IDENTIFICATION OF 10/2/2009, WHICH IS A PANEL THAT IS NOT PRINTED IN THE FIRM MAP DATABASE, IN COMMUNITY NO. 550485, THE VILLAGE OF MUKWONAGO, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
4. SURVEY DATUM: COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), WALWORTH COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)). NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88(2011)). USE THE WISCONSIN CONTINUALLY OPERATING REFERENCE STATIONS (WSCORS & GEOID 12A).

LEGEND		
— SAN —	□ ELECTRIC TRANSFORMER	⊗ HYDRANT
— ST —	□ ELECTRIC METER	⊗ WATER VALVE
— W —	□ ELECTRIC PEDESTAL	⊗ GAS VALVE
— G —	□ TELEPHONE BOX AT GRADE	⊗ MANHOLE
— TEL —	□ TELEPHONE PEDESTAL	⊗ STORM MANHOLE
— E —	□ TV PEDESTAL	⊗ CATCH BASIN
— FO —	□ GAS METER	⊗ CURB INLET
— / —	□ AIR CONDITIONER	⊗ CONCRETE LIGHT POLE
— CATV —	□ UTILITY POLE	⊗ WOOD LIGHT POLE
— COMB —	□ WOOD SIGN	⊗ METAL LIGHT POLE
— WOOD FENCE —	□ METAL SIGN	⊗ CONCRETE LIGHT POLE
— METAL FENCE —	□ FLAG POLE	⊗ WOOD LIGHT POLE
— EDGE OF TREES AND BRUSH —	□ BOLLARD	⊗ MAIL BOX
994.32 DS	□ BOLLARD LIGHT	⊗ FIBER OPTIC MARKER
— DOOR SILL ELEVATION —	□ YARD LIGHT	⊗ GUY WIRE
— FIRE DEPARTMENT CONNECTION —		

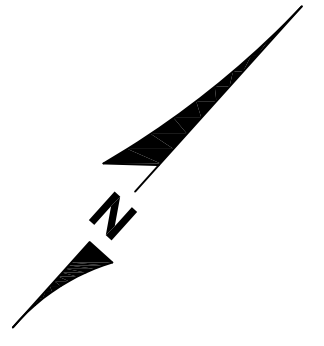
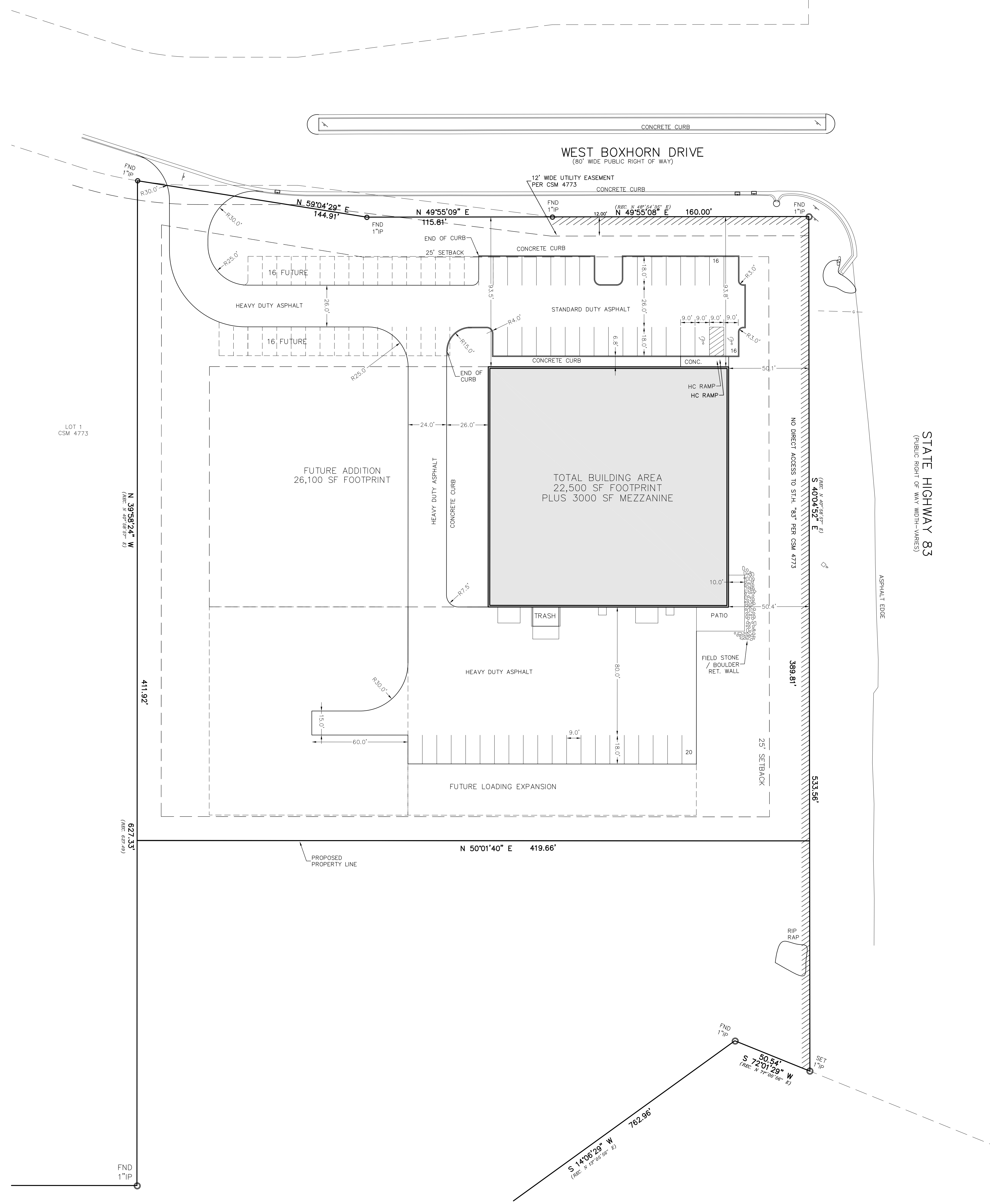
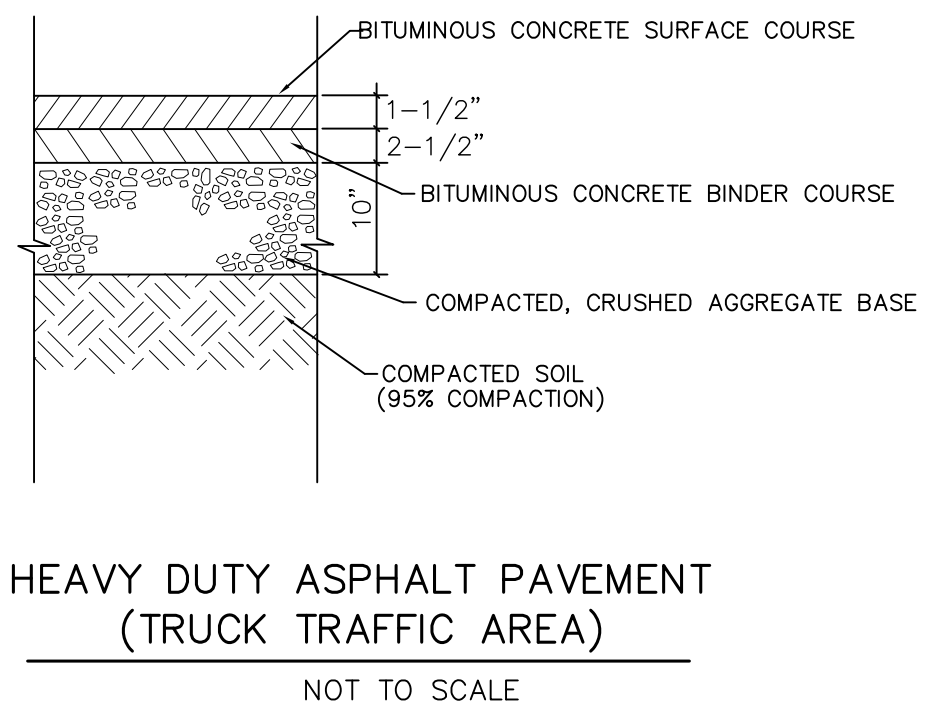
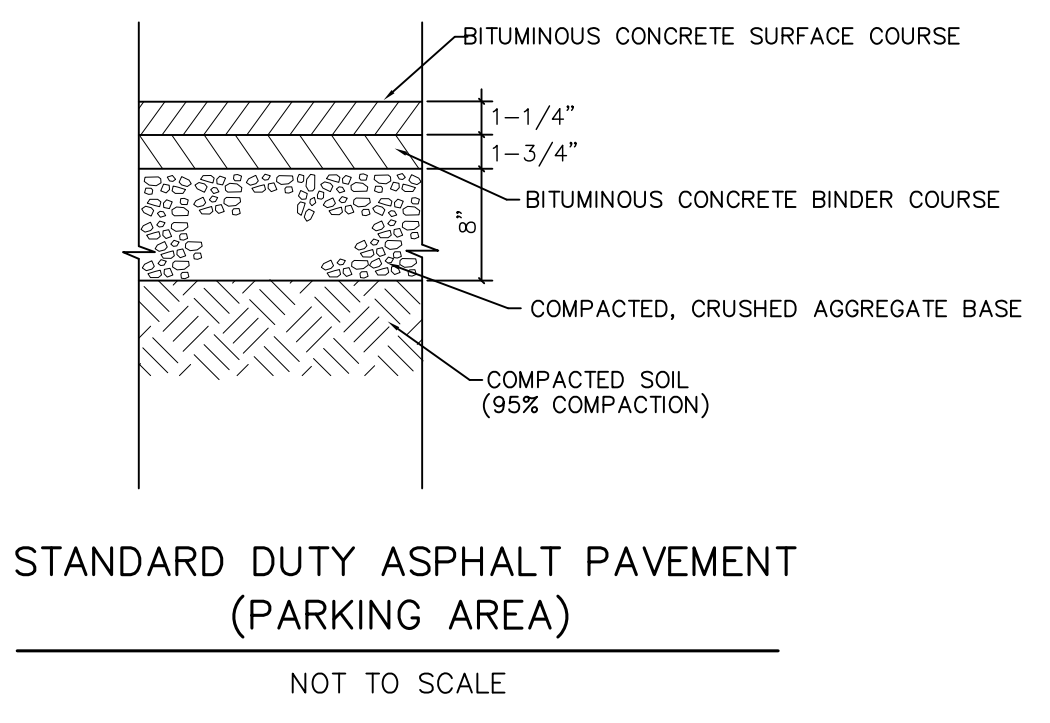
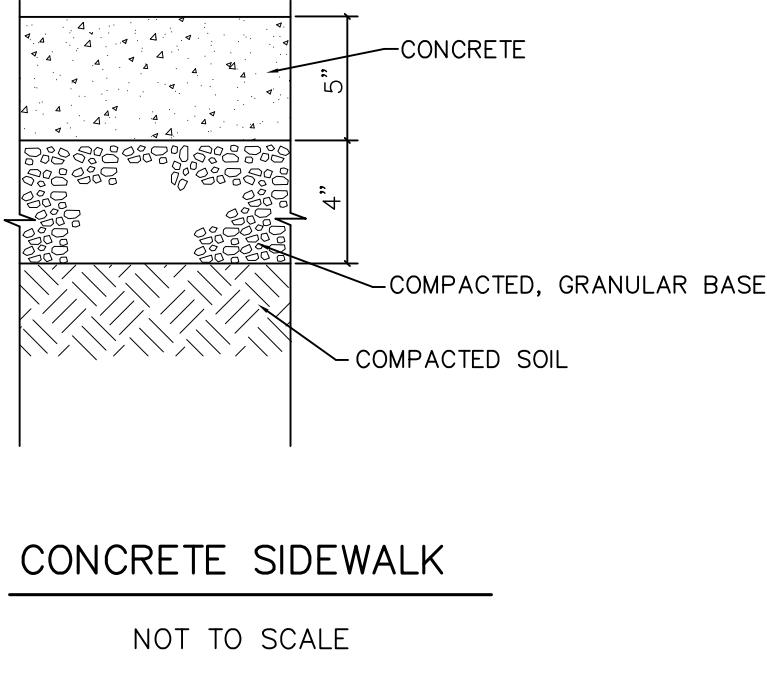
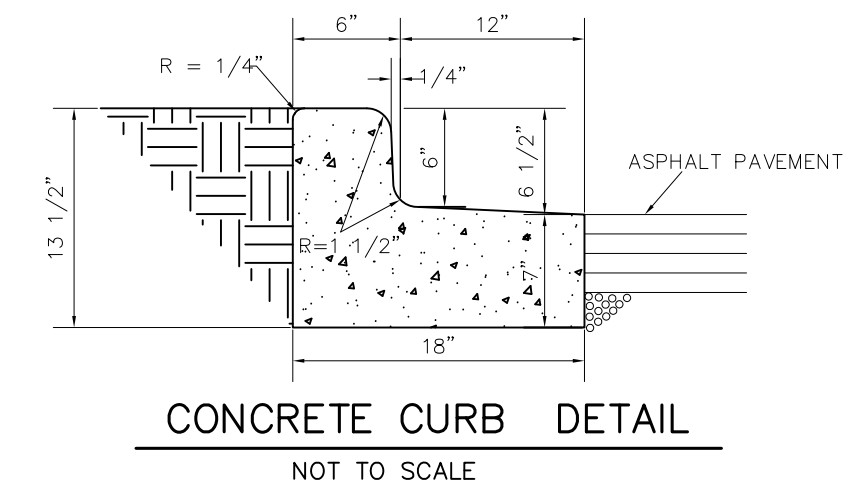


PLAT OF SURVEY WITH TOPOGRAPHY **SV1.0**

CJE NO.: 1913R0EX
 MAY 06, 2019



HANDICAP CURB AND SIDEWALK RAMP
 NOT TO SCALE



SITE AREAS:

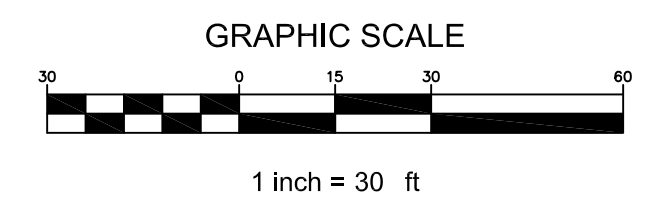
PROPERTY AREA = 164,918 S.F. (3.786 ACRES)
 BUILDING FOOTPRINT = 22,500 S.F.
 FUTURE BUILDING FOOTPRINT = 26,100 S.F.
 PAVEMENT = 40,400 S.F.
 FUTURE PAVEMENT = 26,817 S.F.
 TOTAL IMPERVIOUS AREA = 62,900 S.F. (1.44 ACRES)
 TOTAL IMPERVIOUS AREA WITH FUTURE EXPANSION = 116,132 S.F. (2.67 ACRES)
 OPEN (GREEN) SPACE = 102,018 S.F. (2.34 ACRES) 61.9% OF TOTAL SITE
 OPEN SPACE WITH FUTURE EXPANSION = 48,417 S.F. (1.11 ACRES) 29.4% OF TOTAL SITE

PARKING:

REGULAR PARKING SPACES = 50
 HANDICAPPED SPACES = 2
 FUTURE PARKING SPACES = 32
 TOTAL PARKING = 52 SPACES
 TOTAL WITH FUTURE PARKING = 84 SPACES

NOTES:

1. DISTURBED AREA = 147,600 S.F. (3.4 ACRES)
2. DIMENSIONS ARE TO THE FACE OF CURB

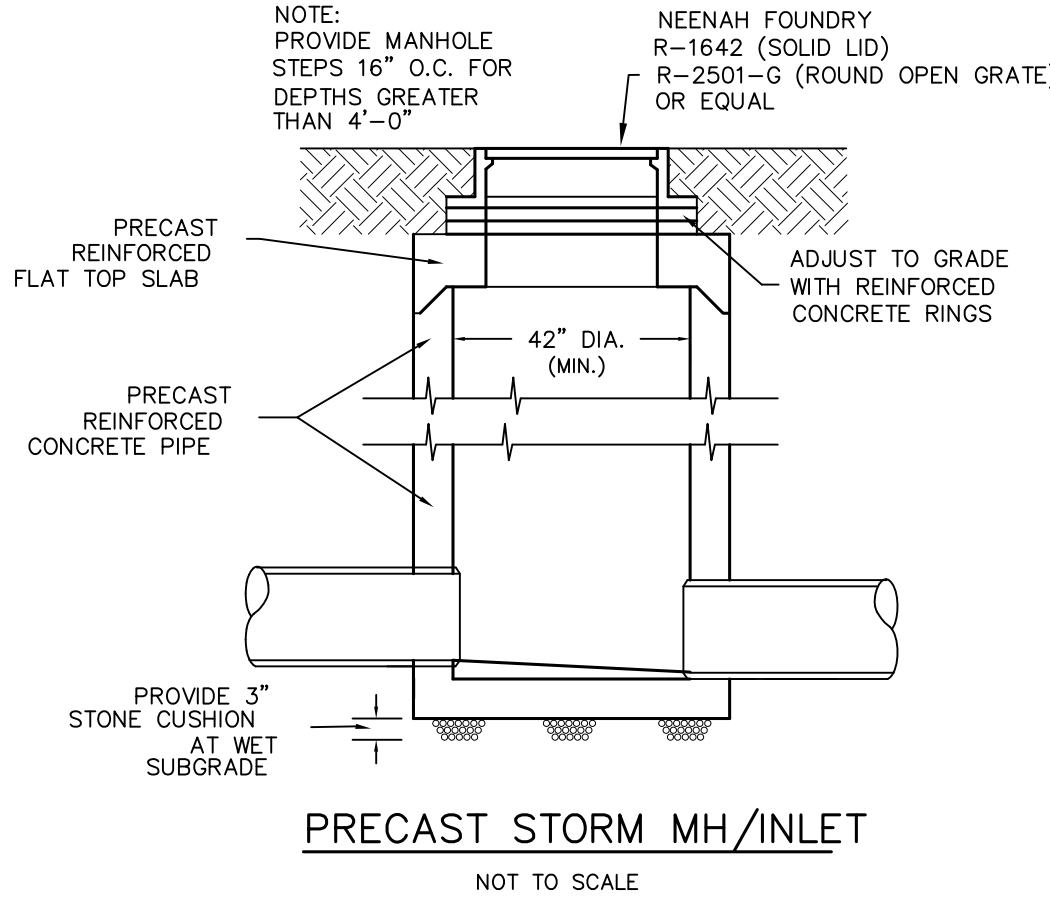
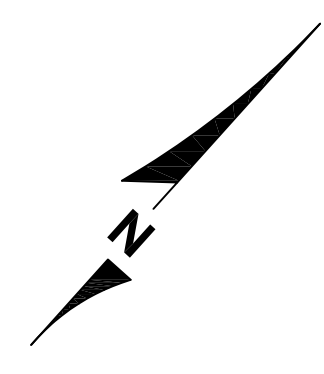
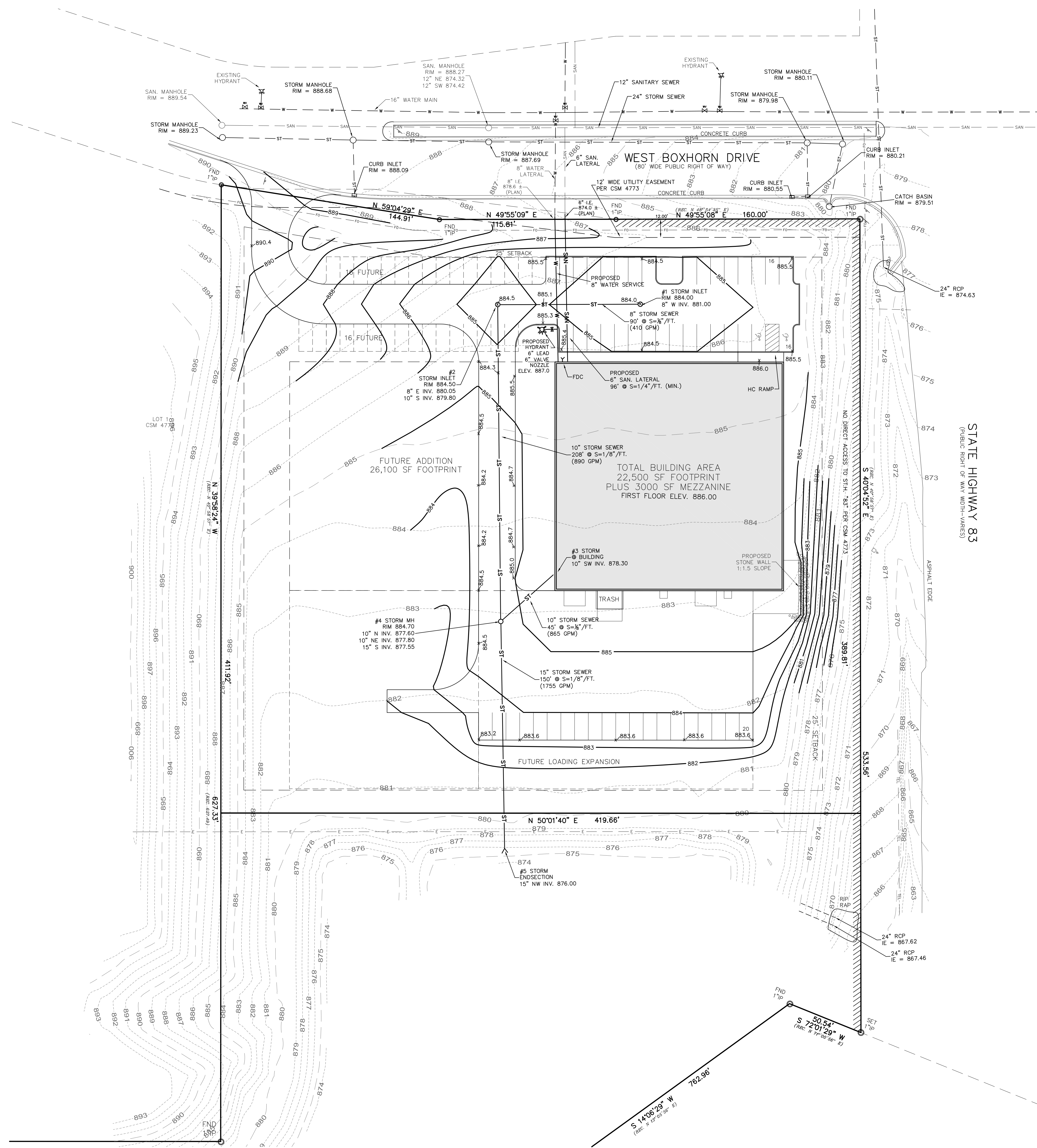


TOUCHPAD
 BOXHORN DRIVE MUKWANAGO, WI

CJE NO.: 1913RI
 MAY 08, 2019

SITE PLAN

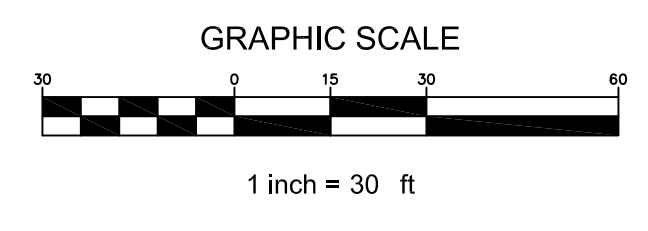
C1.0
 SHEET 1 OF 3



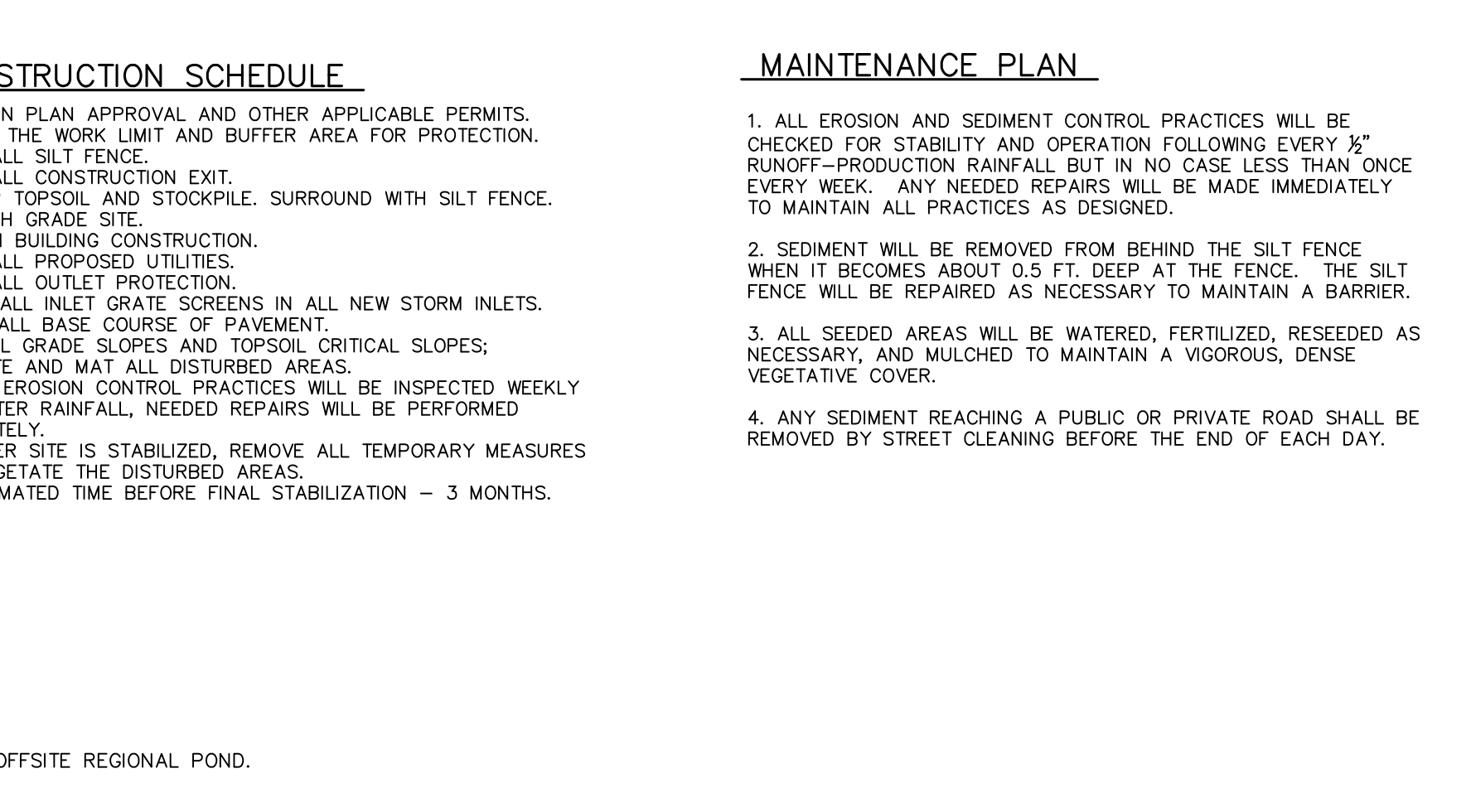
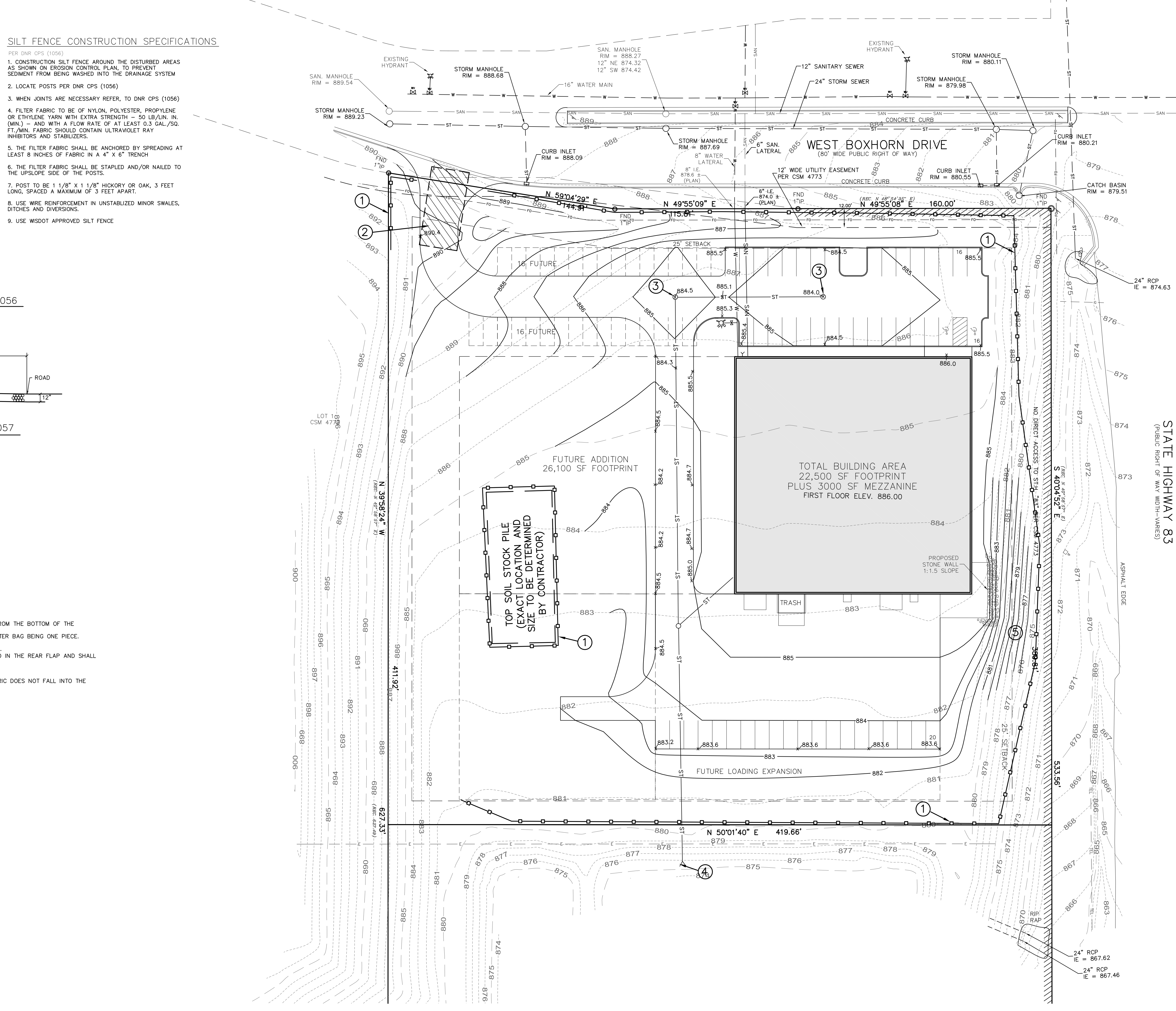
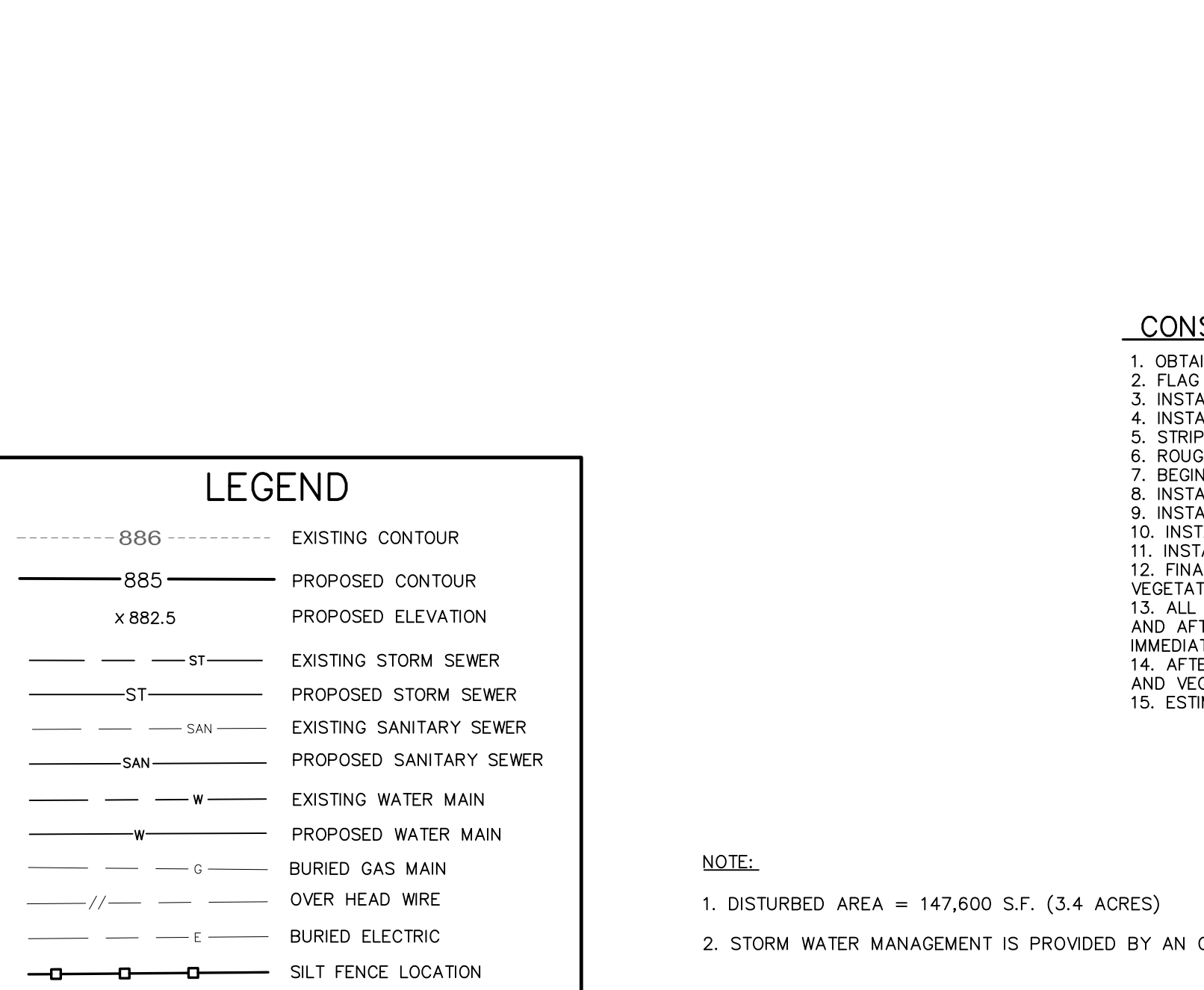
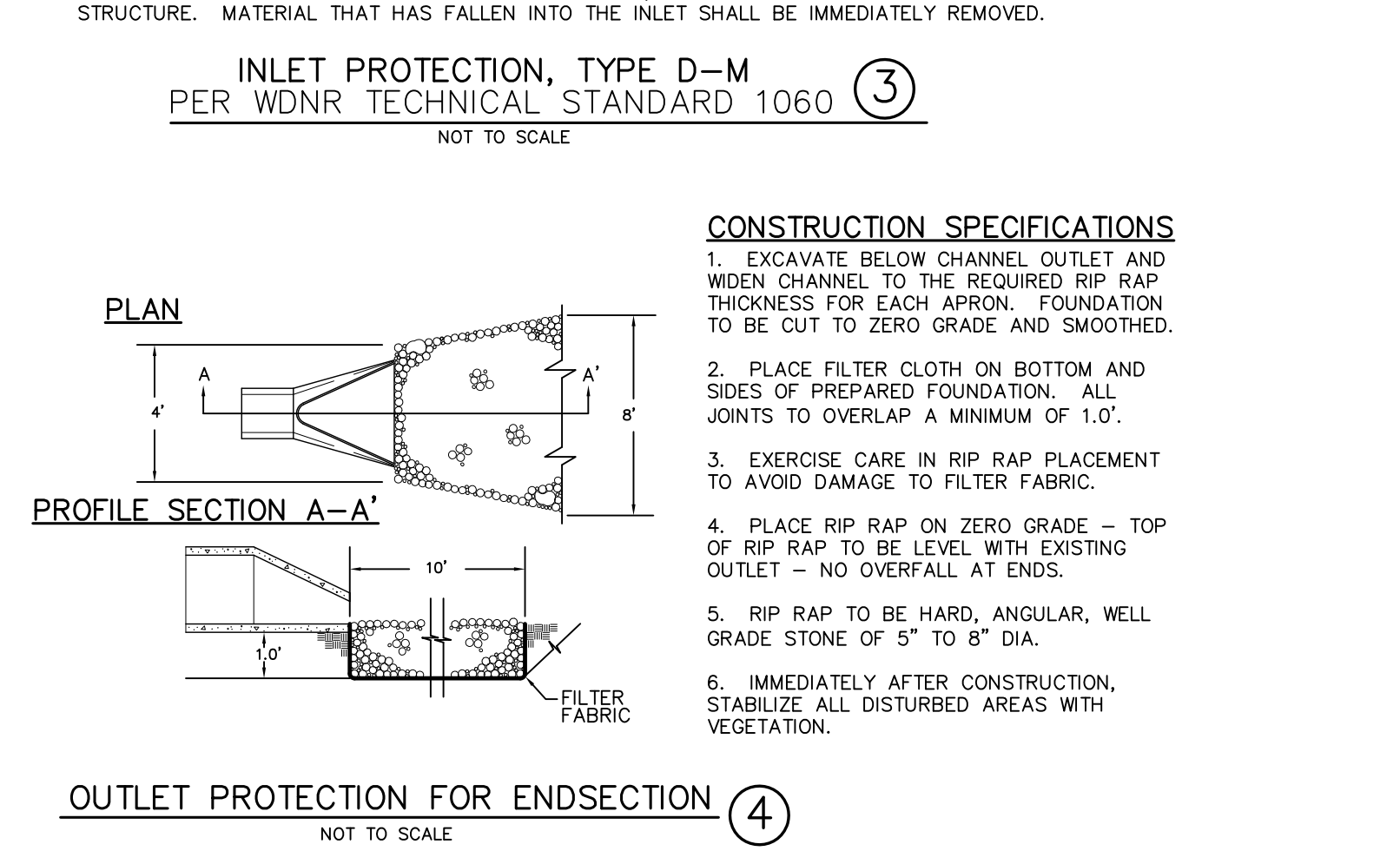
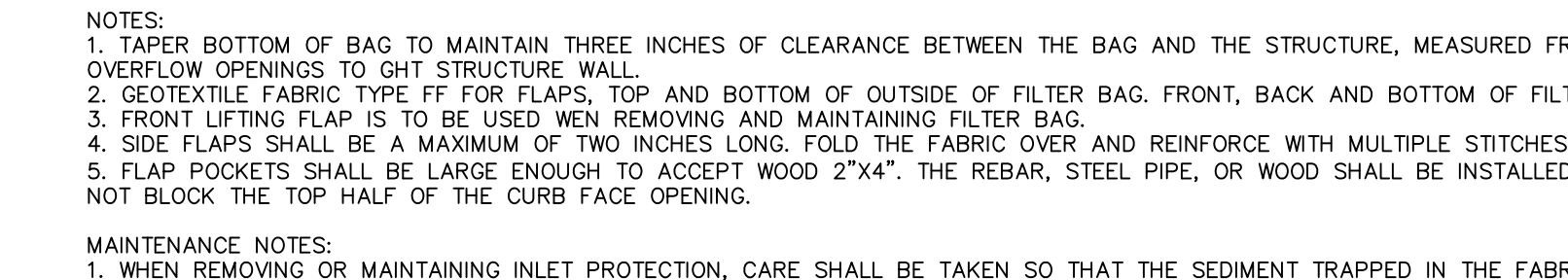
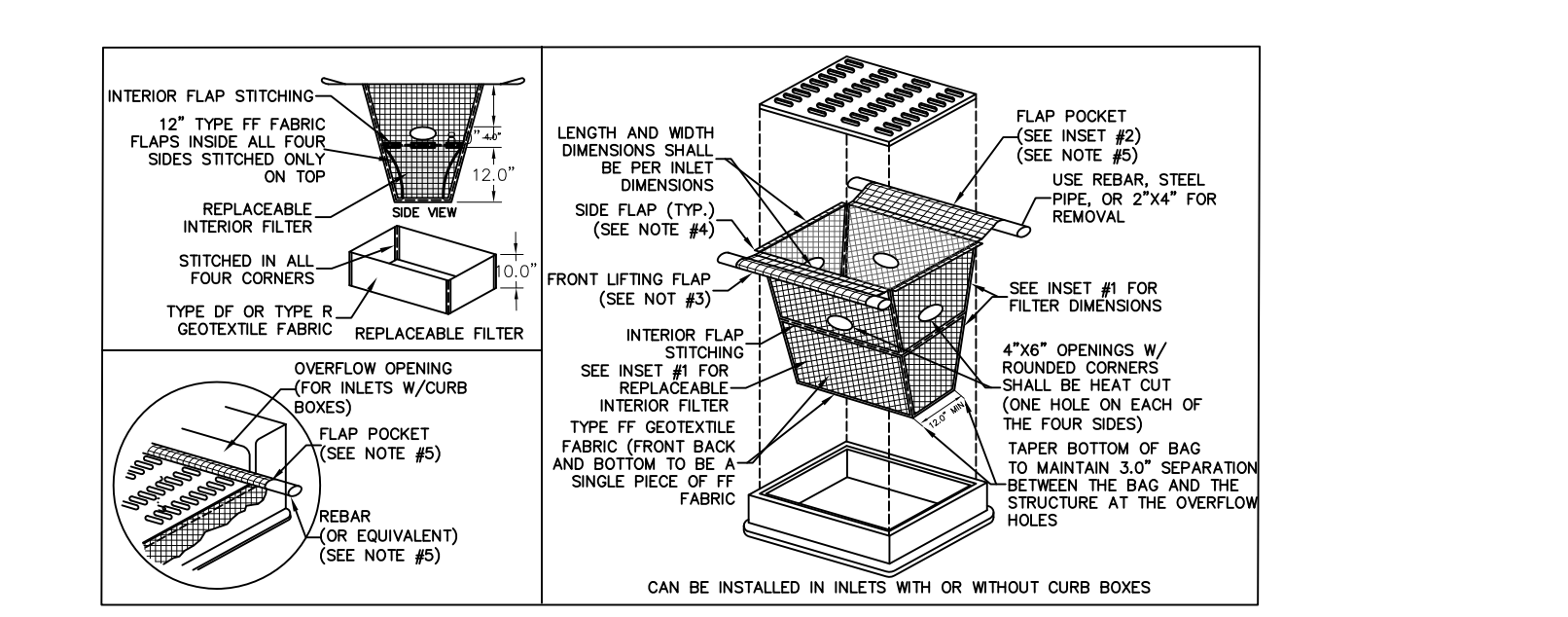
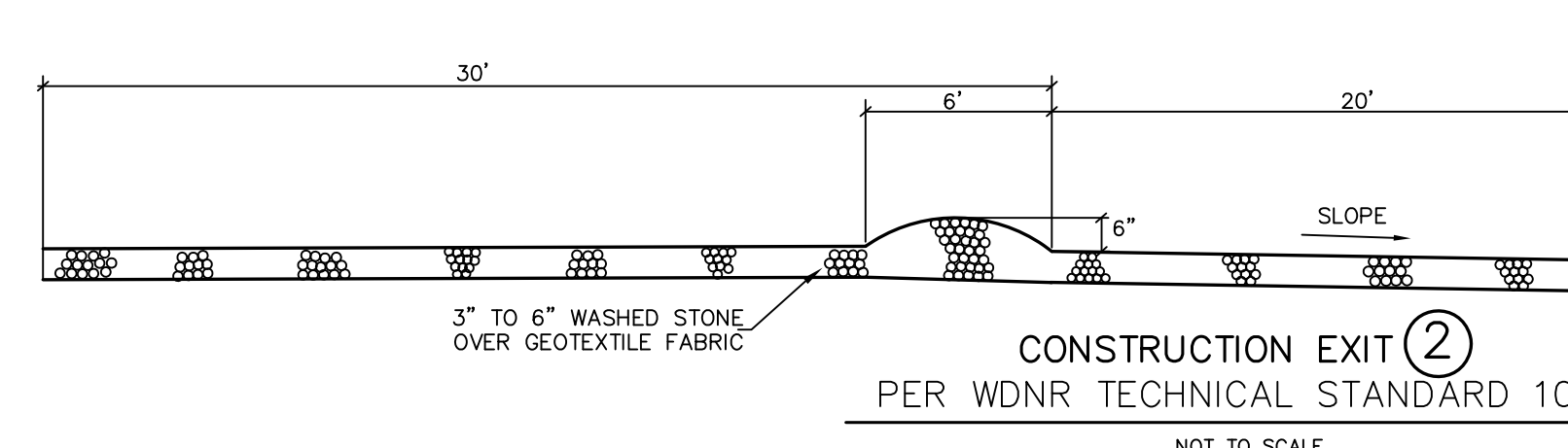
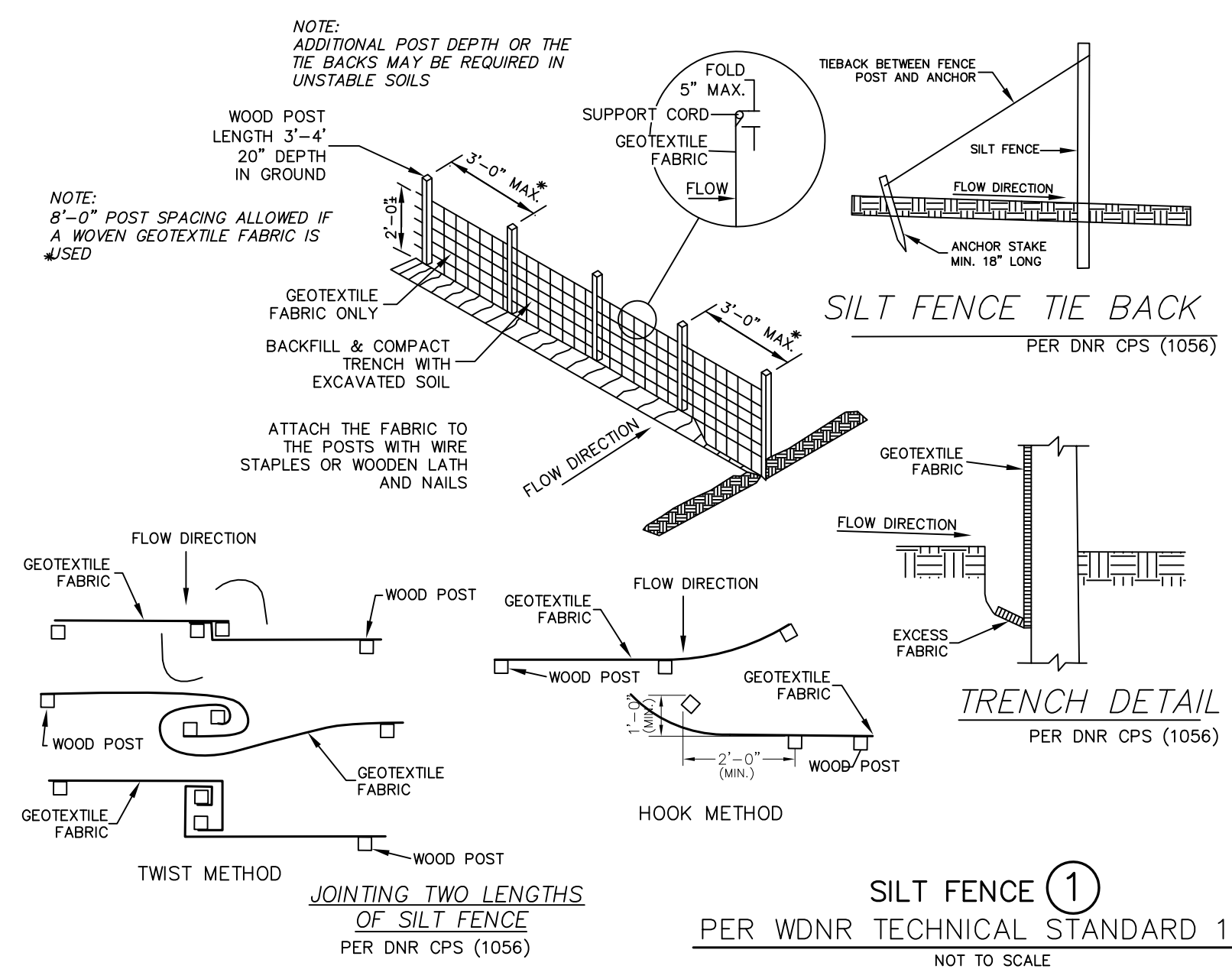
- NOTES:**
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE VILLAGE OF MUKIWANAGO REQUIREMENTS.
 2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
 3. PROPOSED WATER SERVICE SHALL HAVE A MINIMUM 6 FEET OF COVER.
 4. THE PROPOSED STORM SEWER HAS BEEN DESIGNED BY USING AREA METHOD.
 5. UNLESS OTHERWISE LABELED ON THE PLAN:
 STORM SEWER: PVC ASTM D3034 OR ADS-HDPE
 SANITARY SEWER: PVC ASTM D3034, SDR 35
 WATER SERVICE: PVC, AWWA C900
 6. STORM SEWER MATERIAL FROM INLET #2 AND MH #4 SHALL CONFIRM TO SCHEDULE 40.
 7. STORM WATER MANAGEMENT: THIS IS PROVIDED WITH AN EXISTING REGIONAL POND.
 8. DISTURBED AREA = 147,600 S.F. (3.4 ACRES)

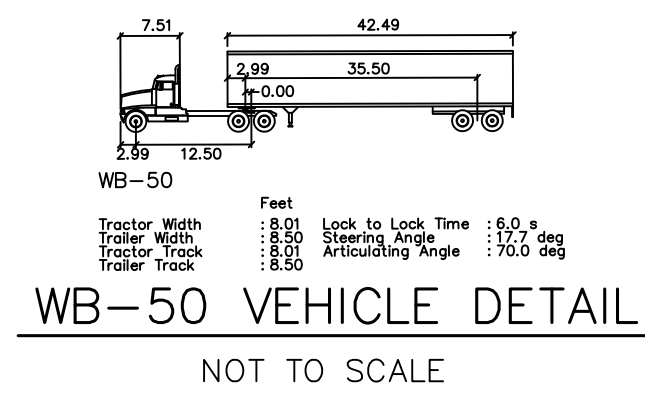
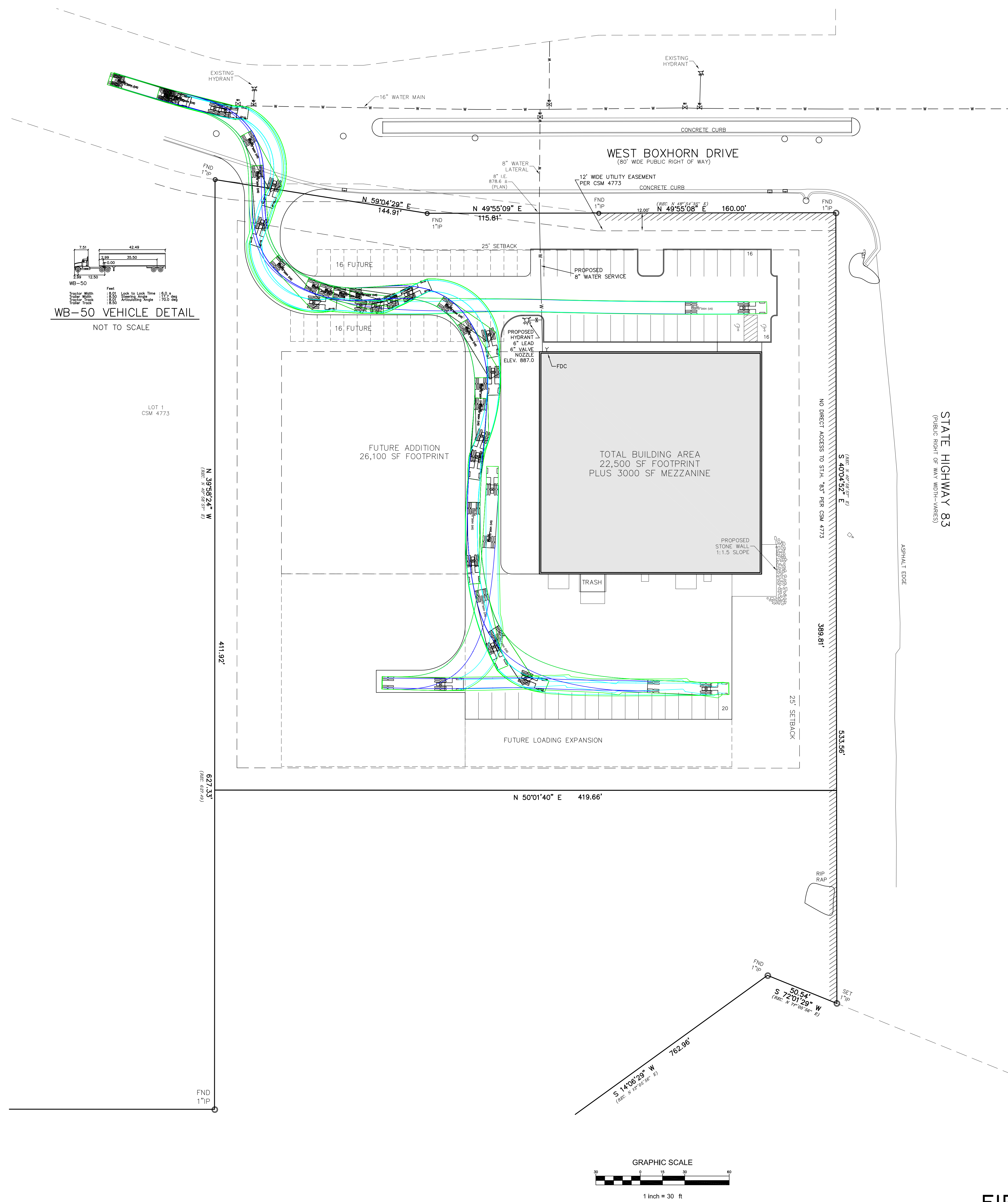
LEGEND

--- 896 ---	EXISTING CONTOUR
--- 905 ---	PROPOSED CONTOUR
x 906.5	PROPOSED ELEVATION
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING WATER MAIN
---	PROPOSED WATER MAIN
---	BURIED GAS MAIN
---	OVER HEAD WIRE
---	BURIED ELECTRIC



**SITE GRADING
 AND UTILITY PLAN**

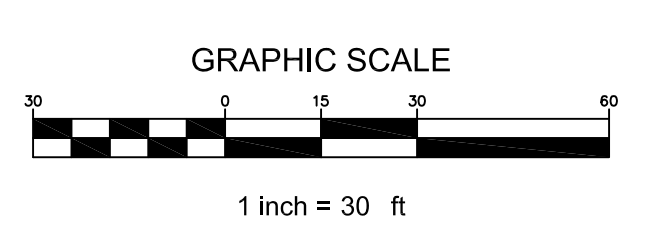




LOT 1
 CSM 4773

FUTURE ADDITION
 26,100 SF FOOTPRINT

TOTAL BUILDING AREA
 22,500 SF FOOTPRINT
 PLUS 3000 SF MEZZANINE



TOUCHPAD
 BOXHORN DRIVE
 MUKIWANAGO, WI

STATE HIGHWAY 83
 (PUBLIC RIGHT OF WAY NORTH-WARRES)

CJE NO.: 1913R0
 MAY 06, 2019

FIRE DEPARTMENT EXHIBIT



- SHADE TREES (DECIDUOUS)**
- ABM Autumn Blaze Maple
 - PPH Prairie Pride Hackberry
 - SHL Skyline Honeylocust
 - KCT Kentucky Coffee Tree
 - SWO Swamp White Oak
 - VFE Valley Forge American Elm

- ORNAMENTAL TREES (DECIDUOUS)**
- TCH Thornless Cockspar Hawthorn
 - AFC Adams Flowering Crabapple
 - PFC Prairie Fire Flowering Crabapple

- EVERGREEN TREES**
- NS Norway Spruce
 - BHS Black Hills Spruce

- EVERGREEN SHRUBS**
- SGJ Sea Green Juniper
 - KCPJ Kallay Compact Pfitzer Juniper
 - TIY Taunton Intermediate Yew

- DECIDUOUS SHRUBS**
- IH Incrediball Hydrangea
 - UH Unique Hydrangea
 - GLS Gro Low Fragrant Sumac
 - KOSR Knock Out Shrub Rose
 - MKL Miss Kim Dwarf Lilac
 - MV Mohican Viburnum

PLANT ABBREVIATIONS

Required Site Landscaping
One (1) tree for every 20 LF of street frontage.

Length of Street Frontage: 811 LF
 Required Trees for Site: 41 Trees
 Number of Trees Shown (Shade + Evergreen): 44 Trees

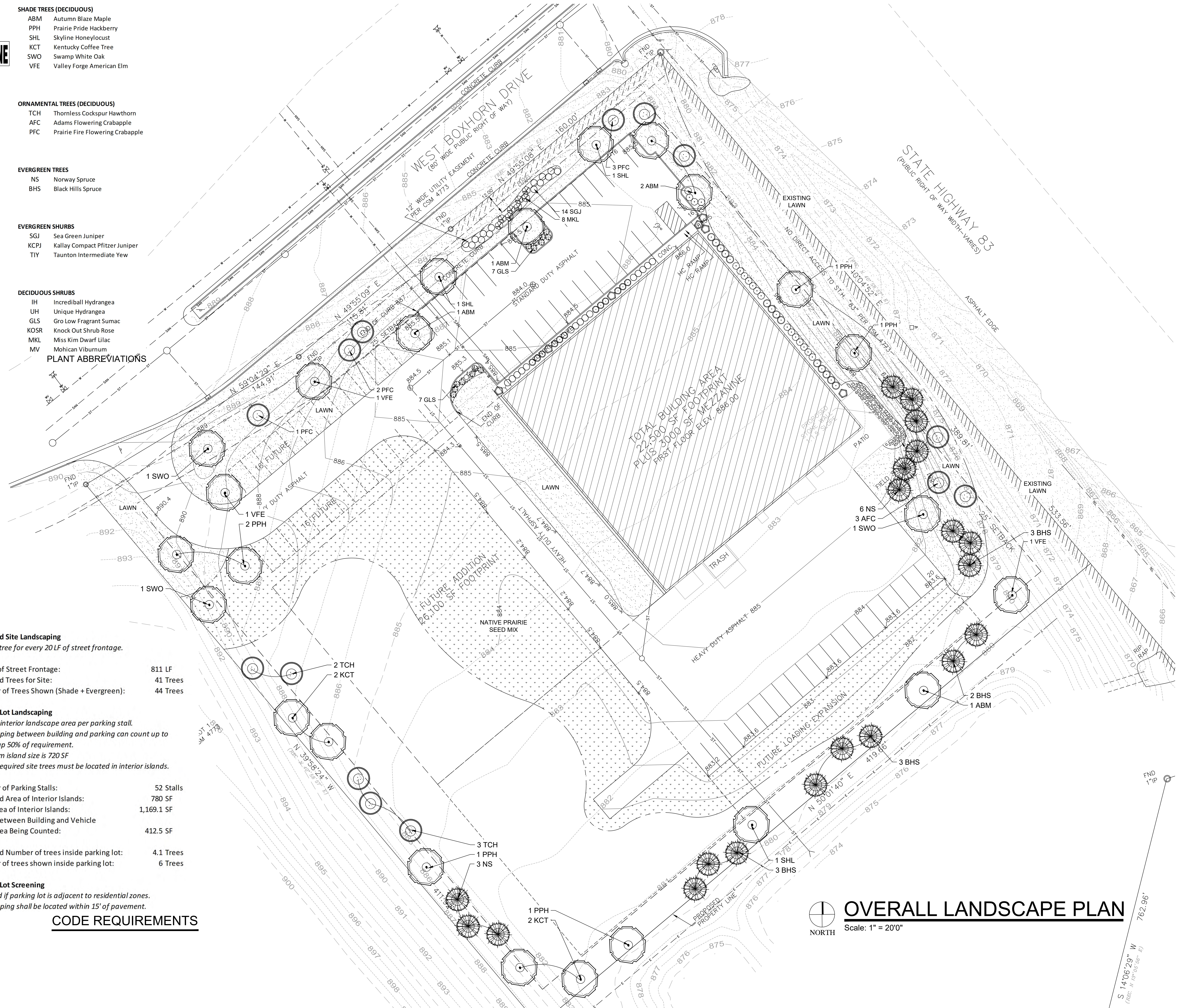
Parking Lot Landscaping
 15 SF of interior landscape area per parking stall.
 Landscaping between building and parking can count up to count up 50% of requirement.
 Minimum island size is 720 SF
 10% of required site trees must be located in interior islands.

Number of Parking Stalls:	52 Stalls
Required Area of Interior Islands:	780 SF
Total Area of Interior Islands:	1,169.1 SF
Area Between Building and Vehicle	
Use Area Being Counted:	412.5 SF

Required Number of trees inside parking lot: 4.1 Trees
 Number of trees shown inside parking lot: 6 Trees

Parking Lot Screening
 Required if parking lot is adjacent to residential zones.
 Landscaping shall be located within 15' of pavement.

CODE REQUIREMENTS



OVERALL LANDSCAPE PLAN
 Scale: 1" = 20'
 NORTH

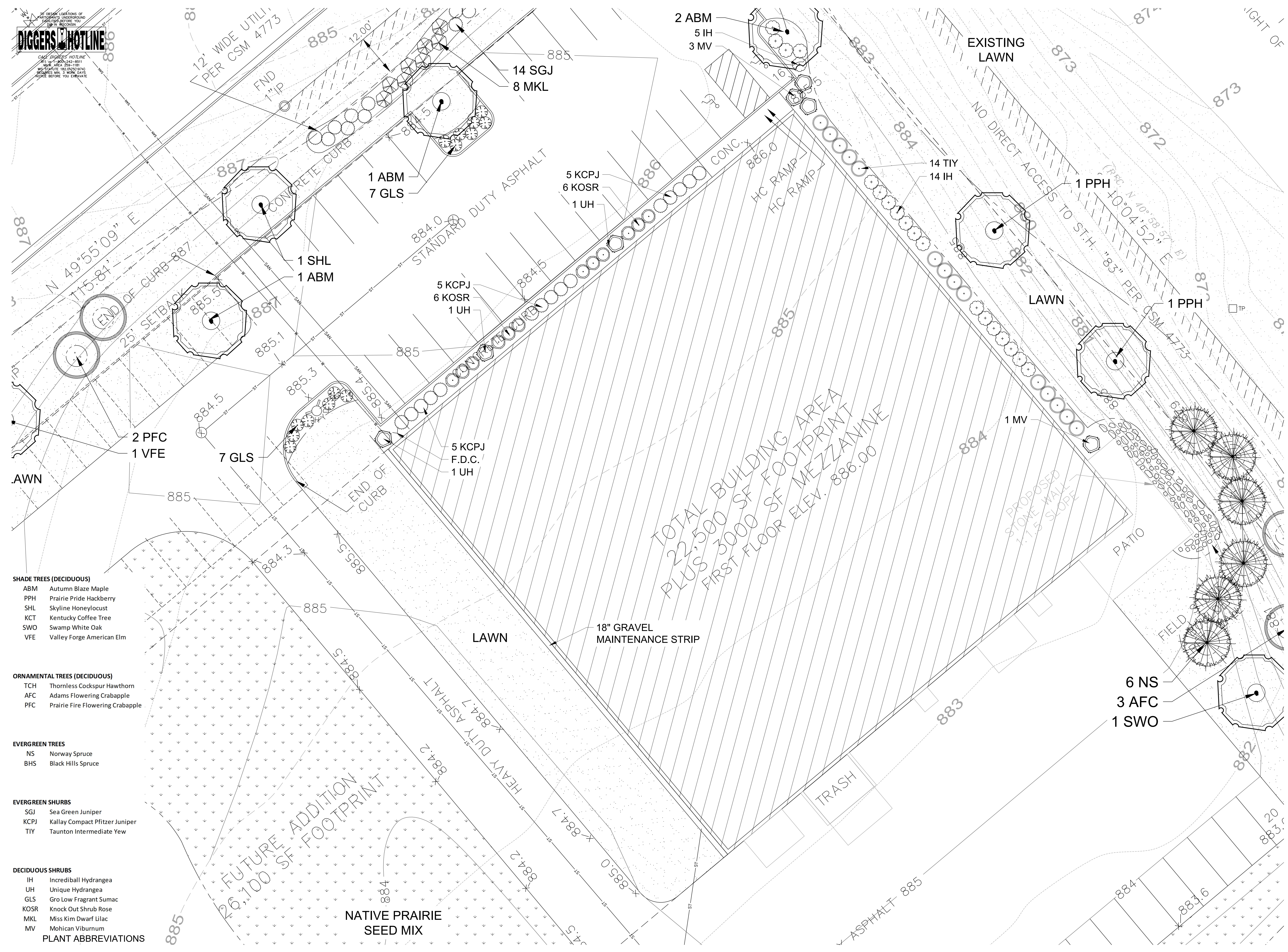
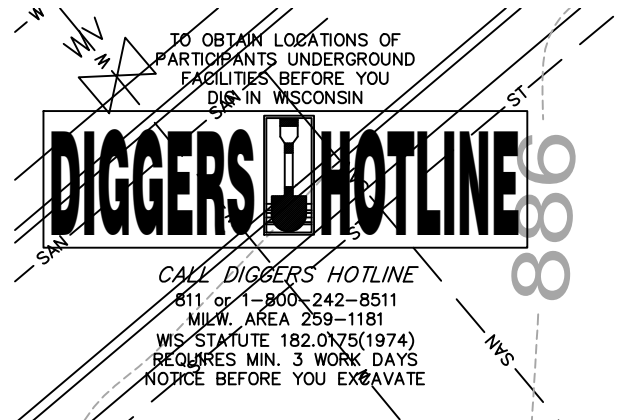


OVERALL LANDSCAPE PLAN

TOUCHPAD ELECTRONICS
 W. BOXHORN DRIVE
 MUKWONAGO, WI

JOB:	3124
DRAWN:	PCA
CHECKED:	WDH
DATE:	5/9/2019
SHEET:	

L 1.0



- SHADE TREES (DECIDUOUS)**
- ABM Autumn Blaze Maple
 - PPH Prairie Pride Hackberry
 - SHL Skyline Honeylocust
 - KCT Kentucky Coffee Tree
 - SWO Swamp White Oak
 - VFE Valley Forge American Elm
- ORNAMENTAL TREES (DECIDUOUS)**
- TCH Thornless Cocksaur Hawthorn
 - AFC Adams Flowering Crabapple
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- NS Norway Spruce
 - BHS Black Hills Spruce
- EVERGREEN SHURBS**
- SGJ Sea Green Juniper
 - KCPJ Kallay Compact Pfitzer Juniper
 - TIY Taunton Intermediate Yew
- DECIDUOUS SHRUBS**
- IH Incrediball Hydrangea
 - UH Unique Hydrangea
 - GLS Gro Low Fragrant Sumac
 - KOSR Knock Out Shrub Rose
 - MKL Miss Kim Dwarf Lilac
 - MV Mohican Viburnum
- PLANT ABBREVIATIONS**



ENLARGED LANDSCAPE PLAN

TOUCHPAD ELECTRONICS
 W. BOXHORN DRIVE
 MUKWONAGO, WI

JOB:	3124
DRAWN:	PCA
CHECKED:	WDH
DATE:	5/9/2019
SHEET:	

L 1.1

ENLARGED LANDSCAPE PLAN
 Scale: 1" = 10'0"



- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8811) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and Landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANS (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide three-slow release fertilizer for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to fill soak in the new planting. Each tree shall receive a 3" deep, 4-5" diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50% mix of plant starter with topsoil. Install topsoil on all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are 3/4 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Rotate all the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:

Per 100 SF of bed area (Soil Amendment composition):

- 3/4 CY Peat Moss or Mushroom Compost
- 1/4 CY blended/pulverized Topsoil
- 1/4 CY composted manure

In rotation-tilled beds only, also include in above mixture:
2 lbs Starter Fertilizer

- Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones 1/2" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.
- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.

An acceptable quality seed installation is defined as having:

- No bare spots larger than one (1) square foot
- No more than 10% of the total area with bare areas larger than one (1) square foot
- A uniform coverage through all turf areas

- No-Mow seed areas: "No-Mow" fine fescue seed mix with annual ryegrass (available at Cedar Creek Seed Farm 888-313-8807, or Prairie Nursery 608-296-3679) or approved equivalent mix from a reputable seed mix provider. Apply at 220 lbs per acre or at rate recommended by supplier. Prepare seed bed and soil as specified in item #13 above.
- Native Prairie Seed Mix / Stormwater Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Prairie Nursery 608-296-3679 or JF New 608-848-1789 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.

- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.

- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.

- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES

CARDNO / JF New, Inc. www.cardnofnew.com 128 Sunset Drive Walkerton, Indiana 46574 Ph: 574-586-3400	6140 Cottonwood Road Suite A Fitchburg, Wisconsin 53719 Ph: 608-661-2965	6605 Steger Road Suite A Monee, Illinois 60449 Ph: 708-534-3450
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Botanical Name	Common Name	PLS Ounces/Acre
Permanent Grasses:		
<i>Andropogon gerardii</i>	Big Bluestem	16.00
<i>Bouteloua curtipendula</i>	Side-Oats Gramma	18.00
<i>Carex bicknellii / Carex brevior</i>	Prairie Sedge Mix	1.00
<i>Elymus canadensis</i>	Canada Wild Rye	16.00
<i>Panicum virgatum</i>	Switch Grass	2.50
<i>Schizachyrium scoparium</i>	Little Bluestem	24.00
<i>Sorghastrum nutans</i>	Indian Grass	18.00
Total		95.50

Temporary Cover:		
<i>Avena sativa</i>	Common Oat	360.00
<i>Lolium multiflorum</i>	Annual Rye	100.00
Total		460.00

Forbs:		
<i>Asclepias syriaca</i>	Common Milkweed	0.50
<i>Asclepias tuberosa</i>	Butterfly Milkweed	1.00
<i>Aster laevis</i>	Smooth Blue Aster	0.25
<i>Aster novae-angliae</i>	New England Aster	0.75
<i>Chamaecrista fasciculata</i>	Partridge Pea	12.00
<i>Coreopsis lanceolata</i>	Sand Coreopsis	5.00
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	7.50
<i>Heliopsis helianthoides</i>	False Sunflower	0.25
<i>Lupinus perennis</i>	Wild Lupine	0.50
<i>Monarda fistulosa</i>	Wild Bergamot	0.25
<i>Pycnanthemum tenuifolium</i>	Common Mountain Mint	0.50
<i>Ratibida pinnata</i>	Yellow Coneflower	3.50
<i>Rudbeckia hirta</i>	Black-Eyed Susan	8.00
Total		40.00

NATIVE PRAIRIE SEED MIX

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CALIPER/HEIGHT	ROOT	SPECIFICATION / NOTES
		BOTANICAL NAME	COMMON NAME			
Proposed Landscape Materials						
SHADE TREES (DECIDUOUS)						
ABM	5	Acer xfreemanii 'Autumn Blaze'	Autumn Blaze Maple	3"	B&B	Straight central leader, full and even crown. Prune only after planting
PPH	6	Celtis occidentalis 'Prairie Pride'	Prairie Honey Hackberry	3"	B&B	Straight central leader, full and even crown. Prune only after planting
SHL	3	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	3"	B&B	Straight central leader, full and even crown. Prune only after planting
KCT	4	Gymnocladus dioica	Kentucky Coffee Tree	3"	B&B	Straight central leader, full and even crown. Prune only after planting
SWO	3	Quercus bicolor	Swamp White Oak	3"	B&B	Straight central leader, full and even crown. Prune only after planting
VFE	3	Ulmus americana 'Valley Forge'	Valley Forge American Elm	3"	B&B	Straight central leader, full and even crown. Prune only after planting

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CALIPER/HEIGHT	ROOT	SPECIFICATION / NOTES
		BOTANICAL NAME	COMMON NAME			
ORNAMENTAL TREES (DECIDUOUS)						
TCH	5	Crataegus crus-galli 'Inermis'	Thornless Cockspur Hawthorn	7-8'	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
AFC	3	Malus x 'Adams'	Adams Flowering Crabapple	7-8' H	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
PF	6	Malus x 'Prairifire'	Prairie Fire Flowering Crabapple	7-8' H	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		HEIGHT	ROOT	SPECIFICATION / NOTES
		BOTANICAL NAME	COMMON NAME			
EVERGREEN TREES						
NS	9	Picea abies	Norway Spruce	6'	B&B	Evenly shaped tree with branching to the ground
BHS	11	Picea glauca 'densata'	Black Hills Spruce	6'	B&B	Evenly shaped tree with branching to the ground

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES
		BOTANICAL NAME	COMMON NAME			
EVERGREEN SHRUBS						
SGJ	14	Juniperus chinensis 'Sea Green'	Sea Green Juniper	#5	Cont.	Full rounded well branched shrub
KCPJ	15	Juniperus chinensis 'Kallay'	Kallay Compact Pfitzer Juniper	#5	Cont.	Full rounded well branched shrub
TYI	14	Taxus xmedia 'Tautoni'	Taunton Intermediate Yew	24"	B&B	Full rounded well branched shrub

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES
		BOTANICAL NAME	COMMON NAME			
DECIDUOUS SHRUBS						
IH	19	Hydrangea arborescens 'Abetwo'	Incrediball Hydrangea	#5	Cont.	Full, well rooted plant, evenly shaped
UH	3	Hydrangea paniculata 'Unique'	Unique Hydrangea	48"	Cont.	Full, well rooted plant, evenly shaped
GLS	14	Rhus aromatica 'Gro-Low'	Gro Low Fragrant Sumac	#5	Cont.	Full, well rooted plant, evenly shaped
KOSR	12	Rosa 'Knock Out'	Knock Out Shrub Rose	18"	Cont.	Full, well rooted plant, evenly shaped
MKL	8	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	24"	Cont.	Full, well rooted plant, evenly shaped
MV	4	Viburnum lantana 'Mohican'	Mohican Viburnum	48"	B&B	Full, well rounded plant with moist rootball and healthy appearance

PLAN KEY	QUANTITY	PLANT MATERIAL PROPOSED		CONTAINER SIZE	SPECIFICATION / NOTES
		SPECIFIED SEED MIX / SOD			
LAWN	3090	Lawn Establishment Area / Grading Area		SY	Reinder's Deluxe 50 Seed Mix (800-785-3301)
	52580	Erosion Matting for sloped seeded areas	see plan for area delineation	SF	EroTex D575 Erosion Control Blanket (or approved equal)
	2753	Native Prairie Seed Mix	see plan for area delineation	SY	Cardno/JF New Native Prairie Seed Mix

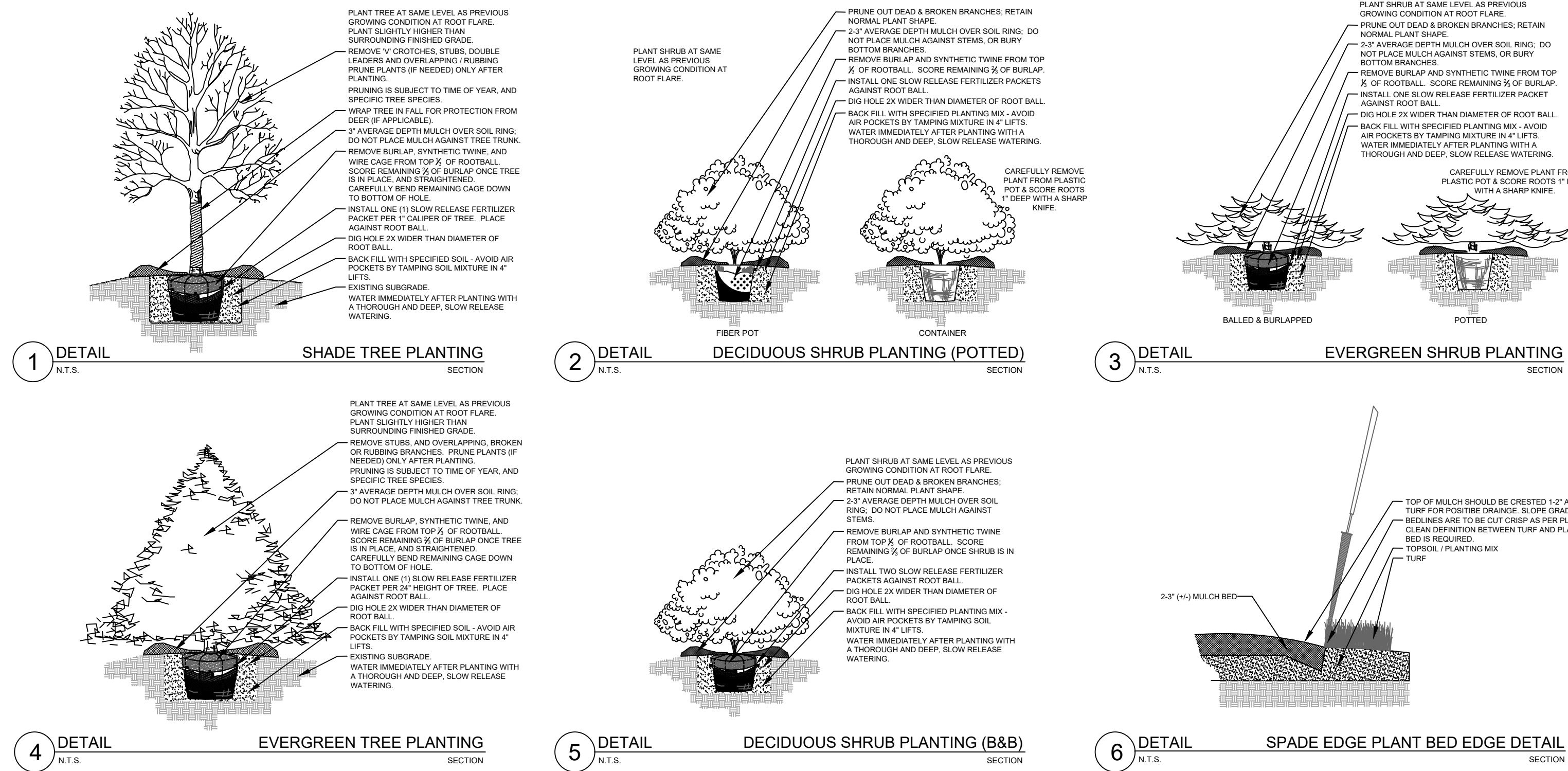
Hardscape Materials

3.25	Heritage River Gravel Mulch (1.0-1.5" pieces)	Area: 225 SF	TN	2" depth
155	Aluminum Edge Restraint (gravel areas)	Permaloc ProSlide 3/16"x5.5" Black Duraflex Finish	LF	
225	Landscape Fabric	SF	SF	
35	Shredded Hardwood Mulch (3" depth)	Area: 3,800 SF	CY	Bark Mulch; apply Preemergent after installation of mulch
24	Soil Amendments (2" depth)	Area: 3,800 SF	CY	
162	Pulverized Topsoil (Lawn Area)	Area: 52,280 SF	CY	
24	Pulverized Topsoil (2" over bed areas)	Area: 3,800 SF	CY	

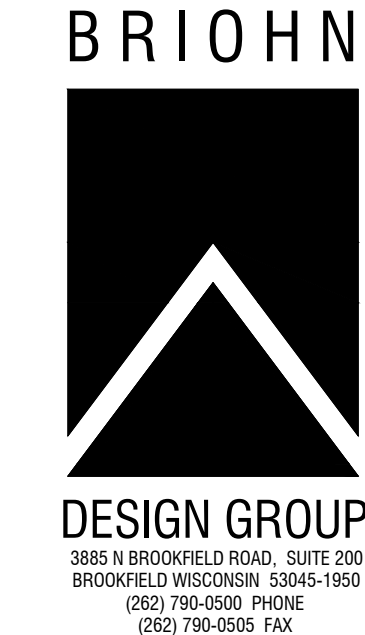
*Landscape counts & quantities are provided as a service to the Landscape Contractor; Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan- including the graphics and notations depicted therein- shall govern.

Seed Compositions:
Reinder's Deluxe 50 Seed Mix (800-785-3301):
 20% Kentucky Bluegrass (Sod Quality) 15% Quebec Perennial Ryegrass
 15% Newport Kentucky Bluegrass 10% Fiesta III Perennial Ryegrass
 15% Ken Blue Kentucky Bluegrass
 25% Creeping Red Fescue
 Seed at rate of 150-200# per acre

PLANT & MATERIAL SCHEDULE



PLANTING & HARDSCAPE DETAILS



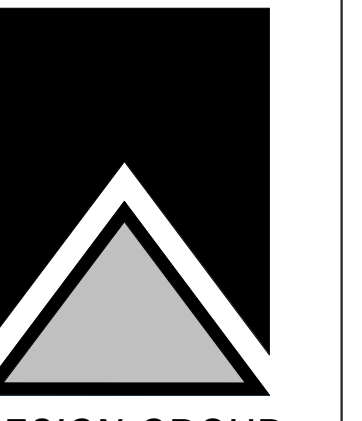
LANDSCAPE DETAILS, NOTES, & SCHEDULE

TOUCHPAD ELECTRONICS

W. BOXHORN DRIVE
MUKWONAGO, WI

JOB:	3124
DRAWN:	PCA
CHECKED:	WDH
DATE:	5/9/2019
SHEET:	

L 1.2



FLOOR PLANS

SHEET TITLE

TOUCHPAD ELECTRONICS
PROPOSED NEW BUILDING:
W. BOXHORN DRIVE
MUKWONAGO, WI

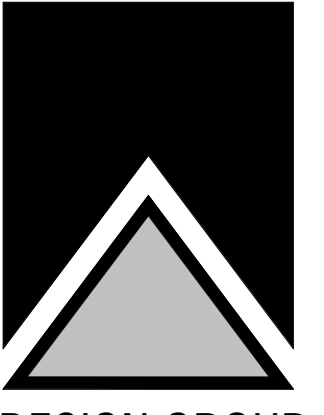
JOB: 3124
DRAWN: RS
CHECKED: DF
DATE: 5/9/2019

SHEET:
A1.1



APPLICABLE
TO ALL
PLAN VIEWS





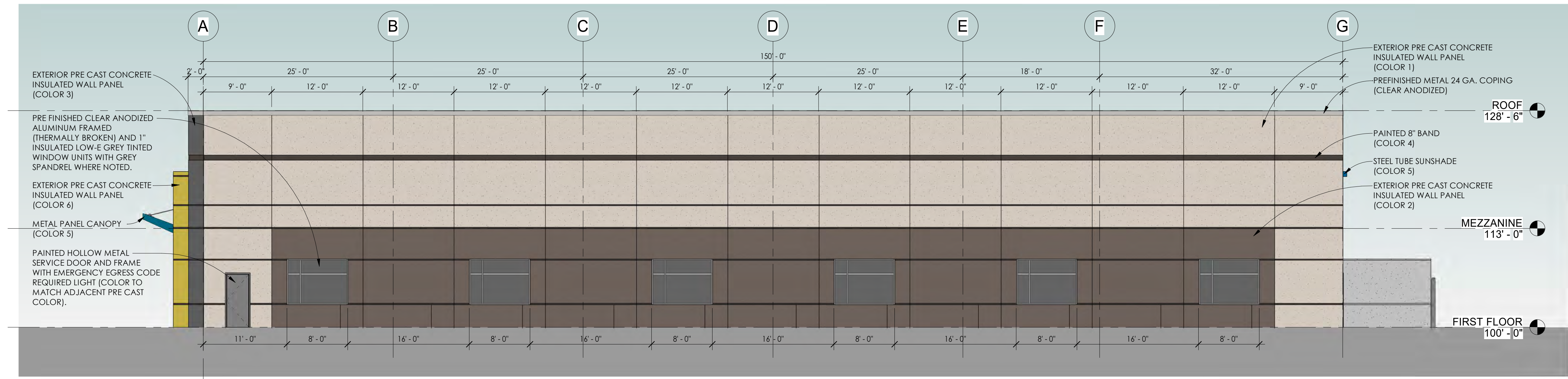
EXTERIOR ELEVATIONS

SHEET TITLE

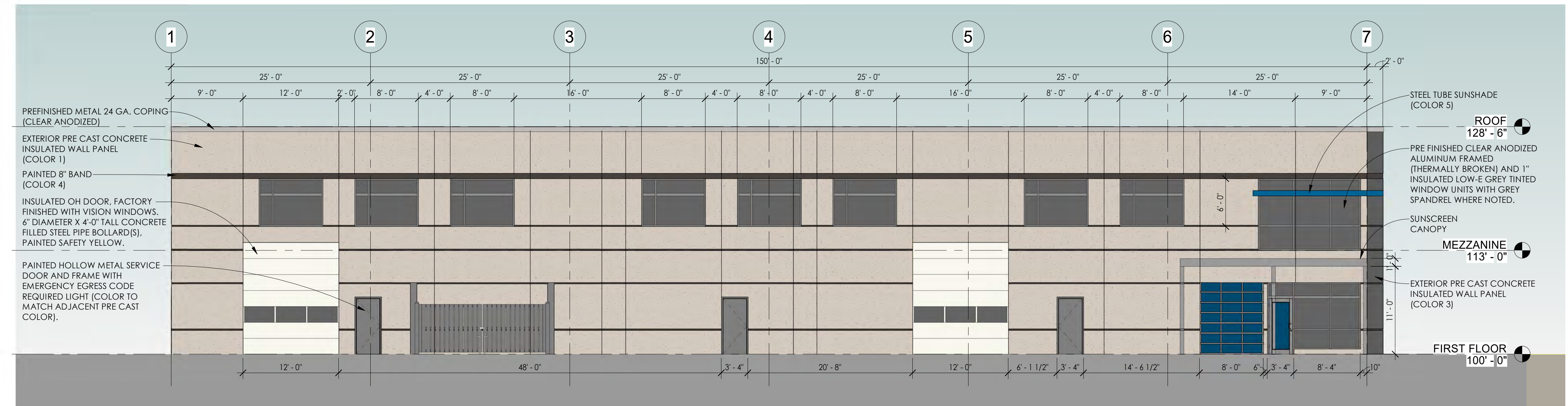
TOUCHPAD ELECTRONICS
PROPOSED NEW BUILDING:
W. BOXHORN DRIVE
MUKWONAGO, WI

JOB: 3124
DRAWN: RS
CHECKED: DF
DATE: 5/9/2019
SHEET:

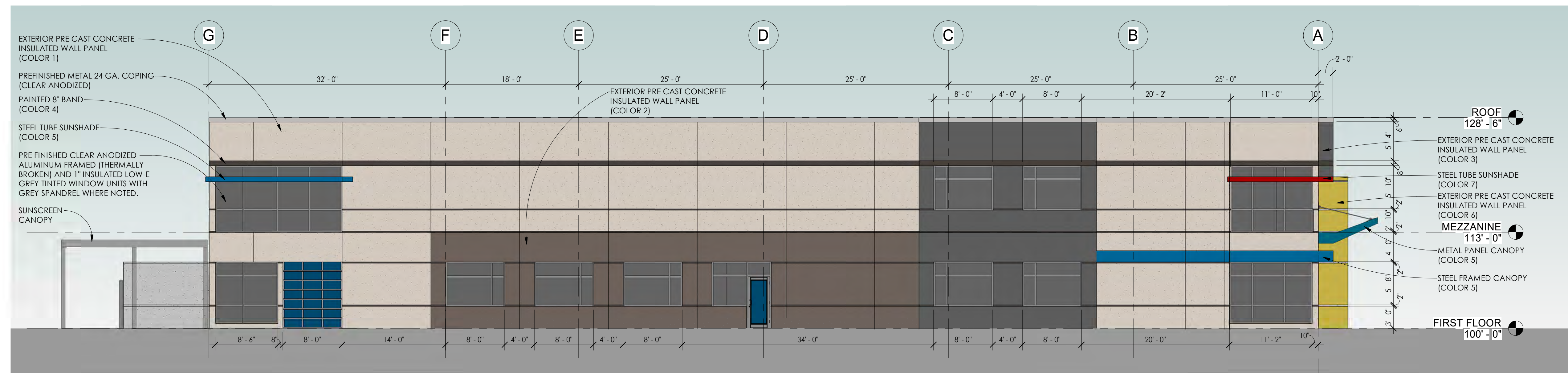
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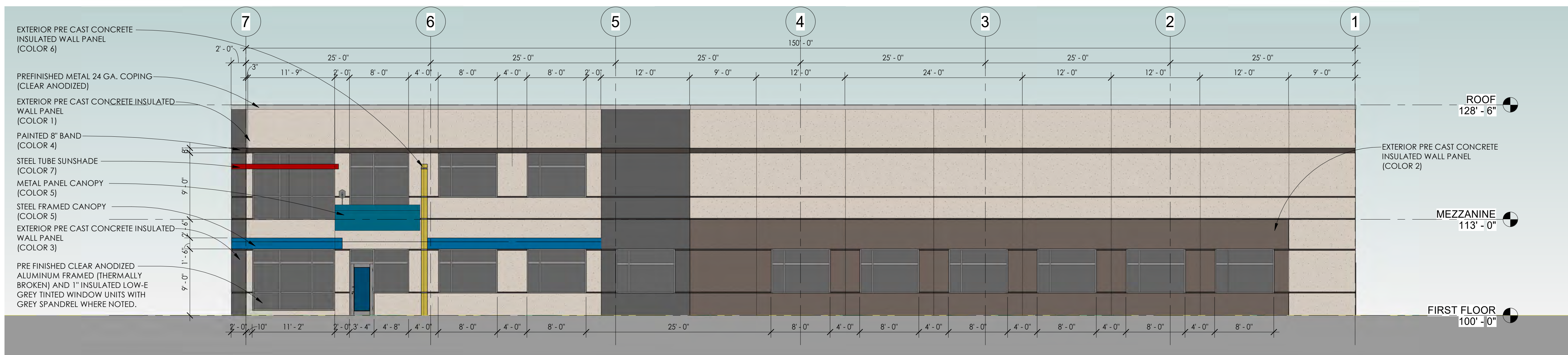
4 WEST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"



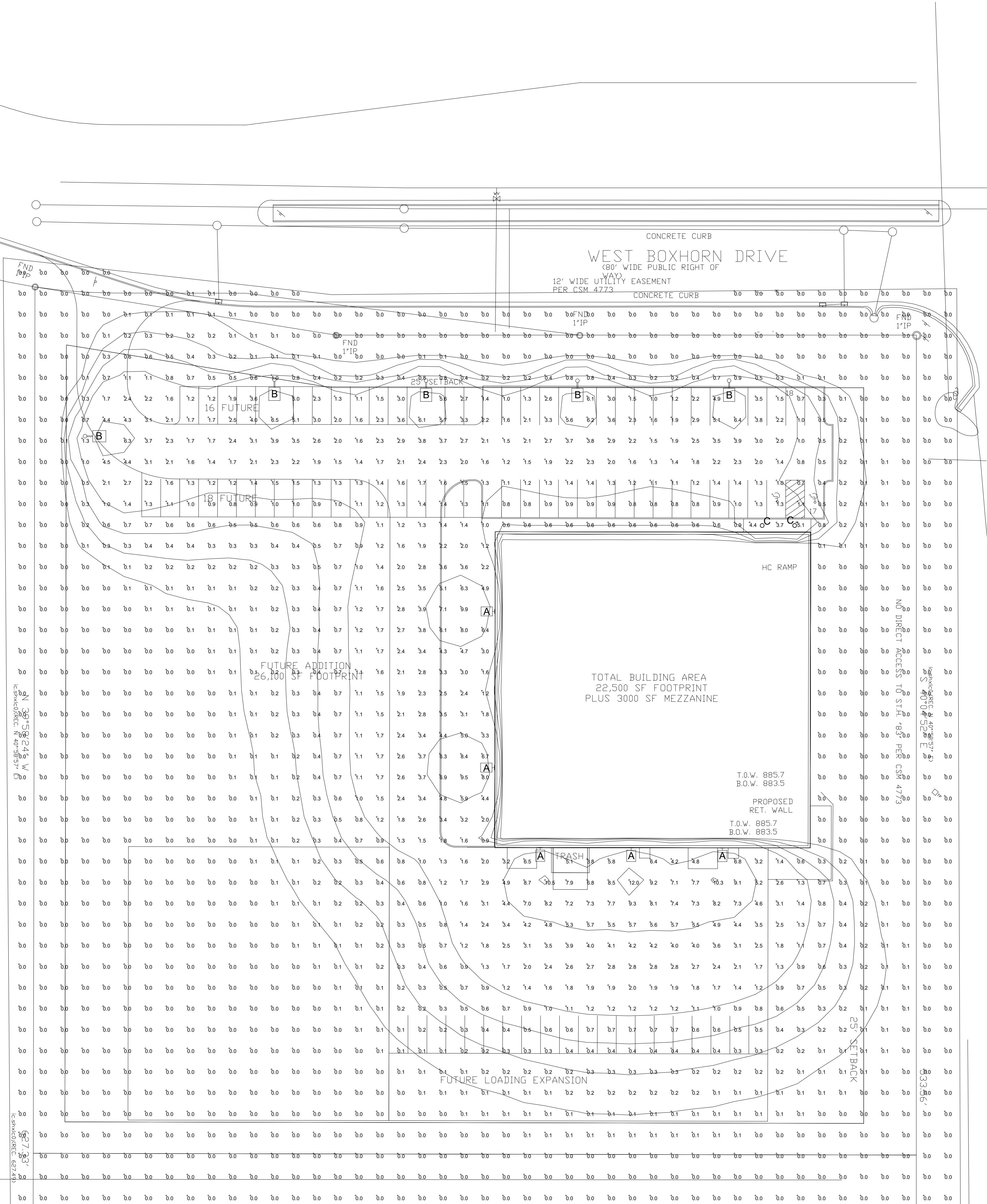
BIRDS EYE PERSPECTIVE



WEST PERSPECTIVE

Luminaire Schedule							
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Wattage
☐	A	5	RAB LIGHTING, INC.	WPLED4150 (TYPE IV)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST PAINTED METAL LENS FRAME.	6	155.7
☐	B	5	RAB LIGHTING, INC.	ALED4165 (TYPE IV)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 2-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST PAINTED METAL LENS FRAME.	6	105.7
○	C	2	Cooper Lighting	600 Lumen LED Recessed Canopy Fixture	600 Lumen LED Recessed Canopy Fixture 1" Recessed Housing	1	14

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Calc Zone #1	+	0.8 fc	12.0 fc	0.0 fc	N/A	N/A	0.1:1



WPLED4T150

RAB | Outdoor



Project: Touchpad Electronics	Type: A
Prepared By: HFR electric inc.	Date: 5-3-19
Driver Info	LED Info
Type 120V 240V 277V Input Watts	Constant Current 1.2MA 0.80A 0.69A 0.69A 155.8W
Watts 120W 240W 277W Input Watts	Color Temp 5000K (Cool) 71 CRI 100,000 Lumens 118.5 LPW

Technical Specifications

Listings
UL Listing:
Suitable for wet locations

DLC Listed:
The product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: P000177G

IESNA LM-79 & LM-80 Testing:
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

LED Characteristics

Lifespan:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculation.

LEDs:
Multi-chip, high-output, long-life LEDs

Color Consistency:
7-step MacAdam Ellipse binning to achieve consistent foot-candle-to-foot-candle color.

Color Stability:
LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period

Color Uniformity:
RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standards Institute for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction
IES Classification:
High-temperature silicone gaskets

Mounting:
Heavy-duty mounting arm with "O" ring seal & stainless steel screws

Reflector:
Special vacuum-metallized polycarbonate

Gaskets:
High-temperature silicone gaskets

Finish:
Formulated for high durability and long-lasting color

Green Technology:
Mercury and UV free. RoHS-compliant components

IP Rating:
IP66 Protection rating of IP66 for dust and water

Maximum Ambient Temperature:
Suitable for use in 40°C (104°F)

Cold Weather Starting:
Minimum starting temperature is -40°C (-40°F)

Thermal Management:
Superior thermal management with external "Air-Flow" fins

Housing:
Die-cast aluminum housing, lens frame and mounting arm

WPLED4T150

RAB | Outdoor

Technical Specifications (continued)

Other

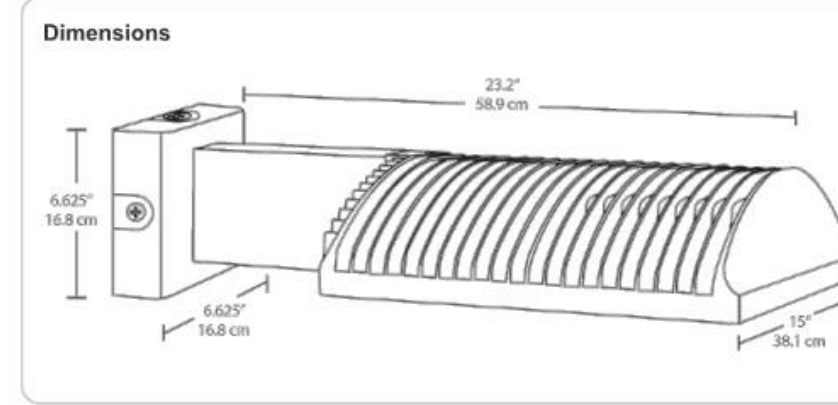
Warranty:
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user including coverage of light output, color stability, driver performance and future finish. RAB's warranty is subject to all terms and conditions found at www.rablighting.com/legal/warranty

Buy American Act Compliance:
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical
Beam Rating:
81 LU G3

Electrical
Driver:
One Driver, Constant Current, Class 2, 2100mA 100-277V, 50-60Hz, Power Factor 99%

THD:
4.7% at 120V, 13.3% at 277V



Dimensions

Features

- High performance LED light engine
- Maintains 70% of initial lumens at 100,000-hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- Replaces 40W MH
- 100 up to 277 Vols
- 5-Year, No-Compromise Warranty

Ordering Matrix

Family	Optics	Wattage	Color Temp	Mounting	Finish	Driver Options	Other Options	
WPLED	4T	50 = 50W	Blank = 5000K (Cool)	Blank = Arm Mount	Blank = Bronze	Blank = Standard	Blank = Standard	
								Blank = 4000K (Cool)
		78 = 78W	N = 4000K (Neutral)	FX = Flat Mount	White	Blank = Standard	Blank = Standard	
		105 = 105W	Y = 3000K (Warm)	W = White	Blank = Standard	Blank = Standard		
	3T	50 = 50W	Blank = 5000K (Cool)	Blank = Arm Mount	Blank = Bronze	Blank = Standard	Blank = Standard	Blank = Standard
		78 = 78W	N = 4000K (Neutral)	FX = Flat Mount	White	Blank = Standard	Blank = Standard	
		105 = 105W	Y = 3000K (Warm)	W = White	Blank = Standard	Blank = Standard		
	2T	50 = 50W	Blank = 5000K (Cool)	Blank = Arm Mount	Blank = Bronze	Blank = Standard	Blank = Standard	Blank = Standard
		78 = 78W	N = 4000K (Neutral)	FX = Flat Mount	White	Blank = Standard	Blank = Standard	
		105 = 105W	Y = 3000K (Warm)	W = White	Blank = Standard	Blank = Standard		

ALED4T105

RAB | Outdoor



Project: Touchpad Electronics	Type: B
Prepared By: HFR electric inc.	Date: 5-3-19
Driver Info	LED Info
Type 120V 240V 277V Input Watts	Constant Current 0.88A 0.58A 0.58A 109.4W
Watts 120W 240W 277W Input Watts	Color Temp 5000K (Cool) 79 CRI 100,000 Lumens 131.800 LPW

Technical Specifications

Listings
UL Listing:
Suitable for wet locations

DLC Listed:
The product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: P000177G

IESNA LM-79 & IESNA LM-80 Testing:
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

LED Characteristics

Lifespan:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

LEDs:
Multi-chip, high-output, long-life LEDs

Color Consistency:
LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period

Color Uniformity:
RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standards Institute for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction
IES Classification:
High-temperature silicone gaskets

Mounting:
Universal mounting arm compatible for hole spacing patterns from 1" to 3 1/2" center to center. Round Pole Adapter plate included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be 1/4" to mount fixture at 90° orientation.

Reflector:
Special vacuum-metallized polycarbonate

Gaskets:
High-temperature silicone gaskets

IP Rating:
IP66 Protection rating of IP66 for dust and water

Effective Projected Area:
819A = 0.75

Maximum Ambient Temperature:
Suitable for use in 40°C (104°F)

Cold Weather Starting:
Minimum starting temperature is -40°C (-40°F)

Thermal Management:
Superior thermal management with external "Air-Flow" fins

Housing:
Die-cast aluminum housing, lens frame and mounting arm

Reflector:
Special vacuum-metallized polycarbonate

Gaskets:
High-temperature silicone gaskets

IP Rating:
IP66 Protection rating of IP66 for dust and water

ALED4T105

RAB | Outdoor

Technical Specifications (continued)

Construction
Finish:
Formulated for high durability and long-lasting color

Green Technology:
Mercury and UV free. RoHS-compliant components

Electrical
Surge Protection:
4kV

Drivers:
Two Drivers, Constant Current, Class 2, 1400mA, 100-277V, 50/60Hz, 0.6A, Power Factor 99%

THD:
7.6% at 120V, 16.5% at 277V

Power Factor:
99.5% at 120V, 94.5% at 277V

Other
Compatibility:
Compatible with Round Poles with a diameter of 2 1/2" to 4"

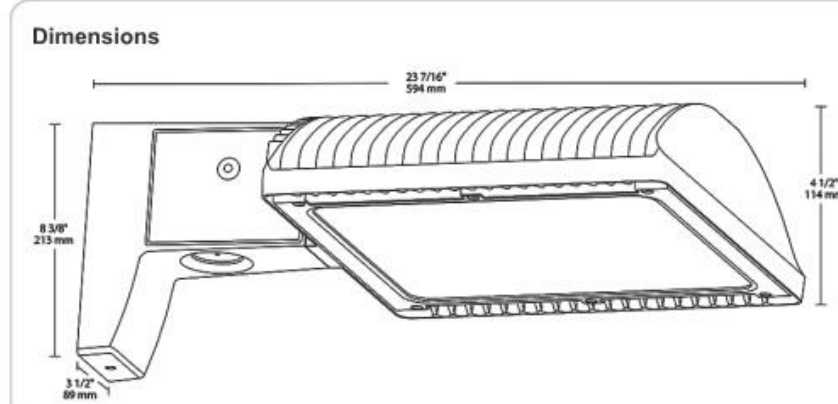
BAA Compliance:
Click www.rablighting.com/product/ALED4T105_USA for BAA compliance.

Warranty:
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and future finish. RAB's warranty is subject to all terms and conditions found at www.rablighting.com/legal/warranty

Equivalency:
Replaces 320W Metal Halide

Buy American Act Compliance:
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical
BUG Rating:
81 LU G2



Dimensions

Features

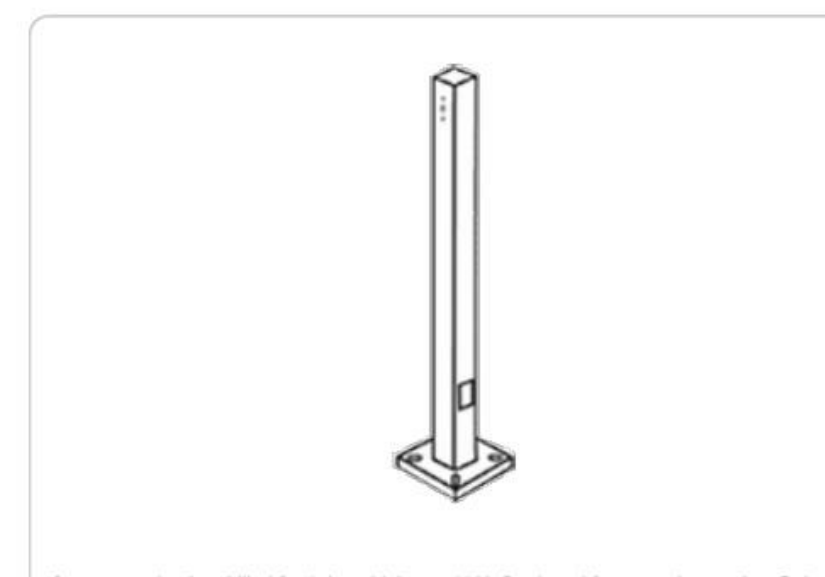
- 66% energy cost savings vs. HID
- 100,000-hour LED lifespan
- 5-Year, No-Compromise Warranty

Ordering Matrix

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	4T	50 = 50W	Blank = Pole mount	Blank = 5000K (Cool)	Blank = Bronze	Blank = 120-277V	Blank = No Option	Blank = Standard
		78 = 78W	BF = Splitter	N = 4000K (Neutral)	Gray	Blank = 120-277V	Blank = 4000K (Cool)	
		105 = 105W	Y = 3000K (Warm)	W = White	Black	Blank = 120-277V	Blank = 4000K (Cool)	
	3T	50 = 50W	Blank = Pole mount	Blank = 5000K (Cool)	Blank = Bronze	Blank = 120-277V	Blank = No Option	Blank = Standard
		78 = 78W	N = 4000K (Neutral)	Gray	Blank = 120-277V	Blank = 4000K (Cool)		
		105 = 105W	Y = 3000K (Warm)	W = White	Black	Blank = 120-277V	Blank = 4000K (Cool)	
	2T	50 = 50W	Blank = Pole mount	Blank = 5000K (Cool)	Blank = Bronze	Blank = 120-277V	Blank = No Option	Blank = Standard
		78 = 78W	N = 4000K (Neutral)	Gray	Blank = 120-277V	Blank = 4000K (Cool)		
		105 = 105W	Y = 3000K (Warm)	W = White	Black	Blank = 120-277V	Blank = 4000K (Cool)	

PS4-11-20D2

RAB | Outdoor



Project: Touchpad Electronics	Type: Pole
Prepared By: HFR electric inc.	Date: 5-3-19

Hand Notes:
Reinforced with grounding lug and removable cover

Base Plates:
Slotted base plates 36,000 p.s.i.

Shipping Protection:
All poles are shipped in individual corrugated cartons to prevent finish damage

Color:
Bronze powder coating

Height:
20 FT

Weight:
137 lbs

Gauge:
11

Wall Thickness:
1/8"

Shaft Size:
4"

Hand Hole Dimensions:
3" x 5"

Bolt Circle:
8 1/2"

Base Dimension:
6"

Anchor Bolt:
Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

Anchor Bolt Templates:
WARNING: Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available at www.rablighting.com/download/instructions/template.pdf

Pre-Shipped Anchor Bolts:
Bolts can be pre-shipped upon request for additional freight charge

Max EPA's/Max Weights:
70MPH 8.2 @ 240 lb.
80MPH 5.6 @ 110 lb.
90MPH 3.8 @ 110 lb.
100MPH 2.8 @ 75 lb.
110MPH 1.0 @ 45 lb.
120MPH 0.2 @ 20 lb.

Accessories:
Anchor Bolts: www.rablighting.com/product/ABK4-11

Technical Specifications (continued)

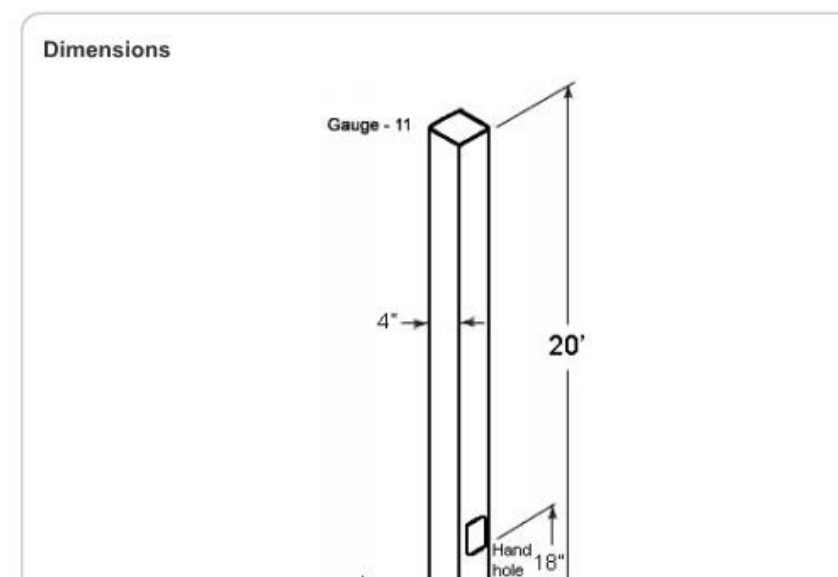
Other

Terms of Sale:
Pole Terms of Sale is available.

Buy American Act Compliance:
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

PS4-11-20D2

RAB | Outdoor



Dimensions

Features

- Designed for ground mounting
- Heavy duty TGIC polyester coating
- Reinforced hand holes with grounding lug and removable cover for easy wiring access
- Anchor Bolt Kit includes pole cap and base cover (sold separately)
- Custom manufactured for each application

Description

The Halo RL560 is a complete LED Retrofit Module for 5" and 6" aperture recessed downlights, suitable for new construction, remodel and retrofit installation. The RL560 is UL Listed for use with Halo and All-Pole, and is UL Classified for use with other compatible "O" ring housings. The RL560 with integral LED driver offers 120 volt dimming capability. The RL560 lens provides uniform illumination and wet location listing. Precision construction makes any housing AIR-TITE, NEC section 410.16 (A)(1) and 410.16 (C)(1).

Mechanical Module - Trim

• Module construction includes LED, heat sink, reflector, lens, baffle and trim ring

• Regressed baffle

• Heat sink designed to conduct heat away from the LED keeping the junction temperatures below specified maximums, even when installed in insulated ceiling environments, L70 at 50,000 hours

• Designer trim finish options (sold separately)

- White Paintable Trim Ring
- Satin Nickel Trim Ring
- Tuscan Bronze Trim Ring

Electrical Power Connections

• LED connector is a non-reciprocal luminaire disconnect offering easy installation with the existing Halo 5" and 6" LED housing

• LED Connector meets California Title 24 high efficiency luminaire requirement for a non-reciprocal base socket and where required to qualify as a high efficiency luminaire

• The included E26 medium screw-base Edison adapter provides easy retrofit of incandescent housings (see Housing Compatibility Database *)

Ground Connection
Separate grounding cable included on the module for attachment to the housing during installation.

LED Driver
• With the latest "three-on-board" electronics technology, the driver is integrated in the module.

- 120V @60Hz constant current dimmable driver provides high-efficiency operation
- Driver meets FCC 47CFR Part 15, EMF/RFI consumer limits for use in residential and commercial install
- Driver features high power factor and low THD and has integral thermal protection in the event of over temperature or internal failure
- If dimming is not required, the fixture can be operated from a standard wall switch

Housing Compatibility

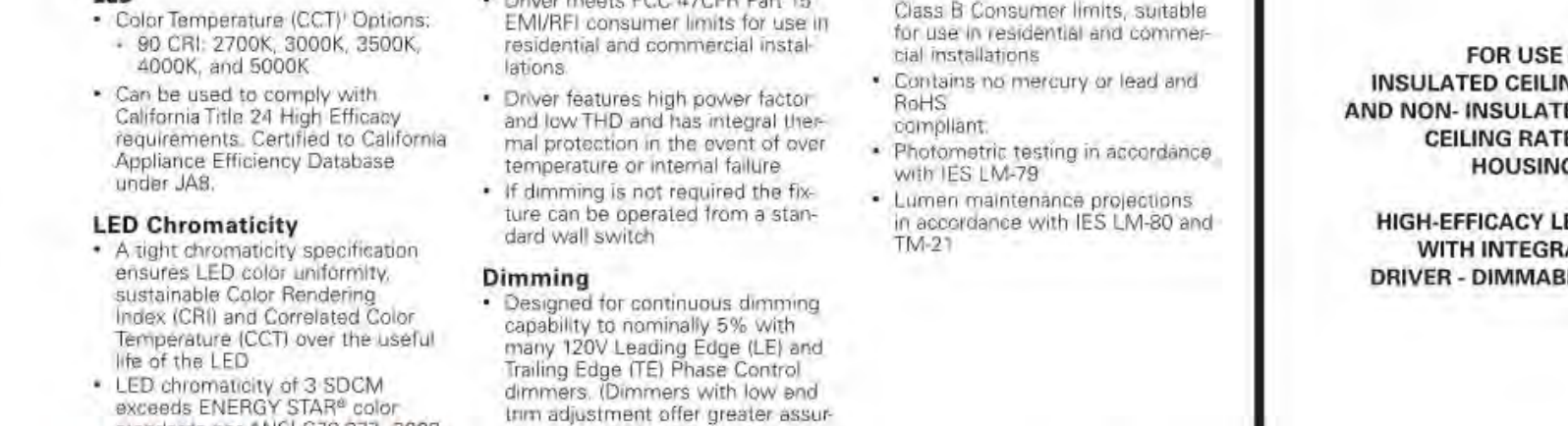
See Housing Compatibility

LED

- Color Temperature (CCT) Options:
 - 90 CRI: 2700K, 3000K, 3500K, 4000K, and 5000K
- Can be used to comply with California Title 24 High Efficiency requirements, Certified to California Appliance Efficiency Database under AHJ

LED Chromaticity

- A light chromaticity specification ensures LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) over the useful life of the LED
- LED chromaticity of 3 SDCM exceeds ENERGY STAR® color standards per ANSI C78.377-2008



FOR USE IN INSULATED CEILING AND NON-INSULATED CEILING RATED HOUSINGS

HIGH-EFFICACY LED WITH INTEGRAL DRIVER - DIMMABLE

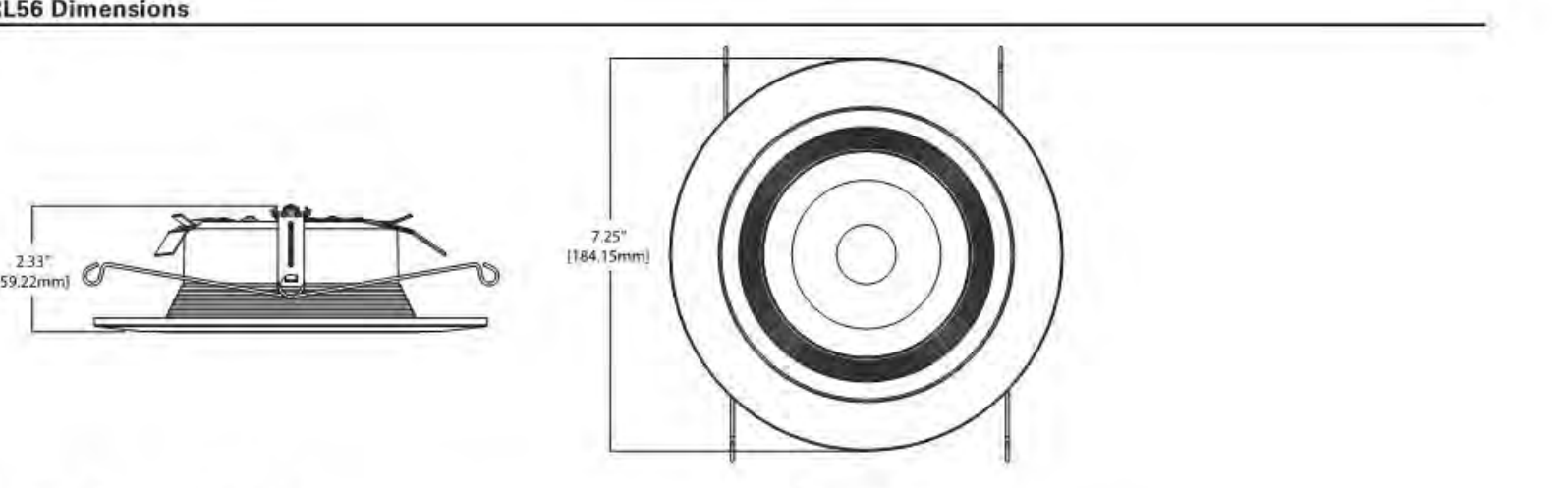
600 Series 5/6-Inch LED Recessed Retrofit Module-Trim

2700K, 3000K, 3500K, 4000K, 5000K

TDS18021EN
October 20, 2019 5:38 PM

Page 1

RL56 LED System 600 Series



Designer Trim Dimensions



Energy Data

Minimum Starting Temp: 30°C (87°F)
Max In: FCC Title 47 CFR Part 15, Class B Consumer

Sound Rating: Class A

Input Voltage: 120V
Power Factor: >0.99
Heat Frequency: 50Hz
THD: <20%

Input Power: 7.5W, RL560WH607
2.30W, RL560WH608, RL560WH609, RL560WH610
5.5W, RL560WH601
8.5W, RL560WH602, RL560WH603
9.0W, RL560WH604

Input Current: 0.15A

Maximum IC Dissipated Ceiling Ambient Continuous Operating Temperature: 25°C (77°F)
Maximum Ambient Continuous Operating Temperature: 40°C (104°F)

Ordering Information

Sample Number: **RL560WH602**
Complete kit includes RL56 LED Module and a 5" or 6" compatible housing, ordered separately. Optional accessory designer trim ring ordered separately.

RL56 600 Series

RL56WH607: 7.0" Recessed Baffle - Trim LED Module, 90CRI, 2700K, Matte White

RL56WH608: 7.0" Recessed Baffle - Trim LED Module, 90CRI, 3000K, Matte White

RL56WH609: 7.0" Recessed Baffle - Trim LED Module, 90CRI, 3500K, Matte White

RL56WH610: 7.0" Recessed Baffle - Trim LED Module, 90CRI, 4000K, Matte White

RL56WH601: 5.0" Recessed Baffle - Trim LED Module, 90CRI, 2700K, Matte White

RL56WH602: 5.0" Recessed Baffle - Trim LED Module, 90CRI, 3000K, Matte White

RL56WH603: 5.0" Recessed Baffle - Trim LED Module, 90CRI, 3500K, Matte White

RL56WH604: 5.0" Recessed Baffle - Trim LED Module, 90CRI, 4000K, Matte White

RL56TRIMW: 5" Satin Nickel Trim Ring

RL56TRIMBZ: 5" Tuscan Bronze Trim Ring

RL56TRIMN: 5" White Paintable Trim Ring

OTDRP: Over-the-Raft White Plastic Trim Ring 8" I.D. x 5.124" O.D. (ring slips behind RL56 ring, in recessed configuration)

TRIMW: Over-the-Raft White Metal Trim Ring 8" I.D. x 4" O.D. (ring slips behind RL56 ring, in recessed configuration)

TRIMBZ: Over-the-Raft Matte White Metal Trim Ring. Designed for RL56 ring to mount and recessed ring for an arm.

Item shipped trim surface

NOTED: Replacement screws (not included with kit)



For use in insulated ceiling and non-insulated ceiling rated housings.

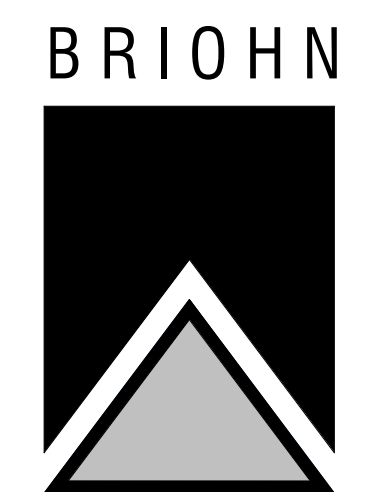
High-Efficiency LED with Integral Driver - Dimmable



Refer to ENERGY STAR® Certified Products List and IESNA Appliance Database for listings.

* Not for use with housings in direct contact with spray foam insulation.

See additional information table for available models.



DESIGN GROUP
3865 N. BRIDGECREEK ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53005-1900
(262) 780-5000 PHONE
(262) 780-5005 FAX

PRODUCT SPECS

SHEET TITLE

TOUCHPAD ELECTRONICS
PROPOSED NEW BUILDING:
W. BOXHORN DRIVE
MUKWONAGO, WI

JOB:	3124
DRAWN:	RS
CHECKED:	DF
DATE:	5/9/2019
SHEET:	

E1.1

RESOLUTION 2019-28

RESOLUTION APPROVING SITE PLAN AND ARCHITECTURAL REVIEW FOR CONSTRUCTION OF AN INDUSTRIAL BUILDING AT 101 W BOXHORN DRIVE TOUCHPAD ELECTRONICS, APPLICANT

WHEREAS, pursuant to Section 100-601 of the Zoning Code, an application for a Site Plan and Architectural Review has been filed in the office of the Village Clerk for an industrial building with 22,500 square feet, a permitted use within the M-4, Medium/Heavy Industrial, located at 101 W Boxhorn Drive, and

WHEREAS, the application has been submitted by Touchpad Electronics, and

WHEREAS, the plan of operation and plans have been reviewed and recommended by the Village Plan Commission.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the Site Plan and Architectural Review for the aforementioned project based upon the plan of operation and plans submitted to the Village.

NOW, THEREFORE, BE IT FURTHER RESOLVED this Site Plan and Architectural Review approval shall be subject to the following conditions:

1. Site Plan and Architectural Review approval for the construction of an industrial building with 22,500 square feet with site improvements are subject to all plans and information submitted by the property owner, Briohn Design Group, and other subconsultants with all plans and information on file in the office of the Zoning Administrator. The plans may be modified with the approval of the Zoning Administrator and Supervisor of Inspections to conform to Building and Fire Safety Codes and all plans may be further modified to conform to Village design standards. However, the basic layout and design of the site shall remain unchanged.
2. Prior to the start of any site construction or issuance of a building permit, whichever occurs first, the following shall occur:
 - a. Approval of the site construction and building plans by the Fire Chief, which may include, but are not limited to internal fire suppression, external fire department connection location and hydrant locations.
 - b. Approval of the site construction plans by the Utilities Director.
 - c. Approval of building plans by the Supervisor of Inspections after receipt of approval of building plans by the State of Wisconsin.
 - d. The Supervisor of Inspections, the Utilities Director, the Public Works Director and the Village Engineer shall approve all site engineering and utility plans and documents, including a complete Erosion Control Plan.
 - e. Approval by the Zoning Administrator of the final landscape plan and final site lighting plan.
 - f. Approval by the Village Engineer of any matter relating to stormwater management.
 - g. Approval of building plans shall include appropriate locations of the external mechanical equipment to be placed hidden from view from neighboring properties, as approved by the Zoning Administrator.

- h. Approval of directional, no parking signs and other on-site traffic control signs locations by the Police Chief, which also may include pavement markings.
 - i. The parcel must be created via a certified survey map as approved by the Village.
3. Furthermore, in addition to the requirements within Condition #2, before any site construction all Village Department Heads shall verify in writing they have approved the final plans and drawings within their purview; a pre-construction meeting shall be held with the applicant's representatives and contractors, and Village Department Heads and representatives; and all required fees owed by the applicant shall be paid to the Village.
4. Prior to temporary occupancy issuance, and if needed prior to final occupancy permit, the following shall occur:
 - a. Completion of all site grading in accordance with submitted and approved plans.
 - b. Completion of the building in accordance with approved plans and all applicable codes.
 - c. Completion of paving of driveways and parking lots, including parking space pavement markings and all other pavement markings including handicapped parking signs, and installation of on-site traffic control signs.
 - d. Completion of all utility connections.
5. Prior to final occupancy permit, which shall be issued no later than 120 days after any temporary occupancy permit, the following shall occur:
 - a. Completion of all items required in Condition No. 4.
 - b. Installation of dumpster enclosure, site lighting and site landscaping, as shown on approved plans with verification by the zoning administrator.
6. All on-site signs (freestanding and wall signs) shall be approved by separate review and permit.

NOW, THEREFORE, BE IT FURTHER RESOLVED the applicant, upon the approval of this Site Plan and Architectural Review shall agree to accept the same in writing.

Passed and dated this 19th day of June, 2019.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Judy A. Taubert, Village Clerk

The remainder of this page left intentionally blank.

ACCEPTANCE

This Site Plan and Architectural Review is accepted, and permittee agrees to abide by the terms thereof.

Village of Mukwonago

By: _____
Representative

Touchpad Electronics

By: _____
Owner/Agent

Print Name: _____



Village of Mukwonago

440 River Crest Court, Mukwonago, Wisconsin 53149
(262) 363-6420 x.2111

Office of the Village Planner

www.villageofmukwonago.com
planner@villageofmukwonago.com

Date: June 6, 2019

To: Fred Winchowky, Village President
Plan Commissioners

Cc: John Weidl, Village Administrator (via email); Judy Taubert, Village Clerk (via email); Bob Harley, Supervisor of Inspections (via email); Mark Blum, Village Attorney (via email); Jerad Wegner, Village Engineer (via email); Kevin Schmidt, Police Chief (via email); Jeff Stein, Fire Chief (via email); Ron Bittner, Public Works Director (via email); Steven Fisco, (GREA) agent for applicant (via email)

From: Tim Schwecke, AICP; Interim Village Planner

Subject: Amend site plan for ProHealth Care Mukwonago, located at 240 Maple Avenue, with regard to two parking areas

Meeting: June 11, 2019 Plan Commission meeting

Property location 240 Maple Avenue

Property owner/applicant ProHealth Care; Steven Fisco (GREA), agent

Description The petitioner is proposing to amend the site plan approved in 2018 by adding 57 parking spaces to an existing parking lot and adding a new parking lot with 107 spaces.

Stormwater management The proposed parking areas will be served by on-site stormwater management facilities. The Village Engineer has determined the existing facilities with modification will be able to handle the additional storm water. Approval is recommended provided the Village Engineer approves the final stormwater management plan.

Outdoor lighting The two parking areas will be lighted with the same fixtures and poles used throughout the project. Lighting complies with village requirements.

Landscaping Landscaping as currently proposed complies with village requirements.

Review procedure As set forth in the zoning code, the Plan Commission makes the final decision for projects within business zoning districts and all other nonmanufacturing zoning districts. The Plan Commission may (1) approve, (2) approve with conditions, or (3) deny the application. If approval is granted, the Plan Commission can impose conditions deemed necessary to protect the public health, safety, and welfare.

Public notice Aside from being included on the meeting agenda, no other public notice is required.

Potential motion recommending approval Recommend approval to the Village Board subject to the terms and conditions as set forth in the draft Resolution 2019-29

Attachments:

1. Application materials
2. Draft Resolution 2019-29

June 6, 2019

Mr. Tim Schwecke
Interim Planning/Zoning Administrator
Village of Mukwonago
P.O. Box 206
Mukwonago, WI 53149

Re: ProHealth Care Parking Lot Expansion
Preliminary Storm Water Review

Dear Mr. Schwecke:

We have reviewed the submittal for the parking lot expansion that was received in our office on April 4, 2019. This review is required by the Village Storm Water Ordinance to determine if early site planning has accounted for the requirements of the Ordinance. The intent is to avoid large changes to developments after the Planning Commission and Village Board have approved the concept and site plan.

We believe the site plan and storm water management plan can meet the requirements of the Village Ordinance if the following items were addressed and as such this letter will serve as the preliminary storm water review letter as detailed in 34-107(b) of the Village Ordinance. When a final revised and amended storm water management plan and construction drawings are submitted to us, we will perform a detailed technical review of the documents. Since the items were submitted to us, a few storm water management plan items needed to be clarified to meet the Village's ordinances. Those items were:

1. The proposed parking lot was not included in the original storm water management plan and maintenance agreement for the site. The plan and agreement needed to be amended to incorporate the new parking area.
2. The storm water management plan was not meeting the 80% TSS requirement of the Village ordinance. Modifications needed to be made to the pond and/or the plan to meet the requirements.

We have yet to receive or review the amended storm water plan and maintenance agreement, and construction drawings. Through discussions with the Village and GRAEF, the developer's engineer, it is apparent that no changes needed to be made to the layout of the proposed parking lot expansion and that the only changes that needed to be made were to the pond embankments and outlet structure. We believe that if these changes are made and the storm

Mr. Tim Schwecke
Village of Mukwonago
June 6, 2019
Page 2


water management plan and maintenance agreement for the site are amended, the proposed parking lot expansion can meet the requirements of the Village.

If the Planning Commission and the Village Board would choose to approve these documents, we would request that you make approvals subject to our detailed technical review of the revised and amended storm water management plan and maintenance agreement, and the final construction drawings for the requirements of the Department Heads and Village Ordinances. We also request that the permits to allow construction be withheld until this technical review is complete.

If you or any staff member should have any questions regarding this, please feel free to contact me at (262) 542-5733.

Very truly yours,

RUEKERT & MIELKE, INC.



Peter W. Gesch
Project Engineer
pgesch@ruekert-mielke.com

PWG:pwg

cc: Fred Winchowky, Village of Mukwonago
Linda Gourdoux, Village of Mukwonago
John Weidl, Village of Mukwonago
Bob Harley, Village of Mukwonago
Mark G. Blum, Village of Mukwonago
Dave Brown, Village of Mukwonago
Ron Bittner, Village of Mukwonago
Steve Fisco, P.E., GRAEF
Jerad J. Wegner, P.E., Ruekert & Mielke, Inc.
File

LEGEND

- XXXXXXX - SANCUIT PAVEMENT
- - REMOVE ASPHALT PAVEMENT
- - REMOVE CONCRETE SIDEWALK
- X - REMOVE TREE
- SCE - STONE CONSTRUCTION ENTRANCE
- SILT FENCE (1) (2) (3) (4) (5) (6) (7) (8) (9) (10)
- INLET PROTECTION (1) (2) (3) (4) (5) (6) (7) (8) (9) (10)
- 642 - EXISTING CONTOUR
- 638 - PROPOSED CONTOUR
- S--- - PROPOSED SANITARY SEWER
- S--- - PROPOSED STORM SEWER
- W--- - PROPOSED WATER MAIN
- T--- - TREE PROTECTION (1) (2) (3) (4) (5) (6) (7) (8) (9) (10)
- X--- - REMOVE SIGN

EROSION CONTROL

- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE VILLAGE OF MUKWONAGO AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WNR) SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS.
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR IMPROVEMENT OF THE EXISTING SURFACE MATERIAL ON SITE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONE INCH PER HOUR. MAINTENANCE OF EROSION CONTROL MEASURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING THE PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT THE END OF EACH WORKDAY.
- FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT AS PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLAN.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE ADJACENT PAVEMENT FREE OF DUST AND DIRT.
- CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
 - INSTALL SILT FENCE, INLET PROTECTION, TEMPORARY DIVERSION DETAIL AND STONE CONSTRUCTION ENTRANCE IN THE LOCATIONS INDICATED ON THIS PLAN. EROSION CONTROL SHALL BE USED AS SEQUENTIAL EROSION CONTROL. SILT FENCE SHALL BE INSTALLED AS PERMITTED BY WEATHER AND GROUND CONDITIONS. SEDIMENT BARRIER INSTALLATION NOT BE FEASIBLE, CONTRACTOR SHALL INSTALL TREATMENT IN ACCORDANCE WITH DETAIL 11/2000 AND WNR TECHNICAL STANDARDS 1071 AND AS ALLOWED BY LOCAL INSPECTORS.
 - APPLY SEDIMENT CONTROL POLYMERS TO SEDIMENT BASIN IN ACCORDANCE WITH WNR TECHNICAL STANDARD 1021.
 - REMOVE TREES AND SERVICE UTILITIES AND OTHER ABOVE GROUND APPURTENANCES NOTED FOR REMOVAL.
 - PERFORM HOUSE AND SERVICE UTILITIES AND OTHER ABOVE GROUND APPURTENANCES NOTED FOR REMOVAL.
 - INSTALL UTILITIES AND INSTALL INLET PROTECTION ON ALL STORM SEWER STRUCTURES INDICATED ON THIS PLAN.
 - CONSTRUCT BUILDING.
 - INSTALL PAVEMENT AND LANDSCAPING.
 - REMOVE ACCUMULATED SEDIMENT FROM SEDIMENT BASIN. STABILIZE ANY DISTURBED AREAS IMMEDIATELY.
 - ONCE EROSION CONTROL DEVICES ONCE THE SITE WORK IS COMPLETE AND SITE IS CONSIDERED STABILIZED BY THE VILLAGE OF MUKWONAGO.
- SITE DEMOLITION. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASIN OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES MONITORED BY THE WNR. SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.

GENERAL NOTES

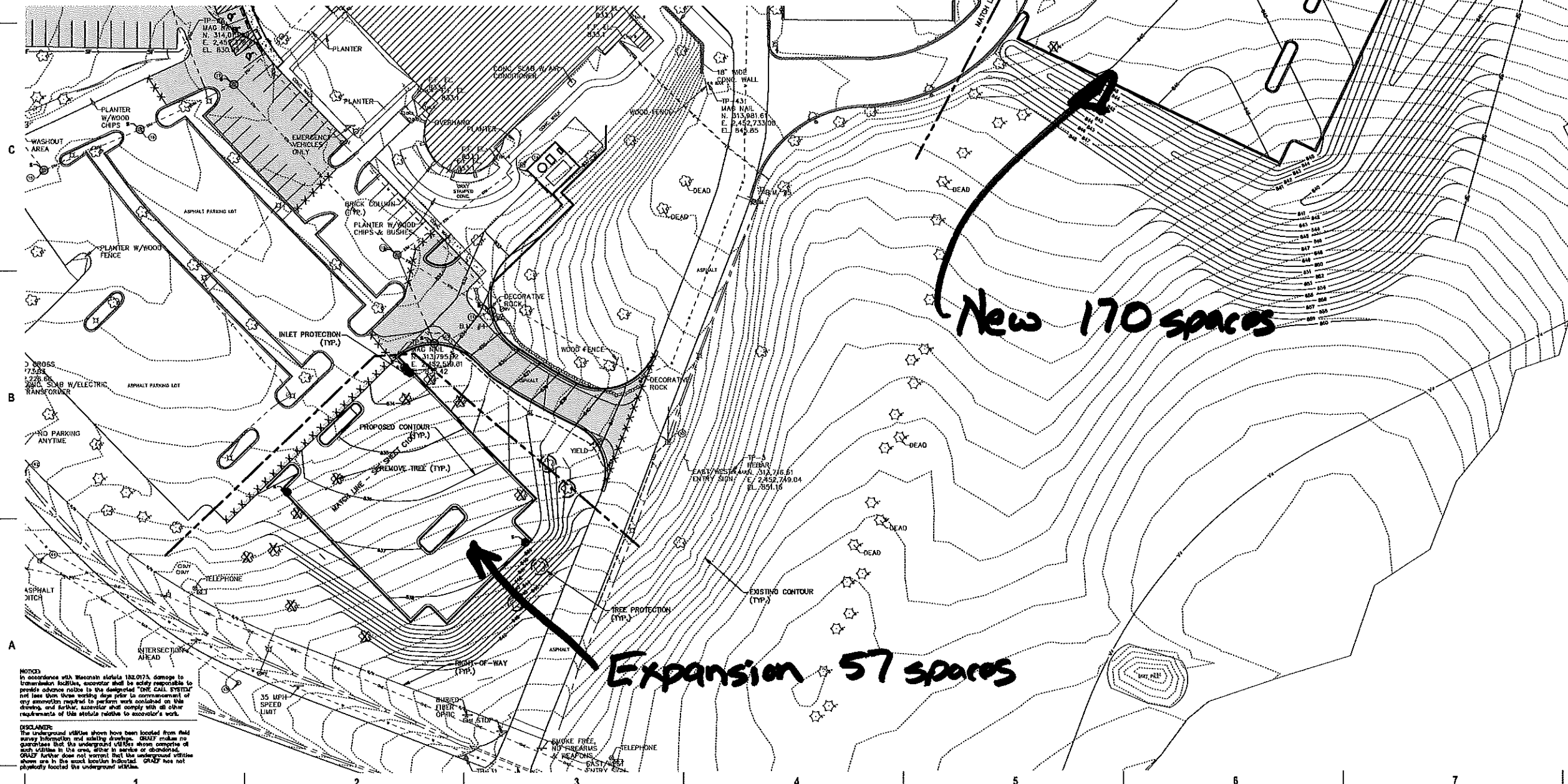
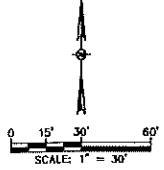
- THE BASE SURVEY WAS PREPARED BY GRAEF IN OCTOBER 2013. UNDERGROUND UTILITIES AND STRUCTURES HAVE SHOWN TO A REASONABLE DEGREE OF ACCURACY BASED ON SURVEY DATA AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
- REFER TO SHEET 0000 FOR BENCHMARKS, DATUM AND TOPOGRAPHIC ELEMENTS.
- CONTRACTOR SHALL VERIFY LOCATION OF PROPOSED WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

REMOVAL NOTES

- EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AND DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL VERIFY ALL EXISTING LINES NOTED FOR REMOVAL. EXISTING UTILITIES THAT ARE TO BE REMOVED SHALL BE REMOVED TO THE LOCATIONS INDICATED ON THIS PLAN. ALL UTILITY STRUCTURES LOCATED ALONG REMOVED UTILITY LINES SHALL BE REMOVED IN THEIR ENTIRETY.
- CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE TO PROTECT THE PUBLIC.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH LOCAL ORDINANCES FOR DUST CONTROL.

RESTORATION NOTES

- DISTURBED AREAS OF SITE SHALL BE STABILIZED AS DIRECTED ON THE SITE LAYOUT AND FINAL LANDSCAPE DRAWINGS. EROSION MATTING AND RIPRAP SHALL BE PLACED AS NOTED ON THIS DRAWING. ANY AREAS FIELD ADJUSTED TO A SLOPE OF 3:1 OR GREATER SHALL ALSO RECEIVE EROSION MATTING.
- SLOPED AREAS WITH SLOPES OF 6:1 OR GREATER BUT FLATTER THAN 3:1 SHALL RECEIVE TEMPORARY STRAW BLANKET MATTING AT TIME OF FINAL STABILIZATION AND SEEDING.
- SEEDING AND PLANTED AREAS SHALL RECEIVE AMENDED TOPSOIL TO DEPTHS AS SCHEDULED IN SECTION J2 81 19 LANDSCAPE GRADING. CONFIRM ALL AREAS AND RESTORATION DETAILS WITH FINAL LANDSCAPE DRAWINGS.
- ALL DISTURBED AREAS OUTSIDE OF PROPOSED PLANTING BEDS AND NOT BEING RESTORED WITH A PAVED SURFACE SHALL BE RESTORED WITH MANICURED TURF 500 IN ACCORDANCE WITH LANDSCAPE PLAN AND PLANTING SPECIFICATIONS.



appstein when : architects
 333 East Chicago Street
 Milwaukee, WI 53212
 414.271.5306



One Honey Creek Corporate Center
 125 South 84th Street, Suite 401
 Milwaukee, WI 53214-1469
 414 / 259 1500
 414 / 259 0037 fax
 www.graef-usa.com

PROJECT INFORMATION
PHC - MUKWONAGO EXPANSION

240 Maple Avenue
 Mukwonago, WI 53149



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
12/20/2018	BID PACKAGE 2: CORE AND SHELL
02/06/2019	CONSTRUCTION BULLETIN 02 (BPT)
03/28/2019	VILLAGE COMMENTS

SHEET INFORMATION

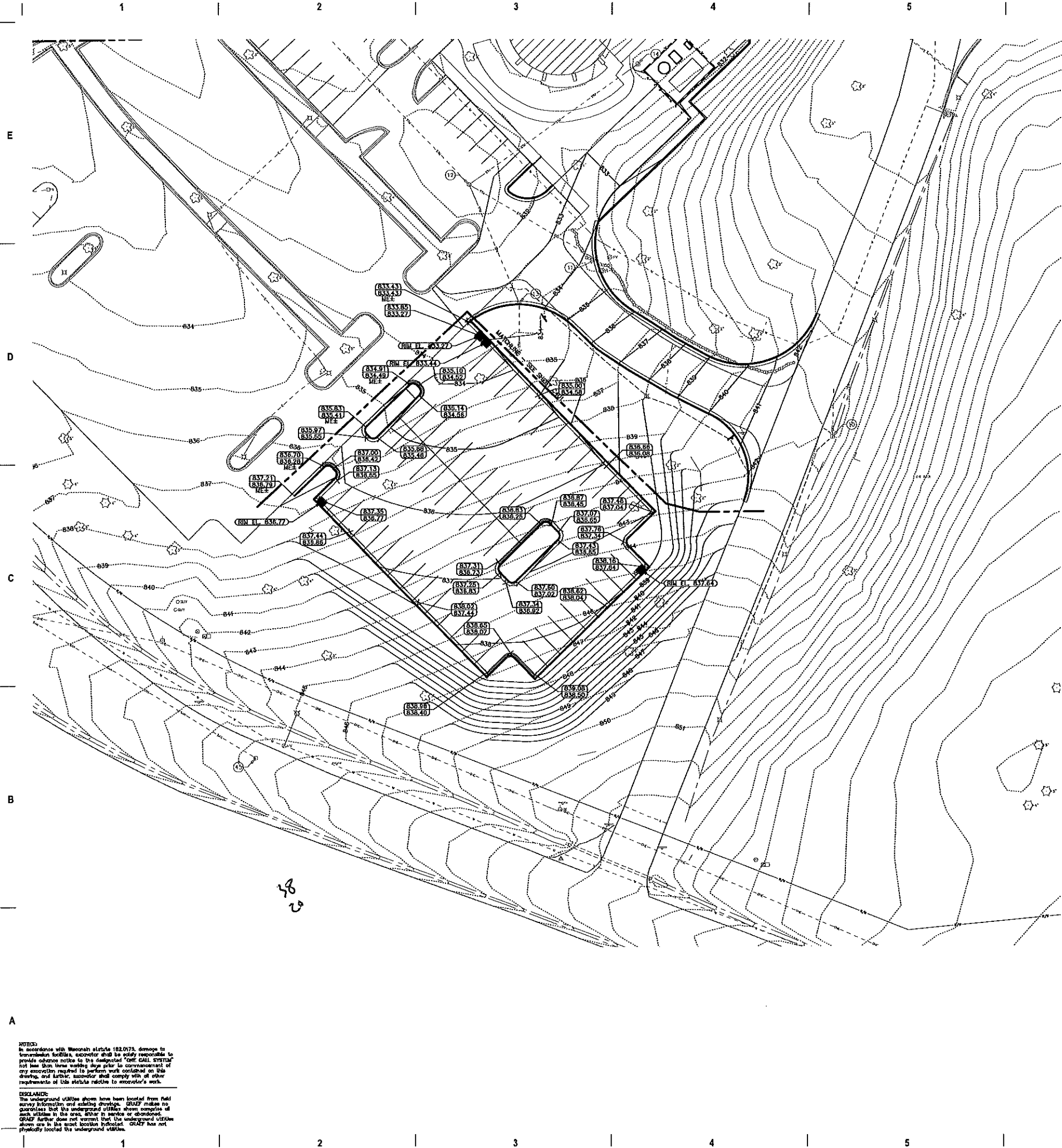
PROJECT MANAGER SJF
 PROJECT NUMBER 2018-0215.00

SITE DEMOLITION AND EROSION CONTROL PLAN

C101

© Appstein When Architects, Inc.

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LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED FLUSH CONCRETE CURB AND GUTTER
- PROPOSED MANHOLE
- TOP OF CURB ELEVATION
- CURB FLANGE ELEVATION
- SPOT GRADE
- CURB RAMP

GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY GRAEF IN OCTOBER 2013. UNDERGROUND UTILITIES AND STRUCTURES HAVE SHOWN TO A REASONABLE DEGREE OF ACCURACY BASED ON SURVEY DATA AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERE TO.
2. REFER TO SHEET C000 FOR BENCHMARKS, DATUM AND TOPOGRAPHIC ELEMENTS.
3. CONTRACTOR SHALL VERIFY LOCATION OF PROPOSED WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

GRADING NOTES

1. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:20 (5%) ALONG THE LENGTH OF THE ACCESSIBLE ROUTE AND A MAXIMUM SLOPE OF 1:50 (2%) ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS WITHIN AN ADA PARKING STALL AND ADJACENT UNLOADING ZONE.
2. ALL HANDICAP RAMPS SHALL HAVE A MAXIMUM SLOPE OF 12:1 AND MAXIMUM LENGTH OF 6 FEET.
3. EXISTING POND WAS DESIGNED TO HANDLE FUTURE EXPANSION FLOW. NO ADDITIONAL VOLUME IS REQUIRED.
4. EXISTING POND OUTLET CONTROL STRUCTURE IS SUFFICIENT TO HANDLE FUTURE EXPANSION. EXISTING OUTLET CONTROL STRUCTURE TO REMAIN IN PLACE.



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PROJECT INFORMATION

PHC - MUKWONAGO EXPANSION

240 Maple Avenue
Mukwonago, WI 53149



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
12/26/18	BID PACKAGE 2: CORE AND SHELL
02/06/19	CONSTRUCTION BULLETIN 02 (BP1)
03/26/19	VILLAGE COMMENTS

SHEET INFORMATION

PROJECT MANAGER SJF
PROJECT NUMBER 2018-0215.00

DETAILED SITE GRADING PLAN

C402

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X:\M\2018\20180215\CADD\Site\eng\PHC_00_C400_GradingPlan_215 3/26/2019 11:43 AM

NOTES:
In accordance with Wisconsin statute 182.073, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground utilities.



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PROJECT INFORMATION

PHC - MUKWONAGO EXPANSION

240 Maple Avenue
Mukwonago, WI 53149



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/20/2016	BID PACKAGE 2: CORE AND SHELL
02/06/2019	CONSTRUCTION BULLETIN 02 (BP1)
03/26/2019	VILLAGE COMMENTS

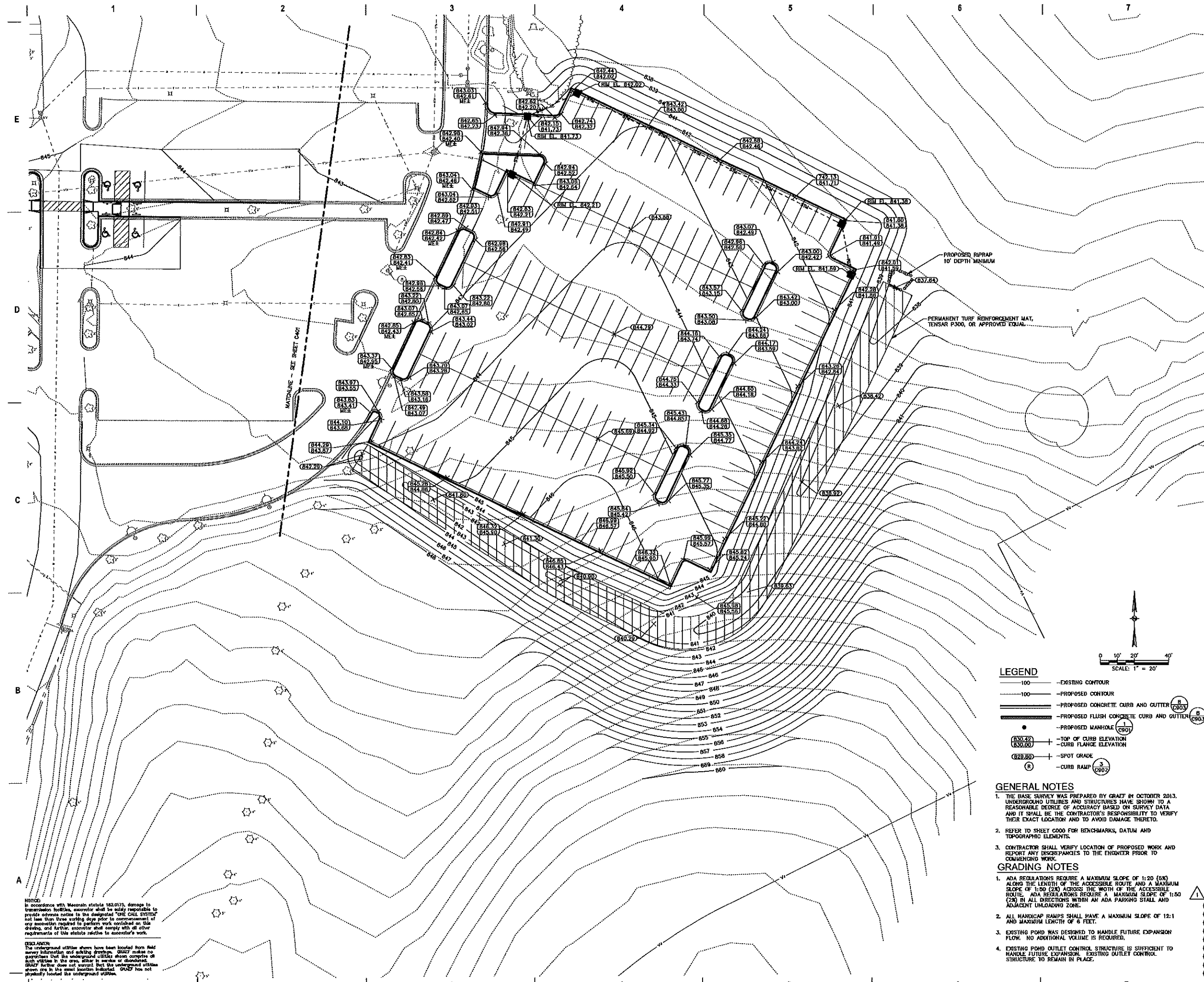
SHEET INFORMATION

PROJECT MANAGER S.J.F
PROJECT NUMBER 2018-0215.00

DETAILED SITE GRADING PLAN

C403

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LEGEND

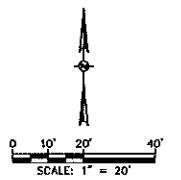
- 100 — EXISTING CONTOUR
- 100 — PROPOSED CONTOUR
- PROPOSED CONCRETE CURB AND CUTTER (C903)
- PROPOSED FLUSH CONCRETE CURB AND CUTTER (C901)
- PROPOSED MANHOLE (M901)
- (830.42)
(830.00) — TOP OF CURB ELEVATION
— CURB FLANGE ELEVATION
- (828.80) — SPOT GRADE
- (R) — CURB RAMP (C902)

GENERAL NOTES

- THE BASE SURVEY WAS PREPARED BY GRAEF IN OCTOBER 2013. UNDERGROUND UTILITIES AND STRUCTURES HAVE SHOWN TO A REASONABLE DEGREE OF ACCURACY BASED ON SURVEY DATA AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
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- EXISTING POND WAS DESIGNED TO HANDLE FUTURE EXPANSION FLOW. NO ADDITIONAL VOLUME IS REQUIRED.
- EXISTING POND OUTLET CONTROL STRUCTURE IS SUFFICIENT TO HANDLE FUTURE EXPANSION. EXISTING OUTLET CONTROL STRUCTURE TO REMAIN IN PLACE.



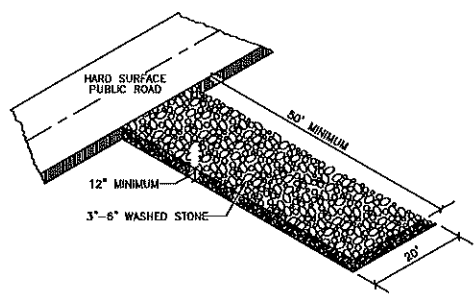
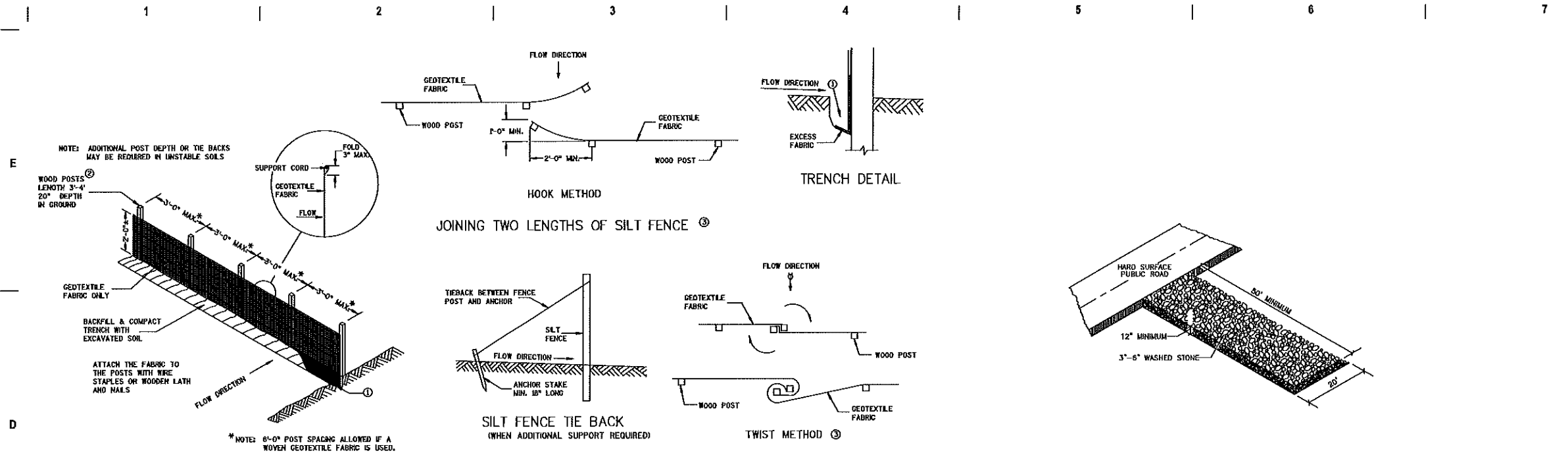
NOTICE
In accordance with Wisconsin statute 102.01(7), damage to transmission facilities, equipment shall be solely responsible to provide advance notice to the designated ONE CALL SYSTEM not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER
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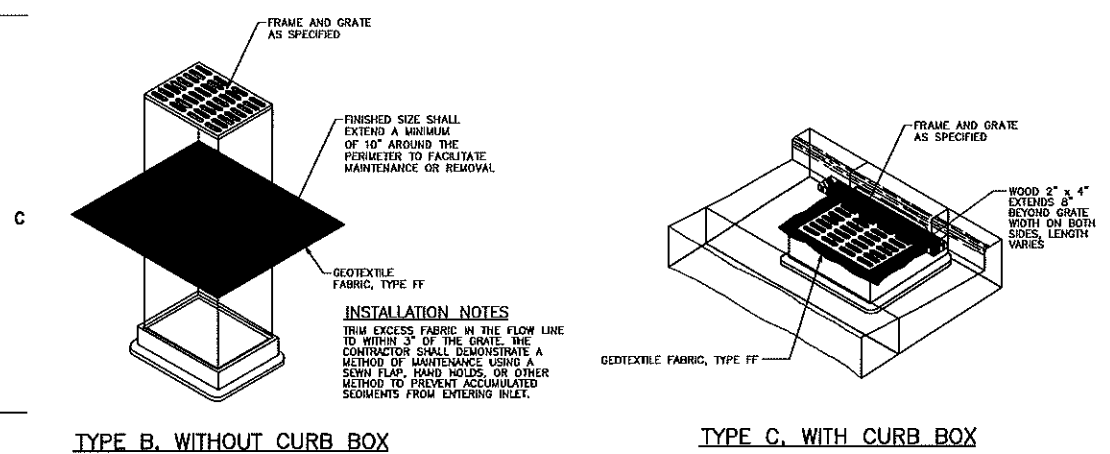
ISSUANCE AND REVISIONS

DATE	DESCRIPTION
12/20/2018	BID PACKAGE 2: CORE AND SHELL
02/09/2019	CONSTRUCTION BULLETIN 02 (BPT)
03/28/2019	VILLAGE COMMENTS

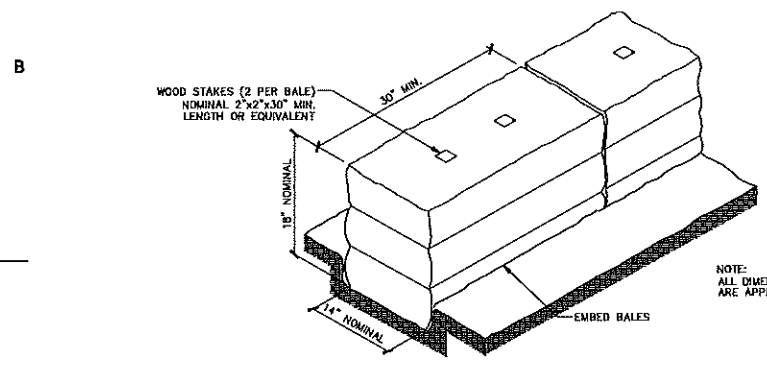


1 SILT FENCE SCALE N.T.S.

2 STONE CONSTRUCTION ENTRANCE SCALE N.T.S.

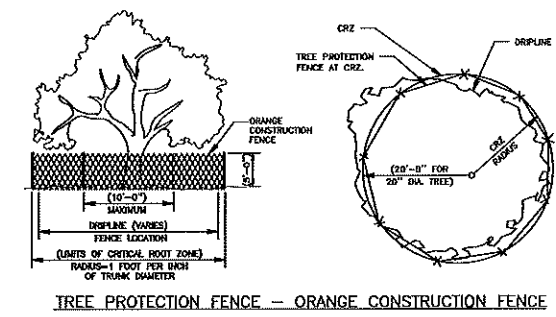


3 INLET PROTECTION SCALE N.T.S.



5 EROSION BALE SCALE N.T.S.

4 TREE PROTECTION SCALE N.T.S.



- ALL TREES SHOWN TO BE RETAINED WITHIN THE LIMITS OF CONSTRUCTION ON THE PLANS, SHALL BE PROTECTED DURING CONSTRUCTION WITH FENCING.
- TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING).
- EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN THE CRZ.
- FENCES SHALL COMPLETELY SURROUND THE TREE OR CLUSTERS OF TREES, LOCATED AT THE OUTERMOST LIMITS OF THE TREE BRANCHES (DRIPLINE) OR CRITICAL ROOT ZONE (CRZ), WHICHEVER IS GREATER; AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECT.
- ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL AND BACKFILLED WITH GOOD QUALITY TOP SOIL WITHIN TWO DAYS. IF EXPOSED ROOT AREAS CANNOT BE BACKFILLED WITHIN 2 DAYS, AN ORGANIC MATERIAL WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION SHALL BE PLACED TO COVER THE ROOTS UNTIL BACKFILL CAN OCCUR.
- PRIOR TO EXCAVATION OR GRADE CUTTING WITHIN TREE DRIPLINES, A CLEAN CUT SHALL BE MADE WITH A ROCK SAW OR SIMILAR EQUIPMENT, TO MINIMIZE DAMAGE TO REMAINING ROOTS.
- NO LANDSCAPE TOPSOIL DRESSING GREATER THAN FOUR (4) INCHES SHALL BE PERMITTED WITHIN THE DRIPLINE OR CRZ OF TREES, WHICHEVER IS GREATER. NO TOPSOIL IS PERMITTED ON ROOT FLARES OF ANY TREE.
- PRUNING TO PROMOTE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC, AND CONSTRUCTION EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION.

NOTICE:
 In accordance with Wisconsin statute 152.0175, damage to transmission facilities, associated shall be solely responsible to provide advance notice to the designated "TIE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
 The underground utilities shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground utilities.



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319 386-4000

PROJECT INFORMATION

PHC - MUKWONAGO
EXPANSION -
ELECTRICAL

D 240 Maple Avenue
Mukwonago, WI 53149



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
01/25/2019	RFP PACKAGE & DD DOCUMENTS
02/06/2019	CONSTRUCTION BULLETIN #1 (P/P)



KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

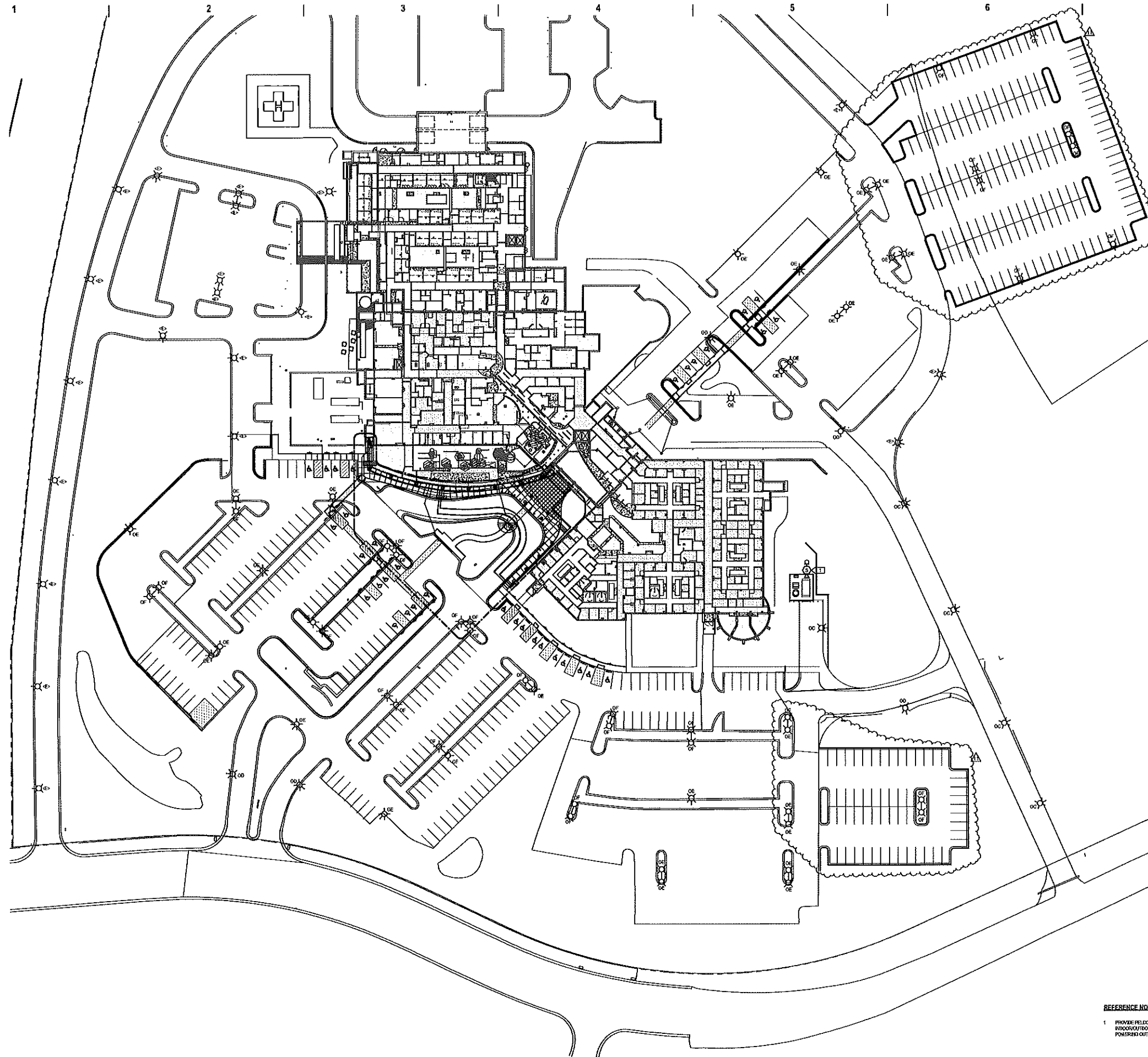
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER EMB
PROJECT NUMBER 417571-01

SITE PLAN -
ELECTRICAL

ES100

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1 SITE PLAN - ELECTRICAL
1" = 40'

REFERENCE NOTES:

1 PROVIDE FELDIO 360° CAMERA MOUNTED ON 15' POLE. PROVIDE 6 STRAND 18000V/OUTDOOR OMM FIBER TO I/A. PROVIDE 120V CIRCUIT FOR POWERSHA OUTDOOR NETWORK SWITCH.



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303.895.4500

PROJECT INFORMATION

PHC - MUKWONAGO
EXPANSION -
ELECTRICAL

D 240 Maple Avenue
Mukwonago, WI 53149

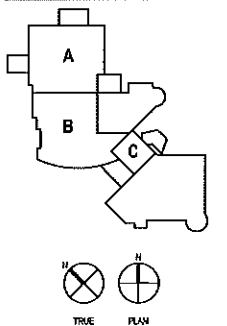


ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.11.2018	PLAN COMMISSION
11.02.2018	100 PACKAGE 2, 00 DOCUMENTS
02.09.2019	CONSTRUCTION BULLETIN 02 (2019)



KEY PLAN



SHEET INFORMATION

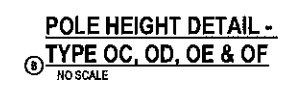
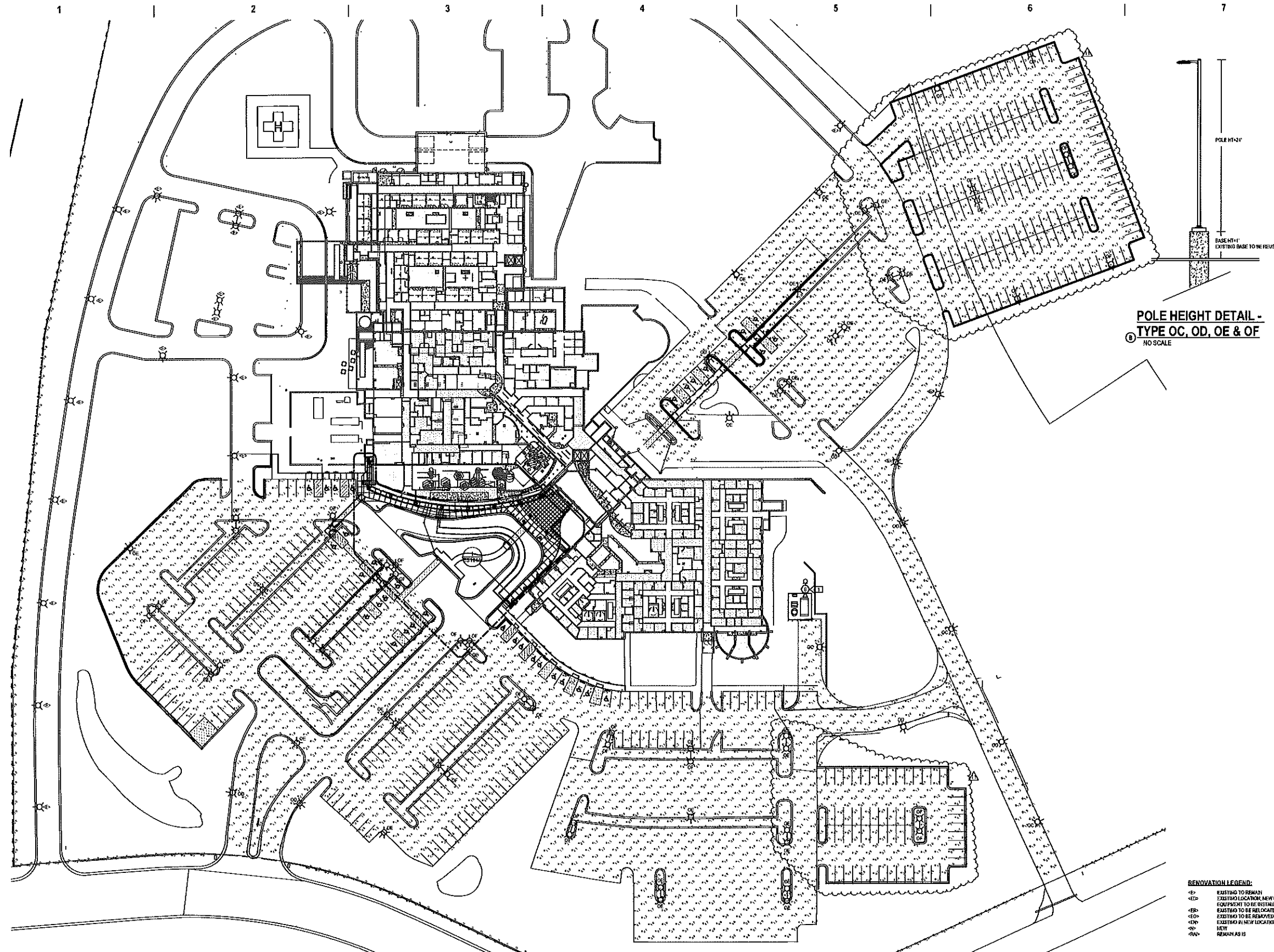
PROJECT MANAGER

PROJECT NUMBER 417571-01

PARTIAL SITE PLAN -
LIGHTING
PHOTOMETRICS

ES101

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- RENOVATION LEGEND:**
- ◊ EXISTING TO REMAIN
 - ◊ EXISTING LOCATION, NEW DEVICE OR EQUIPMENT TO BE INSTALLED IN PLACE
 - ◊ EXISTING TO BE RELOCATED
 - ◊ EXISTING TO BE REMOVED
 - ◊ EXISTING #1 NEW LOCATION
 - ◊ NEW
 - ◊ REMAIN AS IS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Footcandle	+	14.6 fc	48.8 fc	3.4 fc	11.5:1	3.5:1
Footcandle Side	○	17.0 fc	41.4 fc	3.3 fc	11.2:1	4.3:1
Footcandle Top	□	10.0 fc	18.0 fc	3.4 fc	5.3:1	3.1:1
Footcandle Bottom	×	14.0 fc	28.0 fc	3.4 fc	7.2:1	3.6:1
Footcandle Side	+	11.1 fc	18.8 fc	3.4 fc	5.5:1	2.8:1

TYPE	DESCRIPTION	LIGHT SOURCE			INPUT WATTS	SPECIFIED FIXTURE		REMARKS
		DESCRIPTION	K	CRI		MANUFACTURER	MODEL NO.	
OD	DOWNLIGHT - VENT LOCATION	LED	3000	90	11	FAICON	PHOTORELAY-110810	
OR	ASYMMETRIC AMBIENT LIGHTING	LED	3000	270	66	PHILIPS	NAE-TM-A-ASTA-YM-ST-00-15E	
OD	POLE MOUNTED - TYPE II	LED	4000	270	66	PHILIPS	GL-13-248-A-6033-NW	FIXTURE TO MATCH EXISTING FIXTURES INSTALLED AS PART OF ED PROJECT IN 2014
OD	POLE MOUNTED - TYPE II	LED	4000	270	101	PHILIPS	GL-13-2-105-A-6453-NW	FIXTURE TO MATCH EXISTING FIXTURES INSTALLED AS PART OF ED PROJECT IN 2014
OE	POLE MOUNTED - TYPE III	LED	4000	270	101	PHILIPS	GL-13-2-105-A-6453-NW	FIXTURE TO MATCH EXISTING FIXTURES INSTALLED AS PART OF ED PROJECT IN 2014
OE	POLE MOUNTED - TYPE IV	LED	4000	270	101	PHILIPS	GL-13-4-105-A-6453-NW	FIXTURE TO MATCH EXISTING FIXTURES INSTALLED AS PART OF ED PROJECT IN 2014

1 PARTIAL SITE PLAN - LIGHTING PHOTOMETRICS
1"=40'

RESOLUTION 2019-029

**RESOLUTION AMENDING THE SITE PLAN (AS APPROVED BY RESOLUTION 2018-072)
FOR PROHEALTH CARE WITH REGARD TO PARKING AREAS
PROHEALTH CARE, APPLICANT
240 MAPLE AVENUE**

WHEREAS, pursuant to Section 100-601 of the Zoning Code, an application to amend a previously approved site plan was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application has been submitted by Steven Fisco with GRAEF on behalf of ProHealth Care, and

WHEREAS, the ProHealth facility is zoned as B-5, Planned Business and Light Industrial Development District and originally approved with a Planned Unit Development Overlay that planned for and anticipated subsequent additions such as proposed with this subject application, and

WHEREAS, the applicant submitted a site plan and architectural plans to the Village Plan Commission for a major expansion project and the commission approved the same with Resolution 2018-072.

WHEREAS, the applicant now wishes to amend the site plan to provide for more parking.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the site plan with the revisions to the parking areas.

NOW, THEREFORE, BE IT FURTHER RESOLVED this site plan amendment is subject to the following conditions:

1. Site plan approval is subject to all plans and information submitted for the application by GRAEF, with all plans and information on file in the office of the Zoning Administrator. The plans may be further modified to conform to other conditions of approval; the site and construction drawings may be modified with the approval of the Village Engineer and other Village staff, and all plans may be further modified to conform to Village design standards. However, the basic layout and design of the parking areas shall remain unchanged.
2. Prior to the start of any site construction the following shall occur:
 - a. All final site development plans shall be consistent with the plans noted in Condition No. 1 or as modified.
 - b. Approval of the site plans by the Fire Chief.
 - c. The Village Engineer, the Utilities Director and the Public Works Director shall approve all site engineering and utility plans and documents, including a complete Erosion Control Plan.
 - d. Approval by the Police Chief of placement and type of traffic control signs.
 - e. Approval of a final landscaping plan by the Zoning Administrator.
 - f. The holding of a pre-construction meeting between the applicant, applicant's engineer and contractors and applicable Village staff.

- g. The Village Engineer shall approve a stormwater management plan for the additional parking areas and ensure the approved stormwater maintenance agreement is amended, if needed to account for the additional parking areas.
 - h. All required review fees and charges due to the Village of Mukwonago shall be paid.
3. Prior to temporary occupancy issuance, and if needed, prior to final occupancy permit any of any section of the addition or interior remodeling, the following shall occur:
 - a. Completion of the section of the building to be occupied in accordance with approved plans and all applicable codes.
 - b. Completion of first lift of paving of the reconfigured drives and parking.
 - c. Completion of fire suppression systems of the section of the building to be occupied.
 4. Prior to final occupancy permit, the following shall occur:
 - a. Completion of all items required in Condition No. 3.
 - b. Completion of final paving of the reconfigured drives and parking as indicated on the site plan as amended.
 - c. Installation of all site landscaping as shown on approved plans to the satisfaction of the Zoning Administrator.
 5. All prior Village of Mukwonago conditions of approval for the facility remain in effect.

NOW, THEREFORE, BE IT FURTHER RESOLVED the applicant, upon the approval of this site plan and architectural review shall agree to accept the same in writing.

Passed and dated this 19th day of June 2018.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Linda Gourdoux, Deputy Village Clerk

ACCEPTANCE

This site plan amendment review is accepted, and permittee agrees to abide by the terms thereof.

Village of Mukwonago

By: _____
Representative

ProHealth Care

By: _____
Agent

Print Name: _____