Village of Mukwonago REGULAR PLAN COMMISSION MEETING

Notice of Meeting and Agenda *Tuesday, August 13, 2019*

Time: **6:30 p.m.**

Place: Mukwonago Municipal Building/Board Room, 440 River Crest Court

1. Call to Order

2. Roll Call

3. Approval of minutes for the July 9, 2019 regular meeting

4. Public Hearings

All persons interested in making comments about any of the public hearing items will be heard. Formal petitions and written comments regarding any of the public hearing items may be submitted tonight. During the public hearing(s), if you wish to be heard, the Plan Commission asks that you begin by stating your name and address, speak for no more than three minutes and attempt to avoid duplication. Each person speaking at the public hearing must sign the Public Hearing Appearance sign-in sheet before speaking. The sign-in sheet is available on the table located at the back of the room.

- A. Comments for Business Mixed Use Development Overlay District as a Conditional Use and associated residential and commercial site plan for one (1) three-story 108-unit senior living building, with two (2) separate commercial buildings request for Vacant property on the South Side of E. Wolf Run, approximately 2,400 feet E. of the intersection of E. Wolf Run and Maple Ave. on behalf of Greg Petrauski of Infinity Development, LLC. Property owner: Greenwald; MUKV 2013995007.
- B. Comments for Planned Unit Development Overlay District as a Conditional Use and associated residential site plan for ten (10) side by side condominiums (duplexes) for two vacant properties located on the South Side of County Highway LO, approx. 700 feet East of County Highway I on behalf of Greg Petrauski of Infinity Development, LLC. Property Owner: Tekaver; MUKV 1979992 AND MUKV 1979991.

5. New Business

Discussion and Possible Action on the Following Items:

- A. Recommendation to the Village Board for Site Plan and Architectural Review as a Conditional Use for Business Mixed Use Overlay District Proposal (BMX) for Vacant property on the South Side of E. Wolf Run, approximately 2,400 feet E. of the intersection of E. Wolf Run and Maple Ave. on behalf of Greg Petrauski of Infinity Development, LLC. Property owner: Greenwald; MUKV 2013995007. Proposal is for one (1) three-story 108-unit senior living building, with two (2) separate commercial buildings (undetermined multi-tenant commercial usage) adjacent to E. Wolf Run.
- B. Recommendation to the Village Board for Site Plan and Architectural Review as a Conditional Use for Planned Unite Overlay District Proposal (PUD) for Vacant property on the South Side of County Highway LO, approx. 700 feet East of County Highway I, on behalf of Greg Petrauski of Infinity Development, LLC. Property owner: Tekaver;

MUKV 1979992 AND MUKV 1979991. Proposal is for for ten (10) side by side condominiums (duplexes) for 20 total units sharing a private cul de sac drive.

- C. Recommendation to the Village Board for Zoning District Boundary Change (rezoning) from A-1 Agricultural District with existing Floodplain Overlay, to R-5 Low Density Multi-Family Residential District with existing Floodplain Overlay for Vacant property on the South Side of County Highway LO, approx. 700 feet East of County Highway I, on behalf of Greg Petrauski of Infinity Development, LLC. Property owner: Tekaver; MUKV 1979992 AND MUKV 1979991.
- D. Recommendation to the Village Board for two wall signs for Banker Wire industrial property at 123 Boxhorn Dr; Parcel # A477300001.
- E. Recommendation to the Village Board for two-lot Certified Survey Map (CSM) for Helminiak property at terminus of Minors Drive (west end); MUKV1978999002.
- F. Recommendation to the Village Board for Extraterritorial Review (outside City limits, and within 1.5 miles) of four-lot Certified Survey Map on North side of Territorial Drive in the Town of Waterford; Parcel # 016041905004000.
- G. Recommendation to the Village Board for Amendment of Sections 100-352 and 100-354 of the Village of Mukwonago Municipal Code (a/k/a Zoning Ordinance) regarding Conditional Uses.

6. Adjournment

It is possible that members of, and possibly a quorum of, members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note that, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request this service, contact the Clerk's Office, 440 River Crest Court, (262) 363-6420, Option 4.

Village of Mukwonago Waukesha and Walworth Counties, Wisconsin July 9, 2019 Plan Commission Minutes Page 1 of 2

MINUTES OF THE PLAN COMMISSION MEETING Tuesday, July 9, 2019

Call to Order

Chairman Winchowky called the meeting to order at 6:30 p.m. located in the Board Room of the Mukwonago Municipal Building, 440 River Crest Ct.

Roll Call

Commissioners present: Fred Winchowky, Chairman

Jim Decker Ken Werner Robert Harley John Meiners Jason Wamser

Excused Joe Abruzzo

Also present: Ben Kohout, Planner/Zoning Administrator

Linda Gourdoux, Deputy Clerk/Treasurer

Minutes

Motion made by Decker/Meiners to approve the minutes of the June 11, 2019 regular meeting, carried.

New Business

Recommendation to Village Board Approval of the Certified Survey Map for Malcom Drilling and Touchpad Electronics site in Mukwonago Business Park; Part of Parcel #A477300002

Kohout gave overview of project

Motion by Decker/Werner to Recommend to Village Board Approval of the Certified Survey Map for Malcom Drilling and Touchpad Electronics site in Mukwonago Business Park; Part of Parcel #A477300002, carried.

Recommendation to Village Board regarding Approval of Extraterritorial Review of Certified Survey Map for two lots out of a one-lot property located approximately one-half mile South of Village Boundary at N9101 Stone School Road in the Town of East Troy

Kohout gave overview of project

Motion by Decker/Werner to Recommend to Village Board Approval of Extraterritorial Review of Certified Survey Map for two lots out of a one-lot property located approximately one-half mile South of Village Boundary at N9101 Stone School Road in the Town of East Troy, carried.

Recommendation to the Village Board Approval for signage for Triple Crown Products at 102 Boxhorn Dr; Parcel #A480500001

Kohout gave overview of project

Village of Mukwonago Waukesha and Walworth Counties, Wisconsin July 9, 2019 Plan Commission Minutes Page 2 of 2

Motion by Werner/Wamser to Recommend to Village Board Approval for signage for Triple Crown Products at 102 Boxhorn Dr; Parcel #A480500001, carried

Adjournment

Meeting adjourned at 6:38 p.m.

Respectfully Submitted, Linda Gourdoux Deputy Clerk/Treasurer





Nadine Movrich <nmovrich1@gmail.com>

Ordinance 964 Amendement Consideration 1101 W. Eagle Lake Avenue 1 message

Nadine Movrich <nmovrich1@gmail.com>

Thu, Jun 27, 2019 at 11:46 AM

To: president@villageofmukwonago.com, planner@villageofmukwonago.com, trustee1@villageofmukwonago.com, trustee2@villageofmukwonago.com, trustee3@villageofmukwonago.com, trustee4@villageofmukwonago.com, trustee5@villageofmukwonago.com

Listed below are the concerns of the affected residents regarding the rezoning of the above property:

** Highway Concerns

- -- Wear and tear on Hwy LO which already needs repair from extra traffic and flooding
- --- Interference of the *turtle crossing* --- obviously crucial to their survival because the highway painted a "TURTLE CROSSING" sign on the road where the entrance of the proposed building site.
- -- Would like to have a 'traffic study' before rezoning due to the increased traffic and accidents on Hwy LO
- -- Would have to widen and make passing lanes and turn lanes === increased tax payers expense

**Flood Plane and Wetlands

- -- Property is a lowland and a conservancy
- -- Property has many underground springs which seeps water into the Mukwonago River thus home will sink
- -- Land hasn't been farmed over the past 20 years due to the sinking of the farming equipment
- -- Land North of LO in Minors subdivision which has higher elevation has flooding and sump pumps running constant
- -- What is the flood plane Ordinance/Regulations for this property?

**Water Run Off into the Mukwonago River and Phantom Lakes

- -- Chemicals and lawn fertilizers
- -- Retaining Pond Overflow-Has to be dredged considered
 WHERE WILL IT BE DUMPED??

 "TOXIC WASTE"
- -- DNR closed RAINBOW SPRINGS due to concern for run off of fertilizers in to the Mukwonago River!!!!! So why would they approve this major project with fertilizer run off from 10 homes????

**Effects on Wild Life and Habitat

- -- Nesting area for Cranes Ducks Herons Geese
- - Natural laying of eggs for turtles especially SNAPPING TURTLES which are PROTECTED!!

**Sinking Structures

- --- Because of **underground springs** the structures will sink even without basements they still need footings which will sink
- --- Who will be responsible/liable for sinking structures? Will it be the developer or the Village? It will open a can of worms and problems.

Comments: 10 years ago Tekaver's tried to build on this property and could not.....what has changed????

> (See the notes from the 10 year Village minutes as we will continue to follow every step to preserve this natural resource).

Property owners East, South, West bordering the property lines "strongly opposed" and will be following the progress of this development are listed below!!!

List of property owners bordering the **EAST** side (Nick Movrich W310S9749 Cty Rd I)

(Bob Movrich W310S9803 Cty Rd I)

(Pat Groh W297N3360 Woodridge Cr. Pewaukee) (Kathy Barth W501 Honey Creek, Burlington)

SOUTH SIDE: (JoAnn Rudolph W501 Honey Creek,

Burlington)

WEST SIDE: John & Nadine Movrich S99W30991 Cty Rd LO

Please forward these notes to the following Village Members for review on July 2nd meeting. Ben Kohout - Planner Fred Winchowky - President All 6 Trustees

Thank you for your consideration regarding this matter.



440 River Crest Court, Mukwonago, Wisconsin 53149 - Tel. (262) 363-6420 - Fax (262) 363-6425 - planner@villageofmukwonago.com

Date: August 9, 2019

To: Fred Winchowky, Village President

Plan Commissioners

Cc: John Weidl, Village Administrator (via email); Diana Dykstra, Village Clerk (via email); Bob

Harley, Supervisor of Inspections (via email); Mark Blum, Village Attorney (via email); Jerad Wegner, Village Engineer (via email); Kevin Schmidt, Police Chief (via email); Jeff Stein, Fire Chief (via email); Ron Bittner, Public Works Director (via email); Greg Petrauski, applicant

(via email)

From: Ben Kohout, AICP; Community Planner

Subject: Great Life / Conditional Use and PUD request and subsequent Site Plan Request

Meeting: August 13, 2019 Plan Commission meeting

Property location South side of E. Wolf Run, approximately 255 E. Wolf Run, MUKV2013995007

Current zoning B-4 (Commercial Business Design District)

Description

Business Mixed Use Overlay District (PUD review) of Site Plan and Architectural Review Petrauski/Approximately 255 E. Wolf Run

Greg Petrauski of Infinity Development, LLC, is requesting to to change the land use via a Business Mixed Use (BMX) Overlay district of the land use plan for the 5.41-acre property next to the YMCA.

Please see the map below with the properties highlighted in orange. While the site is adjacent to floodplain, wetland and environmental corridor, none of the environmental features are on the subject property. The Village Comprehensive Plan designates the site as a High Intensity Commercial/Business land use. The site is zoned B-4, Commercial Business Design District.

The site is owned by the Greenwald Family Limited Partnership. We understand Mr. Petrauski has a contract to purchase the site pending Village approvals.

The Proposal

The applicant is requesting consideration to place a Business Mixed Use Overlay land use designation onto the site for the purpose of constructing a 3-story senior living facility in conjunction with retail facilities available to the senior occupants and a standalone business building. The use requires approval of the business mixed use development via a Planned Unit Development.

Below is the definition of Business Mixed Use Overlay as published in the 2016 Comprehensive Plan Update.

"Business Mixed Use (Overlay)

Where undeveloped land or land with redevelopment potential in the Village is within the Interstate Planning District or the Main Street/River South Planning District that with the addition of residential dwelling units and a combination of uses (commercial, retail, office or other related uses) will enhance the business/commercial environment, efficiently utilize land, provide housing choices to enhance an active and growing economic base and improve aesthetics of the built environment. Mixed-use development may be within a single building or within a unified development blending a combination of business with dwelling units on upper floors or in a separate building where the mix of uses are physically and functionally integrated. Buildings within this land use category may be solely residential if compatible with existing or planned and approved adjacent business/commercial uses in terms of pedestrian friendly, good traffic flow and proper utilities to provide for the greater intensity of land use and in compliance with planned unit development standards, if applicable. A density of up to 20 dwelling units per acre should be allowed in business mixed use with a maximum height of four (4) stories within the Main Street/River South Planning District, of which a maximum of three stories can be residential, and a maximum height of four (4) stories in the Interstate Planning District. Furthermore, this Business Mixed Use Overlay land use category is solely to be applied as an optional development style to specific properties or areas only within the Interstate Planning District or the Main Street/River South Planning District."

The site is within the Interstate Planning District. Across the stream and floodplain to the east, the site is adjacent to properties planned for Business Mixed Use Overlay with a Business Park land use designation.

Before reaching your agenda for a review, the proposal has been the source of staff level debate. The proposal is appropriate as it is near to services (medical, groceries, etc.) and can be justified since it is adjacent to the existing Business Mixed Use Overlay area. At the same time, staff would not desire this proposal to set a precedent for other business planned properties along East Wolf Run.

Zoning Review The proposal meets the intent of the proposed BMX in that is has one (1) 88 unit dwelling complex, at three stories, and two (2) stand alone commercial buildings, with each capable of at least 3 tenants. Each of the commercial buildings are designed to accommodate a drive through facility.

Staff is generally fine with the request and will ask for conditions of approval (see below).

Zoning standards

Staff has reviewed the request in accordance with the BMX Overlay District Standards, Section 100-54, the B-4 standards, Section 100-155, Parking Lot standards, 100-402, and Site Plan and architectural review standards, Section 100-601.

Recommendation Approval, with the proposed conditions:

Should the Plan Commission decide to recommend approval, then the following conditions shall be addressed/corrected on the plans dates July 11, 2019 prior to being presented to the Village Board:

- 1. A Developer's Agreement will need to be finalized prior to building permits being issued.
- 2. A Letter of Credit, for all public infrastructure, will need to be submitted to and verified by the Village Attorney/or designee, prior to building permits being issued.
- 3. Approval of Conditional Use for the PUD request and associate Site Plan is valid for a period of one (1) year from date of Village Board Approval and is subject to the plans approved by the Village Board.
- 4. When the two commercial properties are separated, a CSM and associated shared parking agreement documents shall be furnished to the Village for approval, per the Village Code requirements.
- 5. A plan detail sheet shall be provided for the water and sewer utilities, need to show Hydrant, Valve, Tracer Wire, etc.
- 6. If 8" water laterals for the two out lots are proposed, then the shown 12" x 6" reducer, tee and shutoff valves need to be 8" on the plans.
- 7. Concrete pipe shall be provided for storm sewers on Village Property (in right of way).
- 8. Developer shall Install a sump at the conversion prior to exiting private property. This shall be incorporated into the calculations on the plans.
- 9. Plans shall be submitted demonstrating a truck not crossing over into the exit land of the private drive while turning in.
- 10. Plans shall be submitted demonstrating ingress and egress for waste management coming out of lower parking area. Please also show how a garbage truck may access and maneuver the site for garbage pickup.
- 11. All interior islands shall be mountable for easier turning movements.
- 12. All fire hydrant spacing shall not exceed 300 feet on the plans.
- 13. Plans shall be submitted demonstrating FDC on two front buildings having a dedicated hydrant within 150', cannot be counted as hydrant for suppression and 300' requirement.
- 14. Pathway along rear of structure, the 5-foot-wide pedestrian trail, shall be kept free and clear during winter months for firefighter and emergency response access at all times.
- 15. Plans shall be submitted showing additional hydrant needed on front between commercial and development.
- 16. Plans shall be submitted showing KNOX box locations to be determined later with Fire Department Chief.
- 17. Developer shall satisfy the Water Quality Standards for the Village of Mukwonago. The Storm Water Management Plan that was submitted states that, for Water Quality, the Village is requiring that stormwater features be provide on site to remove total suspended solids (TSS) to

the maximum extent practicable. The Plan further goes on to state that a bio-filter on site will provide 52% removal of TSS for the site. The Village Ordinance requirement for new development is 80% TSS removal. The regional pond within the Gateway District was designed to handle water quantity and water quality requirements for the District. The approved storm water management plan for the Gateway District recommends that individual properties incorporate storm water quality measures to achieve an 80% TSS reduction. This recommendation was put in place by the Village and acted on by other developments within the Gateway District in an effort to protect the sensitive waterways downstream. This is because the 80% TSS standard is set to ensure removal of the 5 micron particle from storm water. This particle is the primary cause of degradation of waterways and the double layer 80% TSS Removal standard was put into place in the Gateway District to protect the immediate downstream waterways. The only exception to this within the Gateway District was given to the Lynch Mukwonago Development in 2015. Any variance or exception to the ordinance for the GreatLife Senior Living Development site will require action and approval by the Village Board and/or Planning Commission.

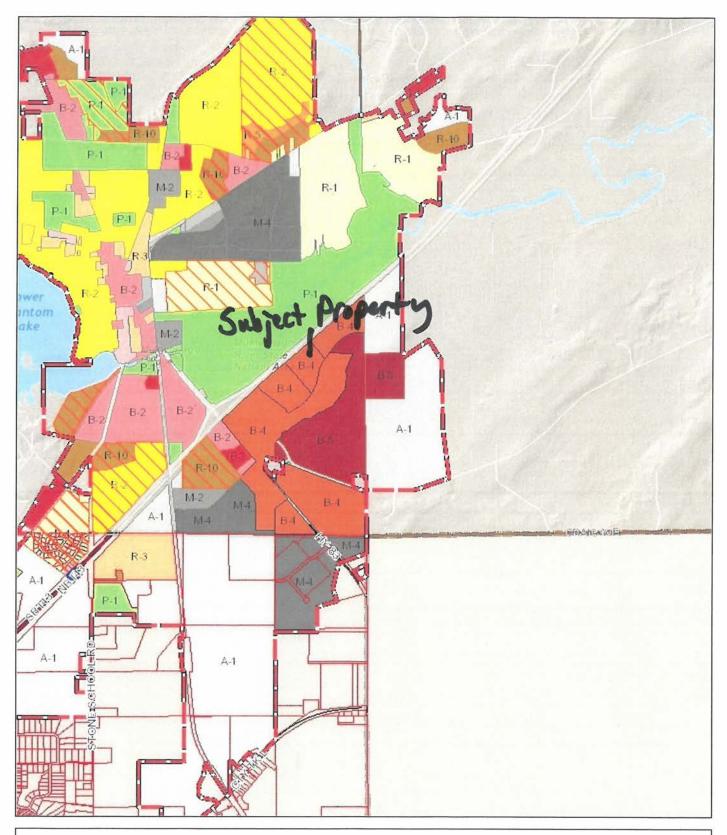
- 18. The Civil Plan set and the Storm Water Management Plan should be stamped and signed by a Professional Engineer licensed to practice in the State of Wisconsin.
- 19. On sheet C-2, under the "Construction Site Sequencing", provide for a modification of the final note to include that modification to the construction site sequence requires approval by the Village of Mukwonago. Items such as grading and utility installation may occur concurrently, but this should be stated as such rather than allowing the Contractor to modify the order of all items after the installation of erosion control devices. Developer shall include more detail for item 3 of the sequence or separate out activities to ensure that any sediment basins are constructed prior to any grading taking place on the site.
- 20. On sheet C-4, the site layout and pavement design shall be modeled with a WB-50 turning template to verify that the fire departments largest vehicle will have access to all portions of the site. If this requires modifications to the site layout, the storm water practices will need to be addressed for accuracy and compliance with the Village's Ordinance.
- 21. Plans shall be submitted showing the future drive-through lanes will be curbed, and how the storm water runoff will be handled. This shall be addressed on the site or utility plan and, any of the water taken via storm pipe to the biofilter, these calculations shall be included in the SWMP.
- 22. Plans shall be submitted showing On sheet C-6, CB9.0 and CB10.0 all sumps. Since this storm sewer line is discharging directly off-site, sumps in these catch basins will capture debris, garbage and large sediment particles prior to the storm water discharging into the drainage ditch that ultimately flows into the Village owned regional pond. Based off of the WinSLAMM model, it appears this may be the case, however a detail shall be provided then. Said storm sewer line shall empy into the proposed biofilter. While the biofilter may not hold the 100-year storm event in this case, it would treat more the of storm water runoff from the parking lot and improve the water quality reduction on-site.
- 23. Plans shall be submitted showing tailwater Elevations in the drainage ditch at ES-11.0 and the biofilter outlet are 791.65 for the 2-year storm event, 793.56 for the 10-year, and 794.54 for the 100-year event. The storm sewer and the biofilter under these tailwater conditions shall be modeled and results provided to the Village Engineer showing that the site will not be adversely impacted during these rain events. Please take into account that this will fill the underdrain in the

- biofilter and likely impact the infiltration rates. The storm sewer design table should be updated accordingly.
- 24. The 100-year overland flow path should be shown on the plans to prove that at least 6-inches of freeboard is provided between the highest water elevation and any building/structure or electrical equipment.
- 25. Plans shall be submitted showing On Sheet C-7, elimination of one of the tracking pad locations. One construction entrance shall be used to minimize the possibility of tracking of sediment onto Fast Wolf Run.
- 26. Plans shall be submitted showing any biofilter location acting as a sediment basin during grading operations. It shall be understood the construction of this should be added into the construction sequence in advance of any grading taking place. If not, a sediment basin shall be added to the erosion control plan on the downstream end. Additionally, if applicable, Diversion swales and berms shall be added as necessary to direct runoff to the sediment basin to be treated. Applicant shall verify with the Village Engineer prior to start of construction.
- 27. Plans shall be submitted showing any Inlet protection added to the next set of inlets within East Wolf Run to the north of the project site. Additionally, inlet protection shall be added for the trench drain that crosses the driveway to the YMCA to the south of the proposed site, especially when construction of the south driveway is taking place.
- 28. Plans shall be submitted showing the type of inlet protection on the erosion control plan such that it is evident which type must be installed at each location.
- 29. Plans shall be submitted showing the storm sewer in East Wolf Run, adjacent to the project site and analyzed all the way to the regional pond to show that it is not adversely affected by the additional runoff draining off-site due to the increase in impervious area.
- 30. Plans shall be submitted showing the Phosphorus reduction results and that these are included in the Storm Water Management Plan and subsequently, the Storm Water Maintenance Agreement, for the Village use.
- 31. Any entrance curb cut on the furthest East drive onto Wolf Run will have to be adjusted and moved at least 50 feet West of any potential future roadway if proposed by Village.
- 32. Exterior lighting plan shall be presented to include drawings or copy of catalog design of the lights and or luminaries, the type and height of light poles, a plan for light pole locations. See section 100-601 for exterior lighting standards. This is expected for residential structure, each commercial structure and parking lot lighting.
- 33. For future commercial buildings and residential facility detailed plans shall be submitted showing delivery information and wheel path tracking showing compliance with turning movements within the property.
- 34. Plans shall be submitted showing drive thru location on each proposed commercial building (restaurant usage out of 3,000 s.f and 3,500 s.f. as most intense requirement) and how it would provide for six (6) stacking spaces AND show how each proposed anticipated buildouts provide for meeting parking standards with the residential component.

- 35. Plans shall be submitted showing variation in commercial building roof line through elevation drawings showing compliance with the requirement that variation in roof lines is achieved by alternating dormers, stepped roofs, gables or other roof elements to reinforce articulation or modulation.
- 36. Plans shall be submitted showing layout of Roof Top Units on commercial buildings and proposal to screen all mechanicals for review.
- 37. Plans shall be submitted showing ADA ramps between curbs of areas on North and South Side of residential facility to commercial buildings. (Need to demonstrate someone in wheelchair may access commercial properties in safe manner from any of the parking stalls).
- 38. Plans shall be submitted showing unobstructed 50 foot sight triangle from main entrance drive intersection with ROW of E. Wolf Run. Nothing over 3 feet tall shall be permitted within this area.

Attachments

- 1. Plan Sets
- 2. Elevations
- 3. Lighting Plans



Village of Mukwonago GIS

DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives. SCALE: 1" = 2667'

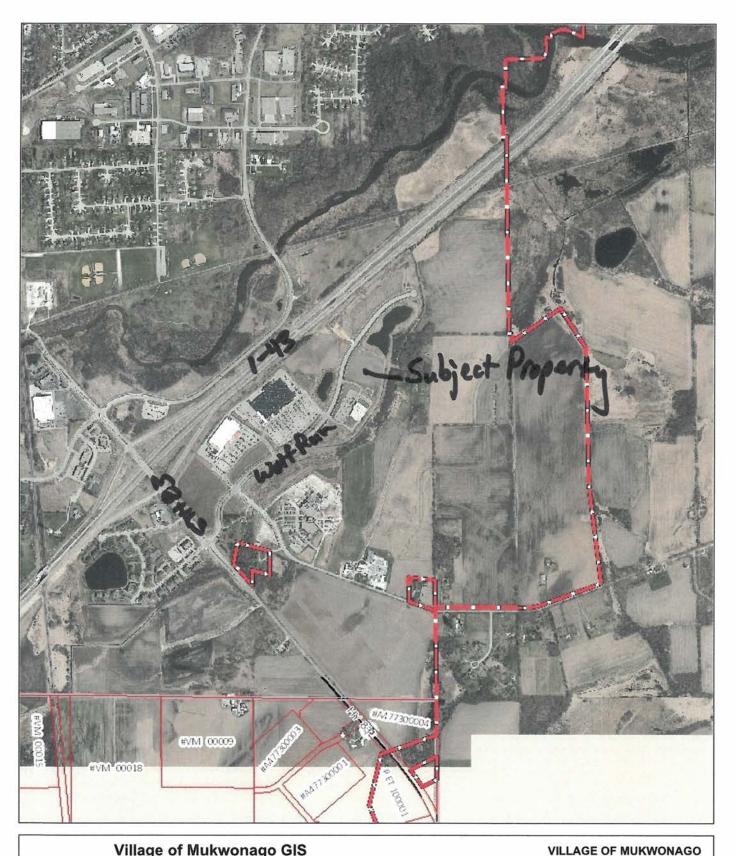


VILLAGE OF MUKWONAGO

440 River Crest Court PO Box 206 Mukwonago, WI 53149 262-363-6420

Print Date:

8/9/2019



Village of Mukwonago GIS

DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives. SCALE: 1" = 1333 '



262-363-6420 Print Date:

440 River Crest Court

Mukwonago, WI 53149

PO Box 206

8/9/2019

GreatLife Mixed Use Development & Senior Community – Plan of Operation
RE: Site Plan, Architectural, and Planned Unit Development (PUD) Application
Lot 3, CSM 10881 (Greenwald Family Partnership Current Owner) - 255 E Wolf Run
Mukwonago, WI 53149.

Greg Petrauski of Infinity Development, LLC requests a Site Plan, Architectural, and Planned Unit Development review for the development of this mixed use project comprised of 3 separate buildings – 1 mixed use 108 unit senior community (GreatLife- Mukwonago) which includes multiple commercial spaces open to the public, and 2 separate multi-tenant commercial buildings.

This mixed-use development is located directly adjacent to the future Maple Centre mixed-use development and directly east of the YMCA. It is anticipated that there will be many coprogramming offerings between the YMCA & this mixed-use senior community.

The PUD request will allow this development the flexibility to meet overall community land use goals, minimize the effect on existing geo technical features of this site, and maximize the equalized taxable value of this development. All setbacks were established to meet or exceed 50'. All exterior building materials will be of high quality architectural products along with decorative stone.

All mechanical equipment will be located inside each unit residence, except for individual air conditioners located at ground level. There will be a garbage vestibule(s) located as described on site plan. This mixed-use community has been designed to be very accessible serving local citizens who may have mobility or other disability needs, who prefer to live in a convenient, connected, vibrant, living environment. In addition to amenities nearby such as the YMCA, WalMart, Aldi, and Pro Healthcare, there will be a number of built-in convenient amenities within the senior community. These will include a restaurant, dining venue, worship room, movie room, arts & crafts room, health & wellness center, exercise room, therapy services, and a full service concierge. In addition, there will be multiple senior friendly commercial tenants which will enhance the living experience of the residents of the senior community.

This mixed use development will be in operation 24/7/365. In addition to the employees of the commercial spaces, the senior community will have 50+ total employees with the largest shift being during the daytime hours of 8-10 persons. There will be no use or storage of flammable liquids or hazardous materials. This community will be owned and operated by a team of local professionals. The developer Greg Petrauski will be directly involved in the building of this team, and individually brings 27+ years of senior living operating experience. We are grateful for this opportunity to make a difference for senior citizens and their families for many years to come. The expected buildout value of the development will be \$18MM-\$20MM.

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D

Site Plan, Architectural, and Planned Unit Development (PUD) Application

Date Submitted

07/11/2019

Fees

Please Choose One

Minor Site Plan (Buildings less than 600 sq. ft.): \$135.00 plus \$.02 per sq. ft.

Price: \$135.00 Quantity:

Additional Square Feet for Minor Site Plan (per sq. ft.)

Price: \$0.02 Quantity:

Site Plan and/or Architectural Review: \$250.00 plus \$.02 per sq. ft.

Price: \$250.00 Quantity: 1

Additional Square Feet for Site Plan and/or Architectural Review (per sq. ft.)

Price: \$0.02 Quantity:

Conceptual Site Plan and/or Architectural Review: \$200.00 plus \$.02 per sq. ft.

Price: \$200.00 Quantity:

Additional Square Feet for Conceptual Site Plan and/or Architectural Review (per sq. ft.)

Price: \$0.02 Quantity:

Planned Unit Development (PUD) Review: \$185.00 plus \$25.00/unit

Price: \$200.00 Quantity: 1

Planned Unit Development (PUD) Review (per unit)

Price: \$25.00 Quantity:

Resubmittal of or Amendment to Site Plan and/or Architectural Review

Price: \$200.00 Quantity:

Total Fees

\$450.00

Contacts

Zoning and Planning Department

Contact: Bruce Kaniewski Phone: (414) 339-4105 Fax: (262) 363-6425

Email: planner@villageofmukwonago.com

Guidelines

The undersigned petition is to consider a request, as stated herein, for the specified parcel(s) of land and will be reviewed by the Plan Commission and Village Board of the Village of Mukwonago. The application packet must be filed with the Village Clerk **at least 30 days prior to the meeting** of the Planning Commission at which action is desired. The Plan Commission meets on the second Tuesday of each month at 6:30 p.m.

Materials listed below must be provided to the Village of Mukwonago in accordance with Village Municipal Code Chapter 100 Article IX. Section 100-601(f) and other pertinent sections of Village ordinances, and, as necessary, to permit review that is consistent with proper planning practice. The Village will strive to accommodate reasonable requests for informal preliminary staff review, however the Village shall not place any items on the agenda for Plan Commission consideration until such time as the application is complete in accordance with all requirements specified on this and other attached application forms.

Complete, accurate and specific information must be entered.

Applicant Information

(Full Legal Name)

Name

Greg

First

J

Middle

Petrauski

Last

Company

Infinity Development, LLC

Name			
Address			
6090 S Rosetree Pass			
Street Address			
×			
Address Line 2			
City			
Wisconsin			Å
State			
New Berlin			
ZIP Code			
Daytime Phone			
(414) 688-8911			
Fax			
Applicant Email *			
gpetrauski@hotmail.com			
Applicant is Represented	l by		
Name			
Josh			
First			
Gimbel			
Last			
Company			
Gimbel, Reilly, Geurin, & Brown LLP			

Name

Address

```
Street Address
Address Line 2
  Milwaukee
City
                                                                                           A
 Wisconsin
State
  53022
ZIP Code
Daytime Phone
  (414) 271-1440
Fax
Representative Email *
  ilgimbel@grgblaw.com
Architect
Name
  Steve
First
  Morales
Last
Company
  Rinka+, Inc.
 Name
Address
  756 N Milwaukee St. Ste 250
```

Suite 1170

Street Address

Address Line 2 Milwaukee City Wisconsin State 53202 ZIP Code Daytime Phone (414) 431-8101 Fax Email smorales@rinka.com **Professional Engineer** Name Aaron First Koch Last Company Pinnnacle Engineering Group Name Address 15850 W Bluemound Rd. Street Address Address Line 2 Brookfield City

Wisconsin

A

State			
53005			
ZIP Code			
Daytime Phone			
(262) 754-8888			
Fax			
Email			
aekoch@pinnacle-engr.com			
Registered Surveyor			
	And all accounts to the second se		
Name			
Aaron			
First			
Koch			
Last			
Company			
Pinnacle Engineering Group			
Name			
Address			
15850 W Bluemound Rd.			
Street Address			
Address Line 2			
Brookfield			
City			
Wisconsin			4
State			
53005			
ZIP Code			
Daytime Phone			

Fax

Email

aekoch@pinnacle-engr.com

Contractor

Name

Greg

First

Petrauski

Last

Company

Infinity Development, LLC

Name

Address

6090 S Rosetree Pass

Street Address

Address Line 2

City

Wisconsin

State

New Berlin

ZIP Code

Daytime Phone

(414) 688-8911

Fax

A W gpetrauski@hotmail.com

Property and Project Information

Property Owner(s) (if different from applicant):	
Greenwald Family Limited Partnership	
Address	
1243 Fox River Ct	
Street Address	
Address Line 2	
Mukwonago	
City	
Wisconsin	
State	
53149	
ZIP Code	
Daytime Phone	
(262) 363-8661	
Fax	
Email	
dngreenwald@centurytel.net	
Present Zoning	
B-4	
Tax Key #(s)	
Muky 2013-995-007	
PHIKV ZU1.5-995-UU7	

Lot 3 CSM 10881 - ie. 255 E Wolf Run

Present Use

Vacant Land

Intended Use

Mixed Use Retail with Mixed Use Senior Community

Procedural Checklist for Site Plan/Architectural Plan/PUD Review and Approval

Submittals for review must include and be accompanied by the following:

Application:

- Completed application form including the procedural checklist.
- Application fee. See above.
- Agreement for Reimbursable Services (separate application)

Other documents:

Five(5) complete sets of Application and materials, in addition to the original, for Village of Mukwonago review.

Project Summary: Please attach a statement detailing the reasons and background for this request including: details of proposal, services provided, wares sold, plans and hours of operation, number of employees, frequency of customer visits, frequency of deliveries to site, description of any interior/exterior modifications or additions to be made to property, any outside storage (dumpsters, trucks, materials...), number of parking stalls, screening/buffer type, any other information available. PLEASE EXPLAIN IN DETAIL.

- Electronic Submittals are required. Email (or CD ROM) with all plans and submittal materials in Adobe PDF to planner@villageofmukwonago.com.
- Any additional information as determined by Village staff
- Upon receipt of a complete submittal, staff review will be conducted within ten business days.
- All Site Plan, Architectural, and Planned Unit Development review requests require Plan Commission review and Village Board approval.

Certification

- Applicant hereby certifies that:
 - 1. All of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.
 - Affirms that no Village of Mukwonago elected or appointed official or employee has a proprietary interest in the above referenced property for which this applications being filed

(except as stated below under "Exceptions").

- 3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project (except as stated below under "Exceptions").
- 4. Applicant has read and understands all information in this packet.

Applicant further understands the policies of the Village regarding change of zonings and property development. Conditions of the resolution regarding all approvals are strictly followed. Certificates of Occupancy are not given until all conditions of approval have been met..

By the execution of this application, applicant hereby authorizes the Village of Mukwonago or its agents to enter upon the property during the hours of 7:00 am to 7:00 pm daily for the purpose of inspection. Applicant grants this authorization to enter even if this land has been posted against trespassing pursuant to Section 943.13 WI Stats.

	(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).
0	Property Owner Signature
	1
	Property Owner Name
	Darwin
	First
	Greenwald
	Last
	Agent
	Title
1940	Applicant Signature

(except as stated below under "Exceptions")

- 3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project (except as stated below under "Exceptions").
- 4. Applicant has read and understands all information in this packet.

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Property Owner Signature

Darwin Greenwald

Property Owner Name

Darwin

First

Greenwald

Literat

Agent

Titlet

Applicant Signature

Dought Etrausia

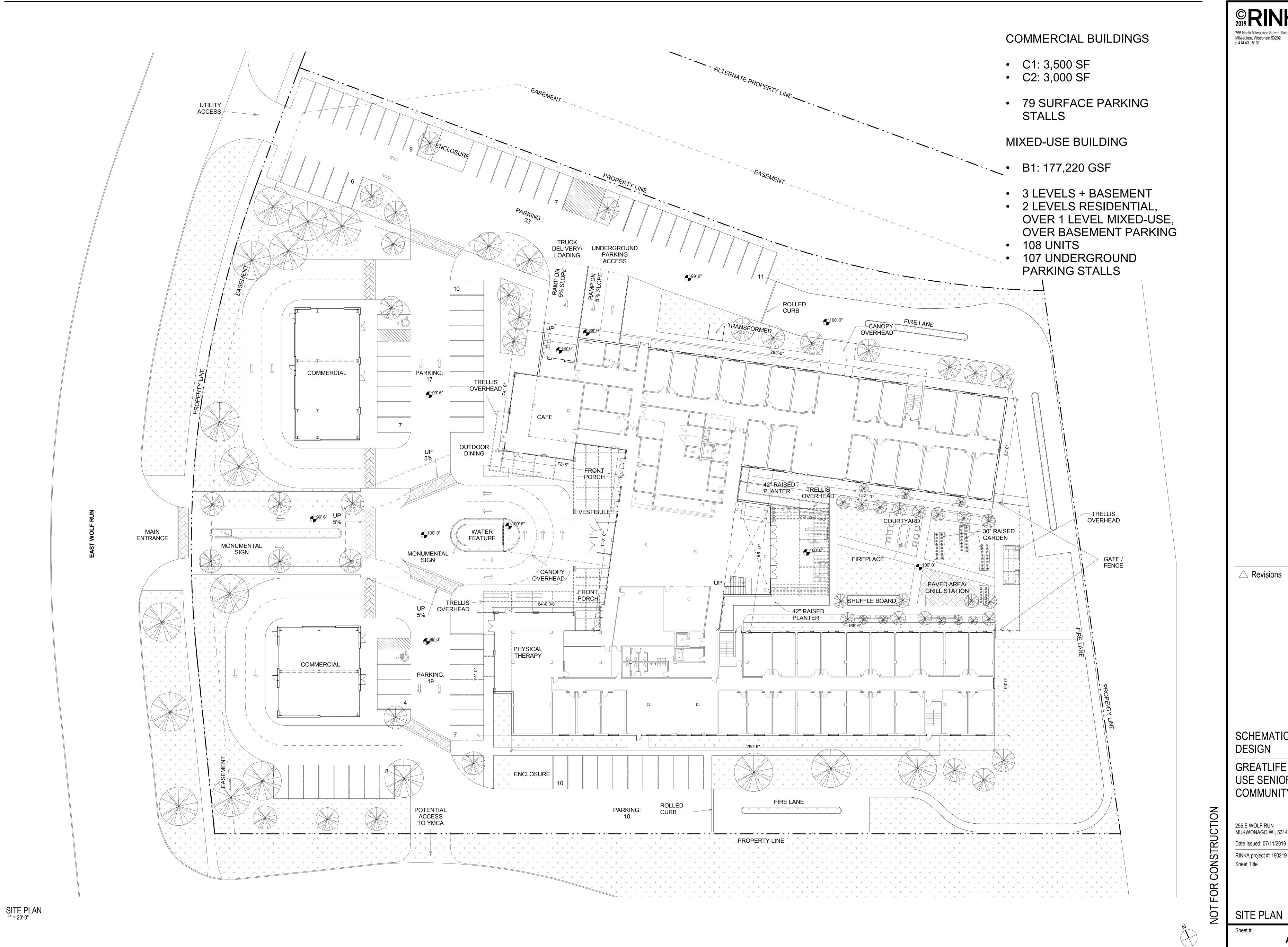
Greg	
First	
Petrauski	
Last	
Developer/General Contractor	
Title	
Would you like to receive updates from the Village via email or text? *	
•	
* () No	
Email for Updates	
gpetrauski@hotmail.com	
Mobile for Updates	
(141) 468-8891	

Submit

Applicant Name

Contact Information

Village Hall 440 River Crest Ct Mukwonago, WI 53149 Phone: (262) 363-6420



©RINKA+ 756 North Milwaukee Street, Suite 250 Milwaukee, Wisconsin 53202 p 414.431.8101

SCHEMATIC

GREATLIFE MIXED **USE SENIOR**

255 E WOLF RUN MUKWONAGO WI, 53149 Date Issued: 07/11/2019



WEST ELEVATION - 01





WEST ELEVATION - 02

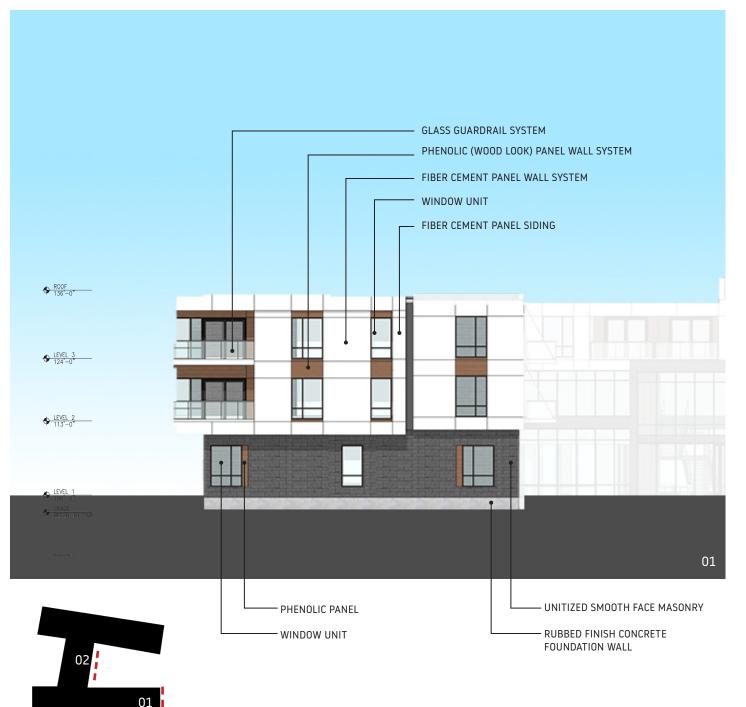




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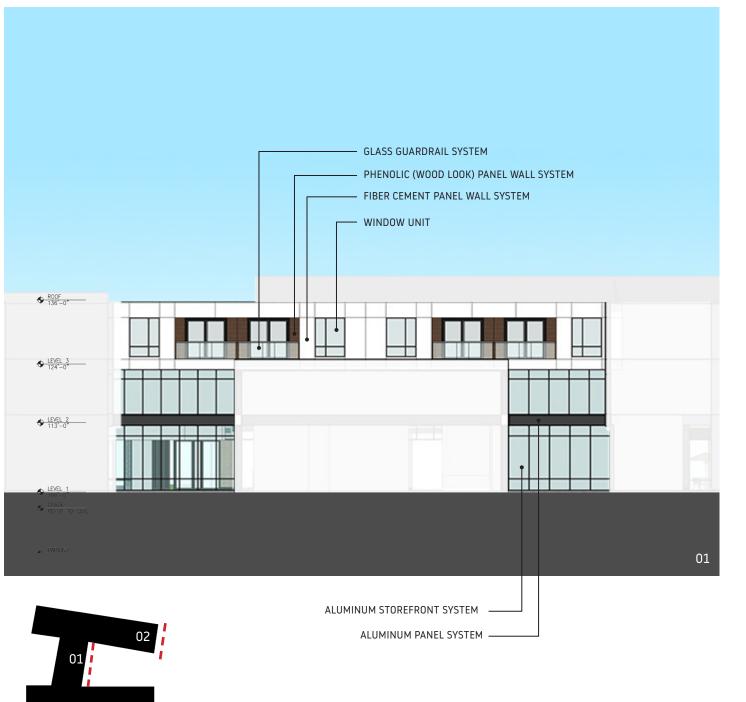


SOUTH ELEVATION - 02





EAST ELEVATION - 01 EAST ELEVATION - 02

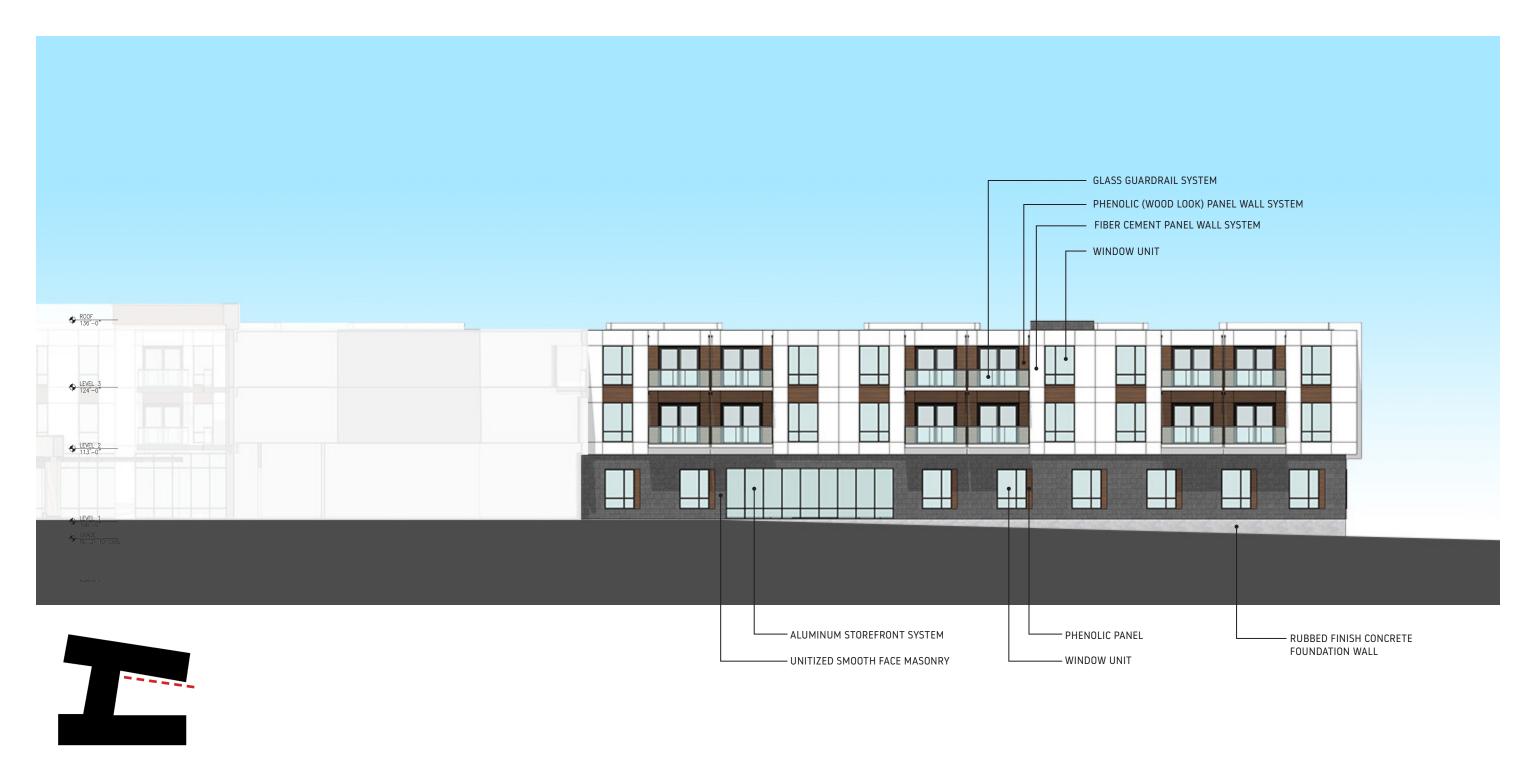




EAST ELEVATION - 03 EAST ELEVATION - 04



NORTH ELEVATION - 02



SOUTH ELEVATION - 03



NORTH ELEVATION - 03







RETAIL EAST ELEVATION - 01 RETAIL EAST ELEVATION - 02



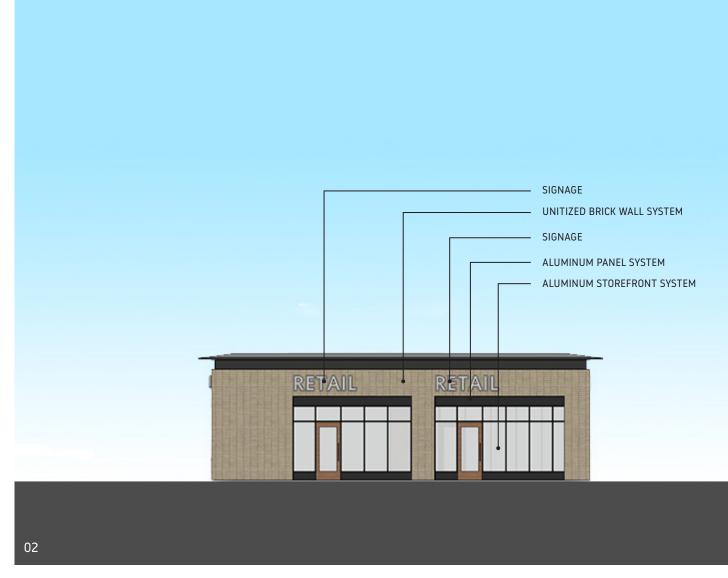


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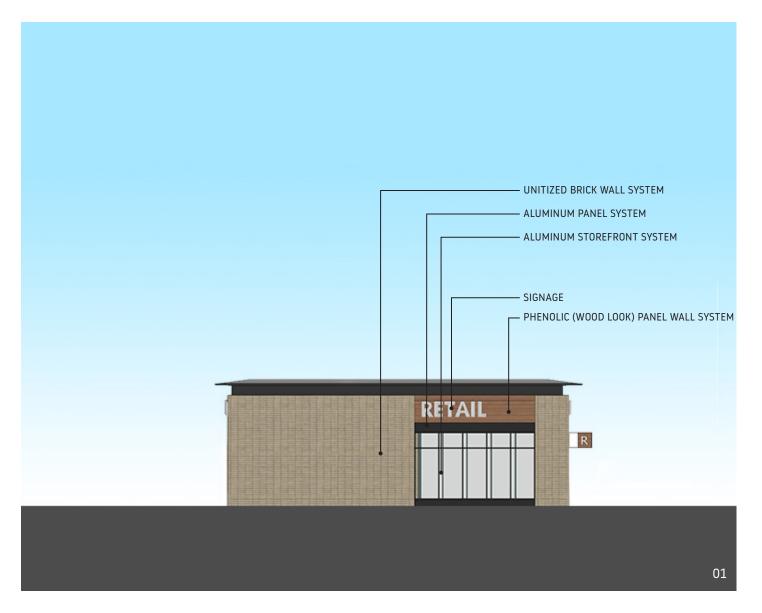
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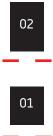


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RETAIL SOUTH ELEVATION - 01 RETAIL SOUTH ELEVATION - 02



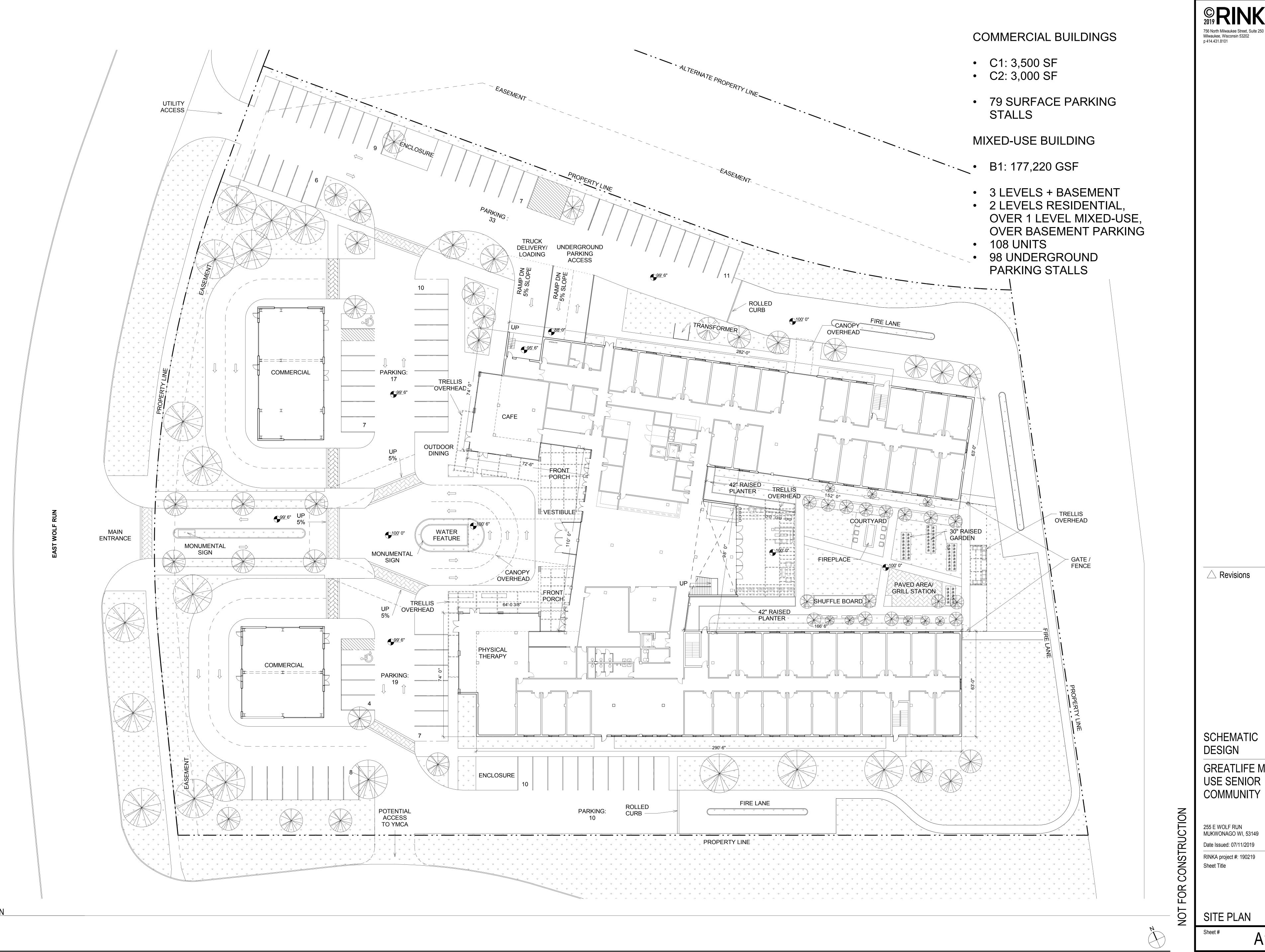












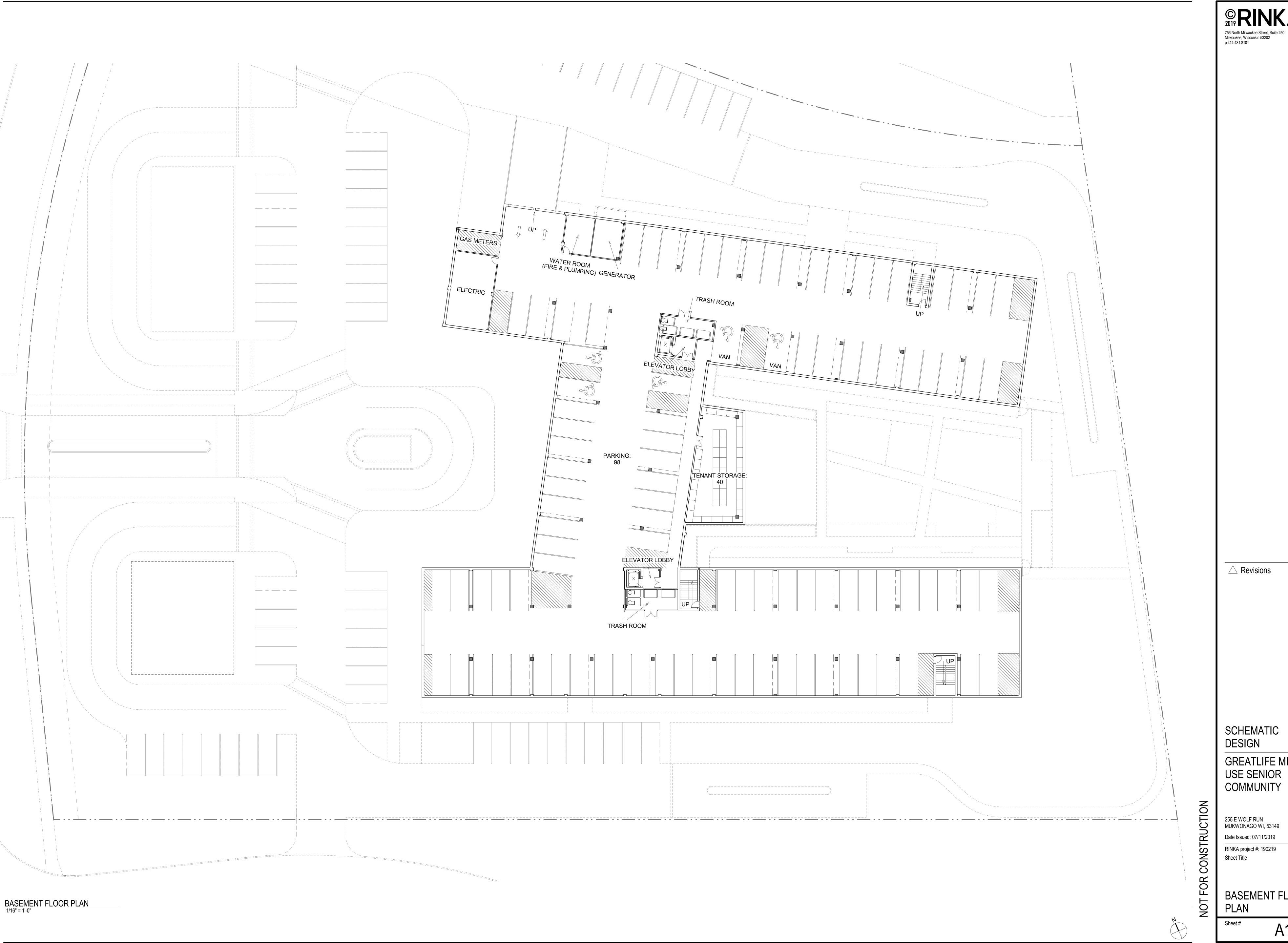
©RINKA+ 756 North Milwaukee Street, Suite 250 Milwaukee, Wisconsin 53202

SCHEMATIC

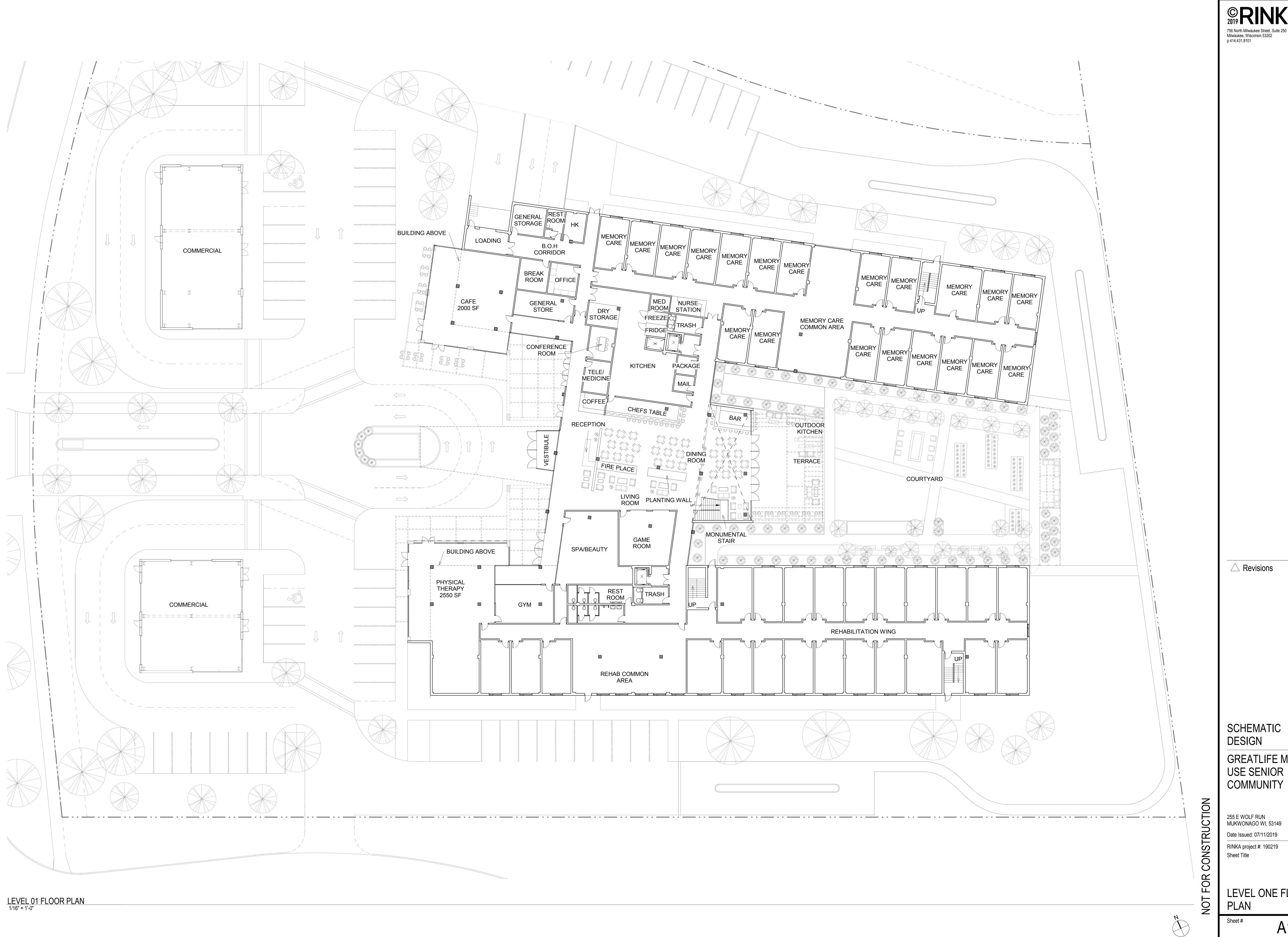
GREATLIFE MIXED USE SENIOR

255 E WOLF RUN MUKWONAGO WI, 53149 Date Issued: 07/11/2019

RINKA project #: 190219



GREATLIFE MIXED



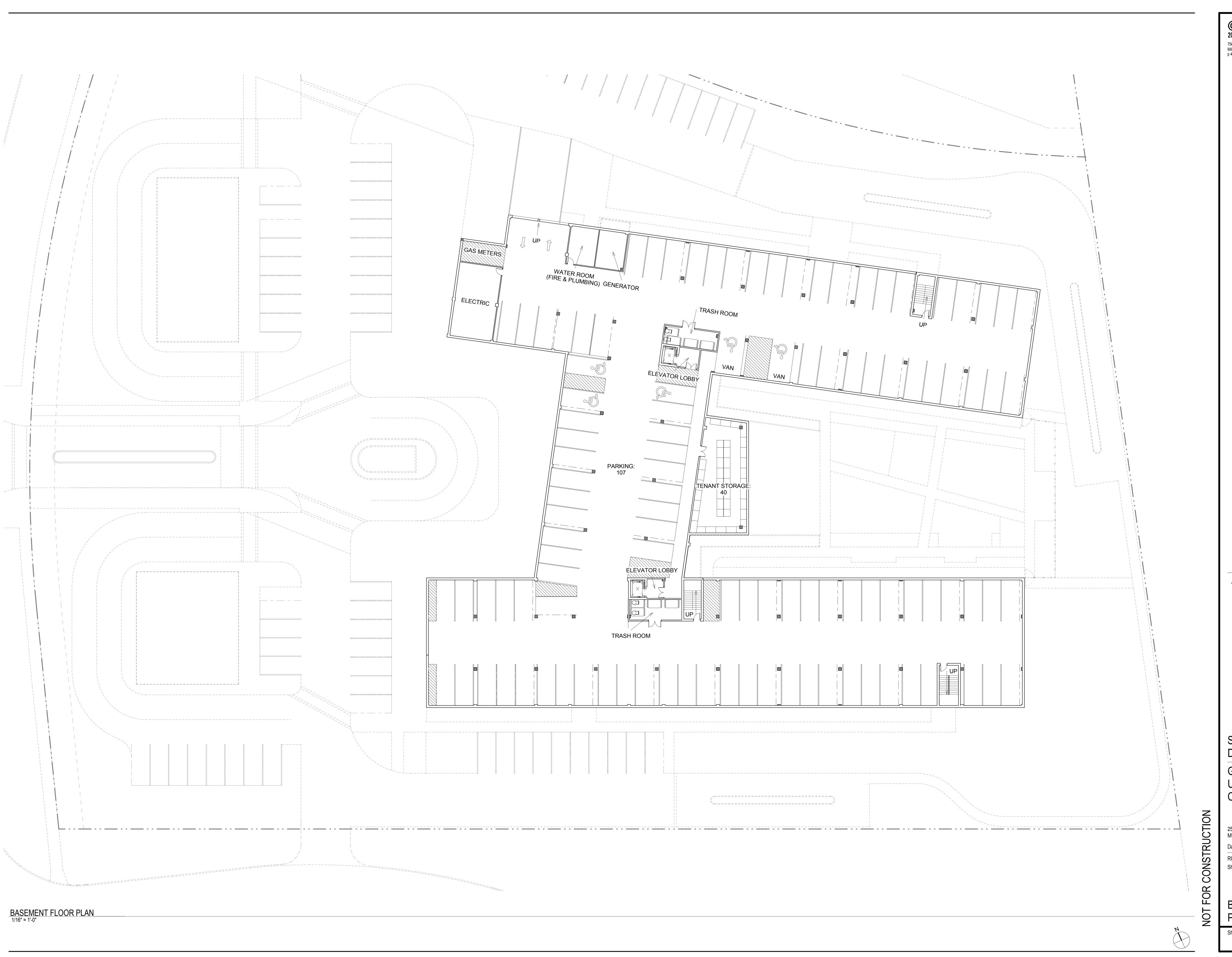
756 North Milwaukee Street, Suite 250 Milwaukee, Wisconsin 53202

GREATLIFE MIXED USE SENIOR

MUKWONAGO WI, 53149 Date Issued: 07/11/2019 RINKA project #: 190219







756 North Milwaukee Street, Suite 250
Milwaukee, Wisconsin 53202
p 414.431.8101

SCHEMATIC DESIGN

GREATLIFE MIXED
USE SENIOR
COMMUNITY

255 E WOLF RUN
MUKWONAGO WI, 53149

Date Issued: 07/11/2019

RINKA project #: 190219

RASEMENT EL OOF

Sheet #

ABBREVIATIONS

BL	BASE LINE	NWL	NORMAL WATER LEVEL
С	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
СВ	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
INL	INLET	WM	WATER MAIN
L	LENGTH OF CURVE	Δ	INTERSECTION ANGLE

ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS

GREATLIFE MIXED USE SENIOR COMMUNITY

255 EAST WOLF RUN MUKWONAGO, WI

PLANS PREPARED FOR

INFINITY DEVELOPMENT

6090 S. ROSETREE PASS NEW BERLIN, WI 53151

GENERAL NOTES

THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC.. AND THE OWNER'S DIRECTION.

- 2. A PRELIMINARY GEOTECHNICAL REPORT HAS BEEN PREPARED BY CGC, INC, DATED JUNE 4TH, 2019 FOR THE PROJECT SITE. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS, REPORTS, AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- 5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- 7. PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- 8. COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- 9. SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- 0. THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- 1. THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS
- 12. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- 13. CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- 14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

PROJECT-LOCATION



LOCATION MAP SCALE: 1"=500'

NORTH

PROJECT TEAM CONTACTS

CIVIL ENGINEER

MARK BABICH, P.E.

PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD, SUITE 210
BROOKFIELD, WI 53005
(262) 754-8888

SURVEYOR:

JOHN KONOPACKI, P.L.S. **PINNACLE ENGINEERING GROUP**15850 W. BLUEMOUND ROAD, SUITE 210
BROOKFIELD, WI 53005
(262) 754-8888

ARCHITECT: MATT RINKA, AIA

RINKA
756 NORTH MILWAUKEE STREET, SUITE 250
MILWAUKEE, WI 53202
(414) 431-8101

APPLICANT:

GREG PETRAUSKI
INFINITY DEVELOPMENT
6090 S. ROSETREE PASS
NEW BERLIN, WI 53151
(414) 688-8911

INDEX OF SHEETS

	INDEX OF SHEETS
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C-2	GENERAL NOTES
C-3	EXISTING CONDITIONS
C-4	SITE DIMENSIONAL AND PAVING PLAN
C-5	GRADING PLAN
C-6	UTILITY PLAN
C-7	EROSION CONTROL PLAN
С-9 то С-11	CONSTRUCTION DETAILS

REQUIRED SUBMITTALS FOR APPROVAL

- 1. HOT MIX ASPHALT- MIX DESIGN
- 2. CONCRETE PAVEMENTS (EXTERIOR) MIX DESIGN & JOINT PLAN
- 3. PAVEMENT STONE BASE COURSE GRADATION
- 4. PIPE BEDDING & TRENCH BACKFILL GRADATION
- 5. MANHOLE BACKFILL GRADATION
- 6. PAVEMENT MARKING PAINT

REQUIRED SUBMITTALS FOR RECORDS

- 1. WATER MAIN PIPES, VALVES, HYDRANTS & FITTINGS
- 2. SANITARY SEWER PIPE & FITTINGS
- 3. STORM SEWER PIPE, STRUCTURES, & FITTINGS
- 4. TRACER WIRE
- 5. UNDERGROUND UTILITY LOCATION RECORD DRAWINGS
- 6. ADA SIGN, PAINT & STENCILS
- 7. CHEMICAL SOIL STABILIZATION MIX DESIGN (IF APPLICABLE)



Hearing Impaired TDD (800) 542-2289

EXPIRATION DATE: JULY 31, 2020

www.DiggersHotline.com

PINNACLE ENGINEERING GROUP, LLC - ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

PLANI

WWW.P

PINNACLE ENGINEERING GROUP

EASEMENT LINE

PLANI DESIGN I DELIVER

15850 W. BLUEMOUND ROAD

GREATLIFE SENIOR LIVING

255 EAST WOLF RUN
VILLAGE OF MUKWONAGO

COVER SHEET

1 2 3 G JOB No**1.614.00-V**G PM MA

SHEET
C-1
of
C-11

Z:\PROJECTS\2019\1614.00-WI\CAD\SHEETS\1614.00-WI-SHEETS-COVER.DWG

MANHOLE

VER SHEE

PINNACLE ENGINEERING GROUP

PLANI DESIGNI DELIVER

WISCONSIN OFFICE: 15850 W. BLUEMOUND ROAD

BROOKFIELD, WI 53005

(262) 754-8888

GREATLIFE SENIOR LIVING
255 EAST WOLF RUN
VILLAGE OF MUKWONAGO

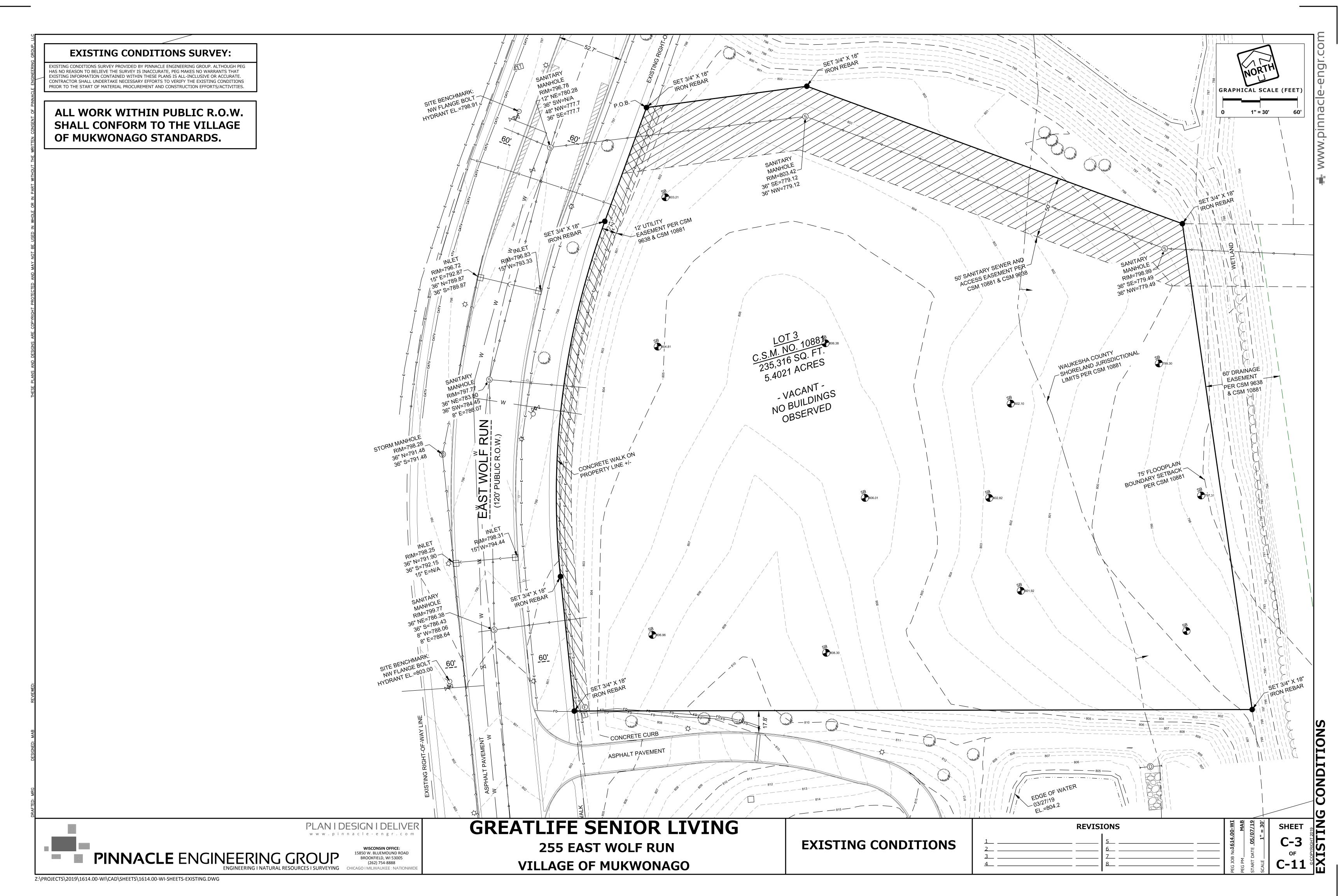
GENERAL NOTES

SHEET

C-2

of

C-11





EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTS THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

ALL WORK WITHIN PUBLIC R.O.W. SHALL CONFORM TO THE VILLAGE OF MUKWONAGO STANDARDS.

LEGEND

- 8" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 3-1/2" ASPHALTIC CONC. (2 LIFTS) LOWER LAYER (E-1 MIX; 19.0 mm NOMINAL SIZE)



- 6" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED VIRGIN LIMESTONE) - 8" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH 6x6x6 GAUGE STEEL MESH)



- 6" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 5" PCC (6x6 WELDED WIRE FABRIC PER RACI 315-92)



4" SOLID WHITE STRIPE



18" REVERSE CURB & GUTTER (SEE DETAIL)



BUILDING DOOR SLAB (2% MAX SLOPE WITHIN DRIVE IN OR MAN DOOR)

RETAINING WALL (DESIGN BY OTHERS)

6" CROSSWALK MARKING (WHITE) ADA CURB RAMP WITH DETECTABLE WARNING TRUNCATED

PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)

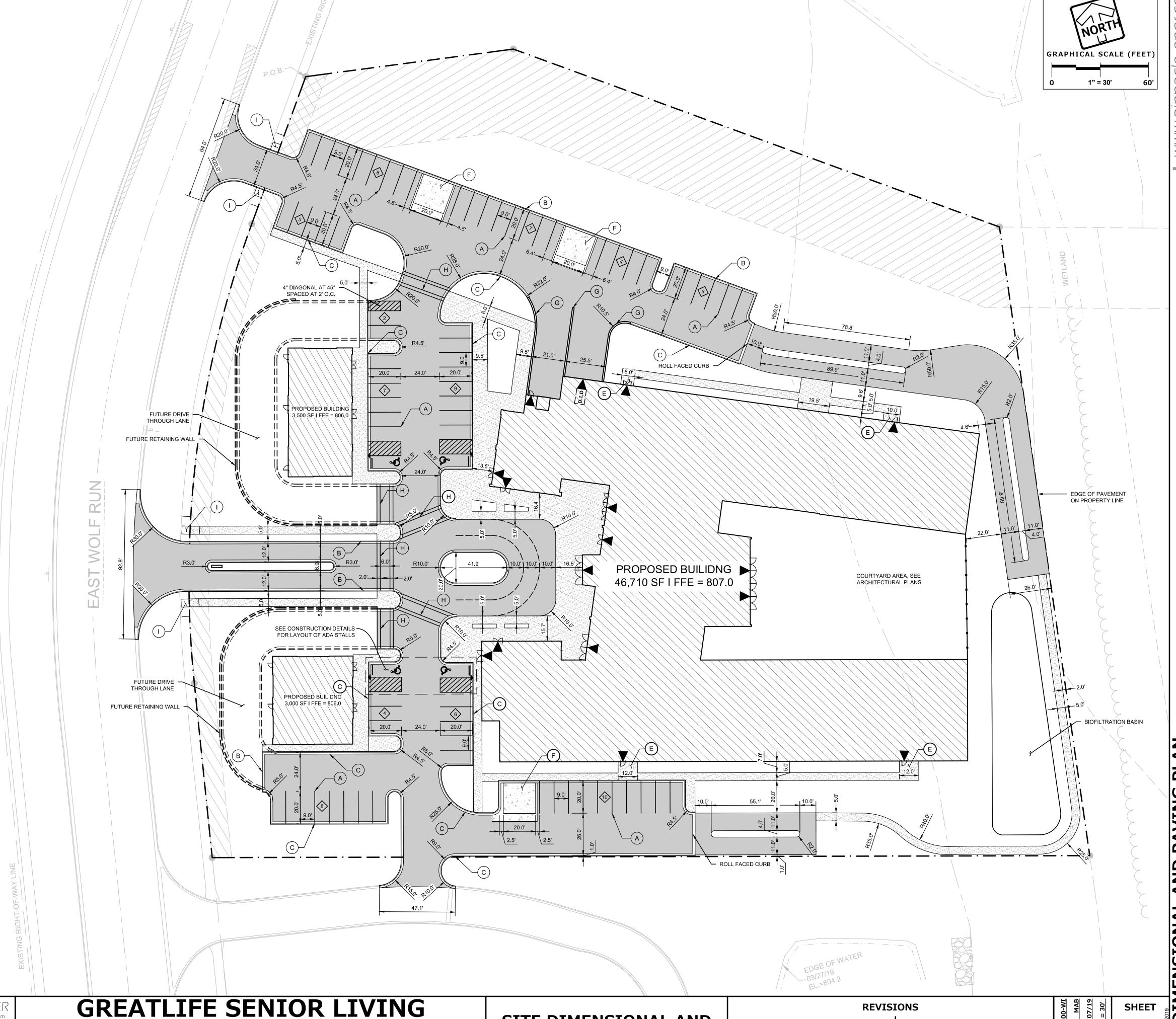
OVERHEAD DOOR

SITE DATA

SITE AREA: BUILDING FOOTPRINT AREA: 53,210 S.F./1.22 AC **IMPERVIOUS SPACE:**

FUTURE GREEN SPACE: 93,925 S.F./2.16 AC/39.9% PARKING PROVIDED (9'x18') 76 SPACES (4 ADA)

235,316 S.F./5.40 AC ZONING CLASSIFICATION: B-4/PUD MIXED-USE OVERLAY 134,249 S.F./3.08 AC/57.1 % GREEN SPACE: 101,067S.F./2.32 AC/42.9 % FUTURE IMPERVIOUS SPACE: 141,391 S.F./3.24 AC/60.1%





PLANIDESIGNIDELIVER
www.pinnacle-engr.com

WISCONSIN OFFICE: 15850 W. BLUEMOUND ROAD BROOKFIELD, WI 53005 (262) 754-8888

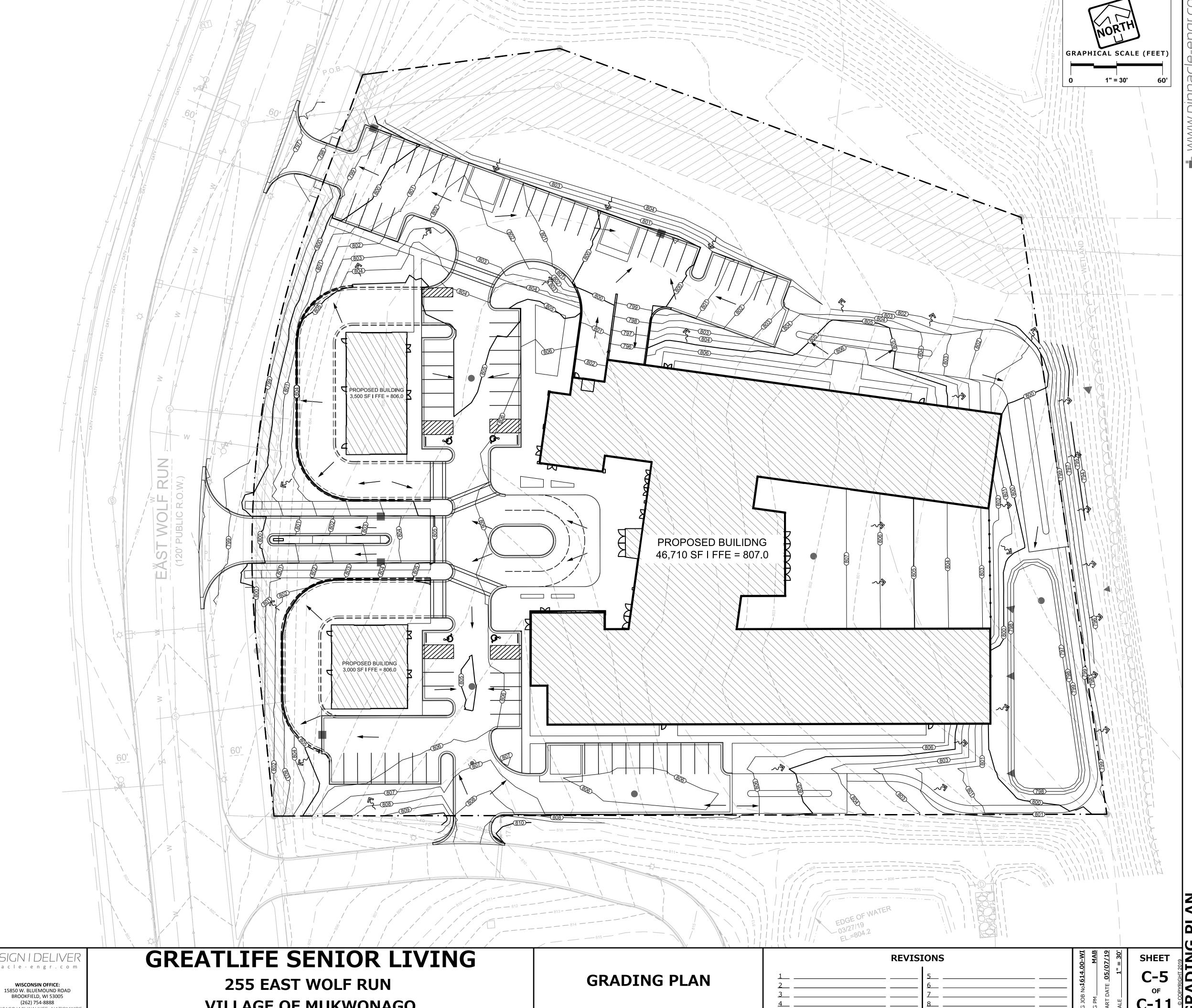
255 EAST WOLF RUN VILLAGE OF MUKWONAGO SITE DIMENSIONAL AND **PAVING PLAN**

EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTS THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

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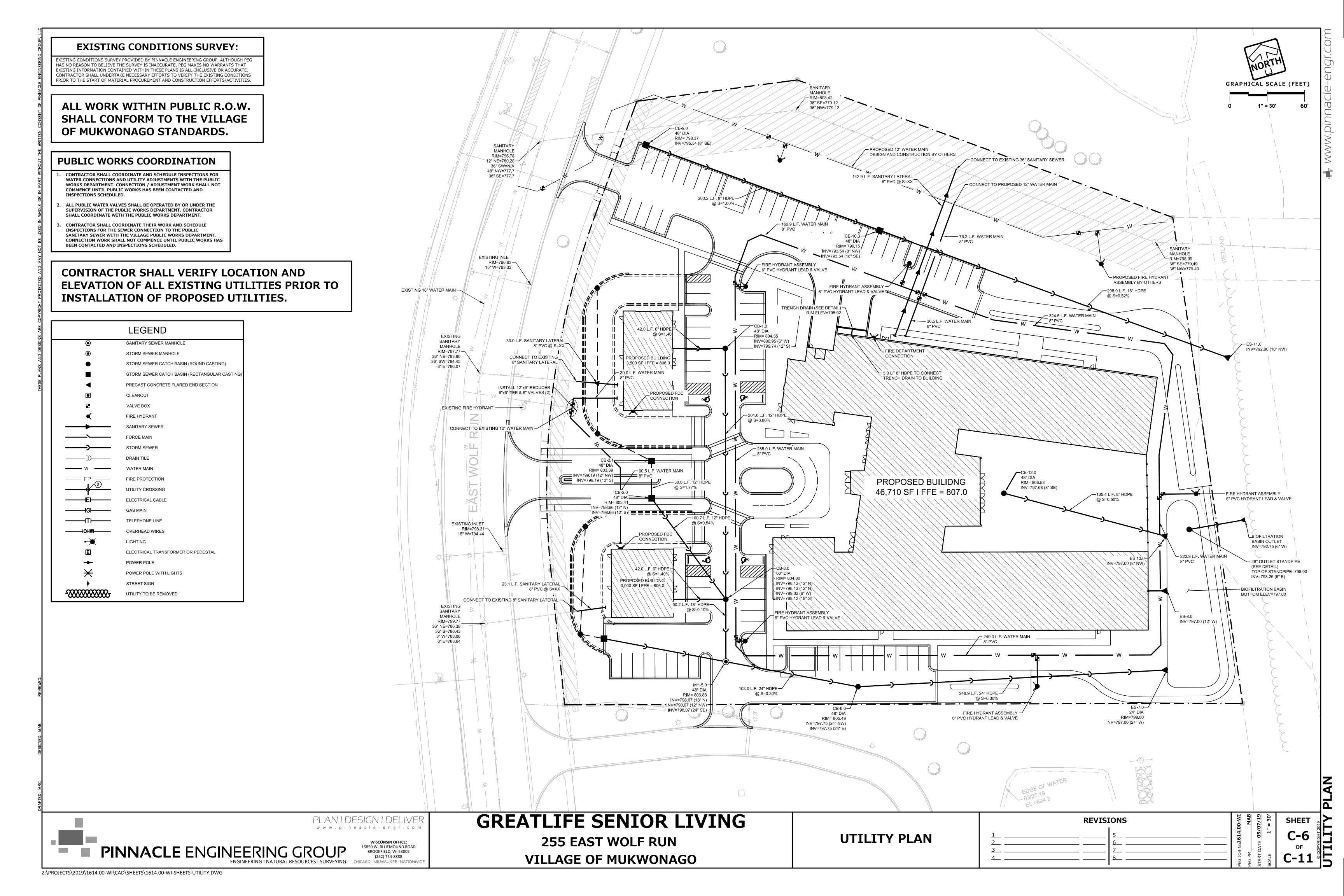
	LEGEND
•	STORM SEWER MANHOLE
•	STORM SEWER CATCH BASIN- ROUND CASTING
	STORM SEWER CATCH BASIN- RECTANGULAR CASTING
>	PROPOSED CONCRETE FLARED END SECTION
749	PROPOSED CONTOUR
+ 750.00	SPOT ELEVATION
GRASS PAVEMENT	DIRECTION OF SURFACE FLOW
→ →	DITCH OR SWALE
	DIVERSION SWALE
	OVERFLOW RELIEF ROUTING
1 1 1 1 1	CONCRETE SIDEWALK
	CURB AND GUTTER
	DEPRESSED CURB
	REVERSE PITCH CURB & GUTTER
EP	EDGE OF PAVEMENT
FF	FINISHED FLOOR
TW	TOP OF WALK
YG	YARD GRADE

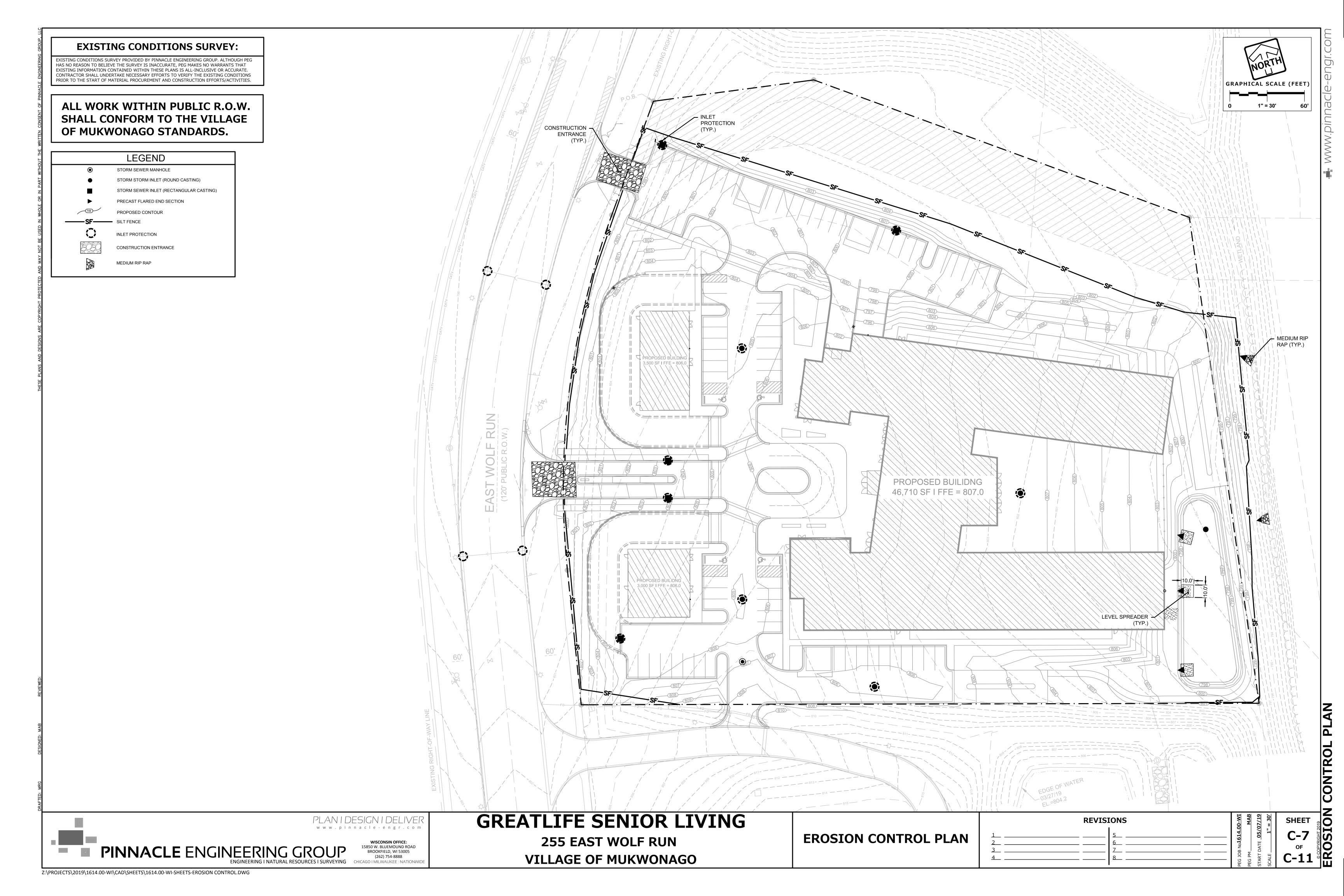




PLANIDESIGNIDELIVER
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VILLAGE OF MUKWONAGO





2.0 EROSION AND SEDIMENT CONTROL IMPLEMENTATION

THE FOLLOWING ARE DESCRIPTIONS OF THE EROSION AND SEDIMENT CONTROL PRACTICES THAT SHALL BE IMPLEMENTED DURING CONSTRUCTION OF THIS PROJECT. IN ADDITION TO THESE MEASURES, CONTRACTOR SHALL DISTURB ONLY AREAS NECESSARY TO COMPLETE THE CONSTRUCTION PROJECT. ALL PRACTICES SHALL BE CONDUCTED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES (BMP).

2.1 CONSTRUCTION AND EROSION CONTROL SEQUENCING

CONSTRUCTION SEQUENCING WILL BE UTILIZED AS A MEANS OF CONTROLLING EROSION AND LIMITING SEDIMENT TRANSPORT. SEQUENCING AS LISTED BELOW IS GENERAL IN NATURE AND MAY VARY DEPENDING ON WEATHER CONDITIONS AND/OR PHASING OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A DETAILED SITE SEQUENCING PLAN TO OWNER FOR APPROVAL AT LEAST 5 BUSINESS DAYS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 6 AS NEEDED TO COMPLETE CONSTRUCTION ONLY IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL REQUIREMENTS.

- 1. INSTALL TEMPORARY CONSTRUCTION ENTRANCES, INLET PROTECTION ON EXISTING STORM SEWER AND CULVERT INLET LOCATIONS, AND
- 2. INSTALL SILT FENCING ALONG THE PERIMETER OF PROPOSED TOPSOIL STOCKPILE LOCATIONS. THE FIRST TOPSOIL DEPOSITED WITHIN THE STOCKPILE LIMITS SHALL BE PLACED TO CREATE TEMPORARY BERMING ALONG THE SILT FENCE TO PREVENT DIRECT STORMWATER RUNOFF AGAINST SILT FENCING. CONTRACTOR SHALL LIMIT LAND DISTURBING ACTIVITIES ASSOCIATED WITH TEMPORARY BERMING TO A MINIMUM.
- 3. STRIP TOPSOIL WITHIN THE LIMITS OF THE SEDIMENT TRAPS THAT WILL BE USED FOR TEMPORARY SEDIMENT CONTROL. STRIPPED TOPSOIL SHALL BE PLACED TO CONSTRUCT DIVERSION BERMING OR PLACED WITHIN THE STOCKPILE LIMITS.
- 4. STRIP TOPSOIL ALONG THE REMAINDER OF DIVERSION BERMING AND IMMEDIATELY PLACE TOPSOIL TO CREATE THE BERMING. MASS TOPSOIL STRIPPING SHALL NOT OCCUR UNTIL ALL DOWNSTREAM SEDIMENT CONTROLS ARE IN PLACE.
- 5. CONDUCT ROUGH GRADING OPERATIONS AND UTILITY PIPING INSTALLATION. DRAIN TILE SHALL NOT BE INSTALLED UNTIL UPLAND AREAS CONTRIBUTING STORMWATER RUNOFF ARE STABILIZED. DITCH CHECKS SHALL BE INSTALLED WITHIN DRAINAGE DITCHES IMMEDIATELY FOLLOWING CREATION OF DITCHES AND INLET PROTECTION SHALL BE INSTALLED TO PROTECT ANY STORM SEWER OR CULVERTS THAT WILL FUNCTION DURING CONSTRUCTION.
- 6. FINE GRADE SUB-GRADE SOILS WITHIN PAVEMENT AND BUILDING LIMITS. PLACE STONE BASE MATERIAL AS SOON AS POSSIBLE FOLLOWING

 DUST CONTROL

 SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:
- 7. FINE GRADE REMAINING DISTURBED AREAS. PLACE SALVAGED TOPSOIL, EROSION BLANKETS/MATTING, AND SEED/MULCH AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
- 8. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF SILT FENCE, TEMPORARY FENCING/PRETECTION, DITCH CHECKS, AND OTHER TEMPORARY CONTROLS, AND RESTORATION PRACTICES AS NECESSARY, TO THE SATISFACTION OF THE OWNER.

2.2 STABILIZATION PRACTICES

HE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, SHALL BE RECORDED ON THE STABILIZATION SCHEDULE FOR MAJOR GRADING

TABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE

HE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.

CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITIES CEASED, (I.E. THE OTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. SEE THE SOIL PROTECTION CHART PRESENTED IN THE CONSTRUCTION DOCUMENTS FOR RATES OF PERMANENT AND

STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES.

PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED LANDSCAPING PLAN TEMPORARY SEEDING MAY CONSIST OF SPRING OATS (100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LBS/ACRE) HYDRO-MUI CHING WITH A TACKIFIER

2.3 STRUCTURAL PRACTICES

SODDING

GEOTEXTILE EROSION MATTING

CONTROL MEASURE GROUP	CONTROL MEASURE	CONTROL MEASURE CHARACTERISTICS						
VEGETATIVE SOIL	TEMPORARY SEEDING	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.						
COVER	PERMANENT SEEDING	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.						
NON VEGETATIVE	AGGREGATE COVER	PROVIDES TEMPORARY COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.						
SOIL COVER	PAVING	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.						
DIVERSIONS	DIVERSION BERM / SWALE	DIVERTS RUNOFF TO A SEDIMENT TRAP OR OTHER CONTROL.						
ENCLOSED DRAINAGE	STORM SEWER	CONVEYS SEDIMENT LADEN WATER TO A SEDIMENT BASIN.						
OUTLETS	APRON ENDWALL OR RIPRAP	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURE.						
SEDIMENT BASINS	TEMPORARY SEDIMENT TRAP	CONSTRUCTED TO REMOVE SILTATION FROM RUNOFF FROM SITE DIVERSION BERMS/SWALES AND IN OVERLAND FLOOD ROUTE. CAN BE CONVERTED TO PERMANENT SEDIMENT BASIN.						
	SILT FENCE	PLACED DOWN SLOPE OF DISTURBED AREA TO KEEP RUNOFF CONTAINED ON-SITE.						
SEDIMENT FILTERS	INLET PROTECTION	INSTALLED IN OPEN GRATE STRUCTURES TO COLLECT SEDIMENT.						
1121210	DITCH CHECK	PLACED IN DRAINAGE CHANNELS TO FILTER SEDIMENT FROM RUNOFF.						
MUD AND	CONSTRUCTION ENTRANCE	REDUCES SOIL EROSION POLLUTANTS BEING TRANSPORTED OFF-SITE.						
DUST	STREET SWEEPING	REDUCES POLLUTANTS TRACKED FROM CONSTRUCTION SITE.						
CONTROL	DUST CONTROL	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.						

STABILIZATION EFFECTIVENESS (TIME OF YEAR)

OTABILIZATION LITE	CHVEIN	_00 (I IIVIL (<u> </u>	/ \(\ 							
CTADILIZATION TVDE		STABILIZATION UTILIZATION PERIODS										
STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			Ą	*	*	*	*	*	* \			
T ERWANENT SEEDING												
DORMANT SEEDING	В										В	\
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TEMPORARY SEEDING			ç	*	*	* \	P *	*	<u>\</u> *			ĺ
TEMI STURY SEEDING							•					
SODDING			Ę	*	*	*	*	*	* \			
												i

- A. KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE B. KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.
- C. SPRING OATS 100 LBS/ACRE
- D. WHEAT OR CEREAL RYE 150 LBS/ACRE.
- F. STRAW MULCH 2 TONS/ACRE.
- IRRIGATION/WATERING REQUIRED TO SUPPORT ESTABLISHMENT AS NEEDED.

THE FOLLOWING ARE DESCRIPTIONS OF STRUCTURAL PRACTICES TO BE IMPLEMENTED TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS, OR OTHERWISE LIMIT THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE INCLUDING THE PROPOSED AND EXISTING WETLAND AREAS. GIVEN THE PROPOSED ACTIVITY ON THE PROJECT SITE, THE PRIMARY POTENTIAL POLLUTANT SOURCE ASSOCIATED WITH THIS CONSTRUCTION SUCH PRACTICES COULD INCLUDE SILT FENCE, PROTECTION FENCE, CONSTRUCTION ENTRANCE, DITCH CHECK, EROSION CONTROL MATTING, 5.0 INSPECTION

- <u>SILT FENCE</u> SHALL BE PLACED DOWN SLOPE OF DISTURBED AREAS OF THE CONSTRUCTION SITE AND AROUND THE PERIMETER OF THE TOPSOIL STOCKPILE. THIS INCLUDES PROTECTION OF EXISTING WETLAND AREAS TO BE MAINTAINED. SILT FENCE MAY ALSO BE USED AS A TEMPORARY CONTROL DEVICE WHERE SEDIMENTATION RUNOFF IS DISCOVERED.
- <u>CONSTRUCTION ENTRANCE</u> SHALL BE INSTALLED TO REDUCE SOIL EROSION POLLUTANTS FROM LEAVING THE SITE DURING CONSTRUCTION ACTIVITIES. IF THE CRUSHED STONE DOES NOT ADEQUATELY REMOVE MUD FROM VEHICLE TIRES, THEY SHALL BE HOSED OFF BEFORE ENTERING PAVED ROADWAY. ANY SOIL DEPOSITED ON THE PUBLIC PAVED ROAD WAY SHALL BE REMOVED IMMEDIATELY.

DITCH CHECK (STRAW BALES) SHALL BE INSTALLED IN DRAINAGE CHANNELS AS NEEDED.

- EROSION CONTROL MATTING SHALL BE PLACED ON AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 3H:1V, BEFORE VEGETATION IS ESTABLISHED.
- <u>DIVERSION</u> <u>BERM/SWALE</u> SHALL BE CONSTRUCTED TO DIVERT RUNOFF AROUND THE SITE AND TO DIVERT RUNOFF FROM THE DISTURBED AREA TO A SEDIMENT TRAP OR OTHER CONTROL. BERMS/SWALES SHALL BE STABILIZED WITH EQUIPMENT TRACKING AND TEMPORARY SEEDING.
- $\underline{\textit{SEDIMENT TRAPS/BASIN}} \text{ SHALL BE CONSTRUCTED TO COLLECT RUNOFF AND RUNOFF FROM SITE DIVERSION BERMS/SWALES}.$
- INLET PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE INLETS TO REDUCE SEDIMENT WITHIN STORM SEWER CONVEYANCE
- **OUTLET SCOUR PROTECTION** SHALL BE INSTALLED AT STORMWATER DRAINAGE OUTLETS TO DIFFUSE FLOWS.

3.0 ADDITIONAL PRACTICES

ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE

CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARPAULIN TO PREVENT BLOWING DEBRIS.

COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.

ROUGHENING (EQUIPMENT TRACKING) THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.

FREQUENT WATERING OF EXCAVATION AND FILL AREAS.

PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.

STREET SWEEPING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.

4.0 EROSION AND SEDIMENT STRUCTURAL PRACTICE MAINTENANCE

THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN. UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE

<u>SILT FENCE</u> - REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND HEIGHT OF THE FENCE.

<u>CONSTRUCTION ENTRANCE</u> - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.

DITCH CHECK (STRAW BALES) - RE-SECURE STAKES; ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER; AND REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE BALE.

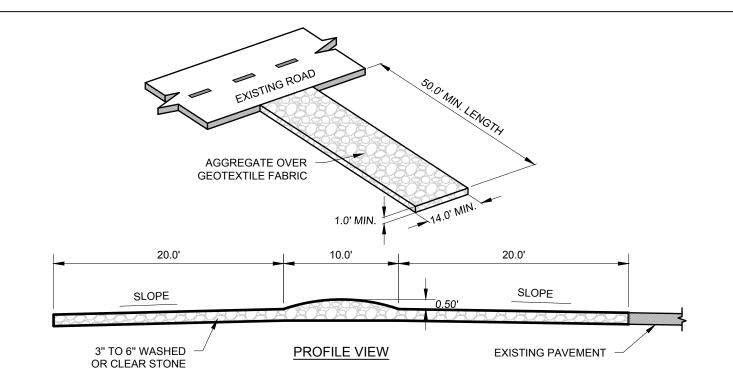
<u>EROSION CONTROL MATTING</u> - REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FAILED CONDITIONS. REPAIR AND RE-GRADE SOIL WHERE CHANNELIZATION HAS OCCURRED.

<u>DIVERSION BERM/SWALE</u> - REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.

 ${\it SEDIMENT\ TRAP}$ - REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT WHEN IT HAS REACHED THE SEDIMENT STORAGE ELEVATION. INLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS

SHALL BE REPLACED ONCE ONE-HALF FULL OF SEDIMENT. <u>OUTLET PROTECTION</u> - CLEAN, REPAIR OR REPLACE FILTER FABRIC, TURF REINFORCEMENT MATTING AND/OR STONE WHEN CONTROL MEASURE IS

<u>SEDIMENT BASIN</u> - AT THE END OF CONSTRUCTION, CONTRACTOR SHALL REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT AND RESTORE



- 1. ALL TRACKING PAD MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH WI DNR TECHNICAL STANDARD 1057.
- 2. TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. CONTRACTOR SHALL VERIFY LOCATION WITH OWNER.
- 3. THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE. ALL MATERIALS TO BE RETAINED ON
- 4. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12-INCHES THICK. ON SITES WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PAD, THE PAD SHALL BE UNDERLAIN WITH GEOTEXTILE FABRIC WHICH MEETS MATERIAL SPECIFICATION 592 GEOTEXTILE, TABLE 1 OR 2, CLASS I, II OR IV, TO PREVENT MIGRATION OF UNDERLYING SOILS INTO THE
- THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. MINIMUM WIDTH IS 14 FEET FOR ONE-WAY TRAFFIC AND 20 FEET FOR TWO-WAY TRAFFIC, WITH AN ADDITIONAL INCREASE OF 4 FEET FOR TRAILER TRAFFIC. THE TRACKING PAD
- 6. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, AT
- 7. TRACKING PADS SHALL, AT A MINIMUM. BE INSPECTED WEEKLY AND WITHIN 24-HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5-INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
- 8. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE

CONSTRUCTION ENTRANCE

BASIN AREA TO INTENDED POST-CONSTRUCTION DESIGN GRADES.

INSPECTIONS SHALL BE COMPLETED WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS ONE-HALF INCH OR GREATER OR EQUIVALENT SNOWFALL, OR AT A MINIMUM ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTIONS SHALL BE UNDERTAKEN BY QUALIFIED PERSONNEL PROVIDED BY THE CONTRACTOR, AND SHALL INCLUDE: DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT SHALL BE COMPLETED AND ADDED TO THE SWPPP. RAINFALL SHALL BE RECORDED ON THE SWPPP RAINFALL LOG. CONTRACTOR SHALL IMMEDIATELY ARRANGE FOR REPAIR OR REPLACEMENT OF ANY DAMAGED OR DEFICIENT CONTROL MEASURES OBSERVED DURING THE

QUALIFIED PERSONNEL MEANS A PERSON KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS A LICENSED PROFESSIONAL ENGINEER, A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL, A CERTIFIED EROSION SEDIMENT OR STORMWATER INSPECTOR, OR OTHER TRAINED INDIVIDUAL.

6.0 SPILL PREVENTION

6.1 GENERAL MATERIAL MANAGEMENT PRACTICES

THE GOOD HOUSEKEEPING PRACTICES LISTED BELOW SHALL BE FOLLOWED THROUGHOUT THE CONSTRUCTION PROJECT.

- 1. CONTRACTOR SHALL STORE ONLY ENOUGH PRODUCTS REQUIRED TO COMPLETE THIS PROJECT.
- 2. ALL MATERIAL SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR ORIGINAL CONTAINERS CONTAINING MANUFACTURER'S LABEL.
- 3. MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED. 4. MATERIALS REQUIRED TO HAVE A MATERIAL SAFETY DATA SHEET (MSDS) SHALL HAVE A COPY STORED IN THE PROJECT'S MSDS DATABASE.

6.2 SPILL CONTROL PRACTICES

THE PRACTICES LISTED BELOW SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE MAINTAINED ONSITE.
- 2. IMMEDIATELY UPON DISCOVERY, ALL SPILLS SHALL BE CLEANED UP ACCORDING TO THE MANUFACTURERS' RECOMMENDED METHODS. 3. PERSONNEL CLEANING UP A SPILL SHALL USE PERSONAL PROTECTIVE EQUIPMENT.
- 4. IMMEDIATELY UPON DISCOVERY, SPILLS OF TOXIC OR HAZARDOUS MATERIALS SHALL BE REPORTED TO THE OWNER AND GENERAL

5. NOTIFICATION AND REPORTING TO THE APPROPRIATE FEDERAL, STATE, AND LOCAL GOVERNMENT AGENCIES SHALL BE MADE AS REQUIRED.

GENERAL INFORMATION:

THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED TO FULFILL ONE OF THE REQUIREMENTS OF THE GENERAL ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (WISCONSIN POLLUTION DISCHARGE ELIMINATION SYSTEM "WPDES" PERMIT NO. WI-S067831-4) FOR THE DISCHARGE OF STORMWATER ASSOCIATED WITH CONSTRUCTION PROJECTS DISTURBING ONE ACRE OR MORE. THE OWNER AND CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF THE WPDES FOR ALL SUCH CONSTRUCTION PROJECTS. THE STORMWATER DISCHARGES ASSOCIATED WITH THE CONSTRUCTION ACTIVITY FROM THIS SITE ARE SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE PERMITS.

THE EXECUTED OWNER CERTIFICATION AND THE CONTRACTOR CERTIFICATIONS SHALL BE KEPT ONSITE WITH THE APPROVED PLANS.

SWPPP AVAILABILITY:

THE OWNER SHALL RETAIN A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF THE PROJECT INITIATION TO THE DATE OF FINAL

KEEPING PLANS CURRENT:

THE CONTRACTOR SHALL AMEND THE PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY CONTROLLING POLLUTANTS IN STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE ACTIVITY. IN ADDITION, THE THE PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT A MEASURE OF THE PLAN. AMENDMENTS TO THE PLAN MAY BE REQUIRED BY THE MUNICIPALITY, OWNER, OR OTHER REVIEWING AGENCY. COPIES OF THE AMENDMENTS SHALL BE KEPT ONSITE AS PART OF THE SWPPP.

THE OWNER SHALL RETAIN COPIES OF THIS AND ALL REPORTS AND NOTICES REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE PERMIT COVERAGE EXPIRES OR IS TERMINATED. THIS PERIOD MAY BE EXTENDED BY THE REQUEST OF THE AGENCY AT ANY TIME. IN ADDITION, THE OWNER SHALL RETAIN A COPY OF THE PLAN REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

A NOTICE OF INTENT (NOI) APPLICATION MUST BE COMPLETED AND INCORPORATED INTO THE SWPPP.

WPDES NOTICE OF TERMINATION GUIDANCE:

WHEN A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT ARE ELIMINATED, THE OWNER OF THE FACILITY MUST SUBMIT A COMPLETED NOTICE OF TERMINATION THAT IS SIGNED IN ACCORDANCE WITH THE PERMIT. CONTRACTOR SHALL SUBMIT A COMPLETED NOTICE OF TERMINATION TO OWNER FOR EXECUTION PRIOR TO THEIR FINAL PAY APPLICATION

PINNACLE ENGINEERING GROUP

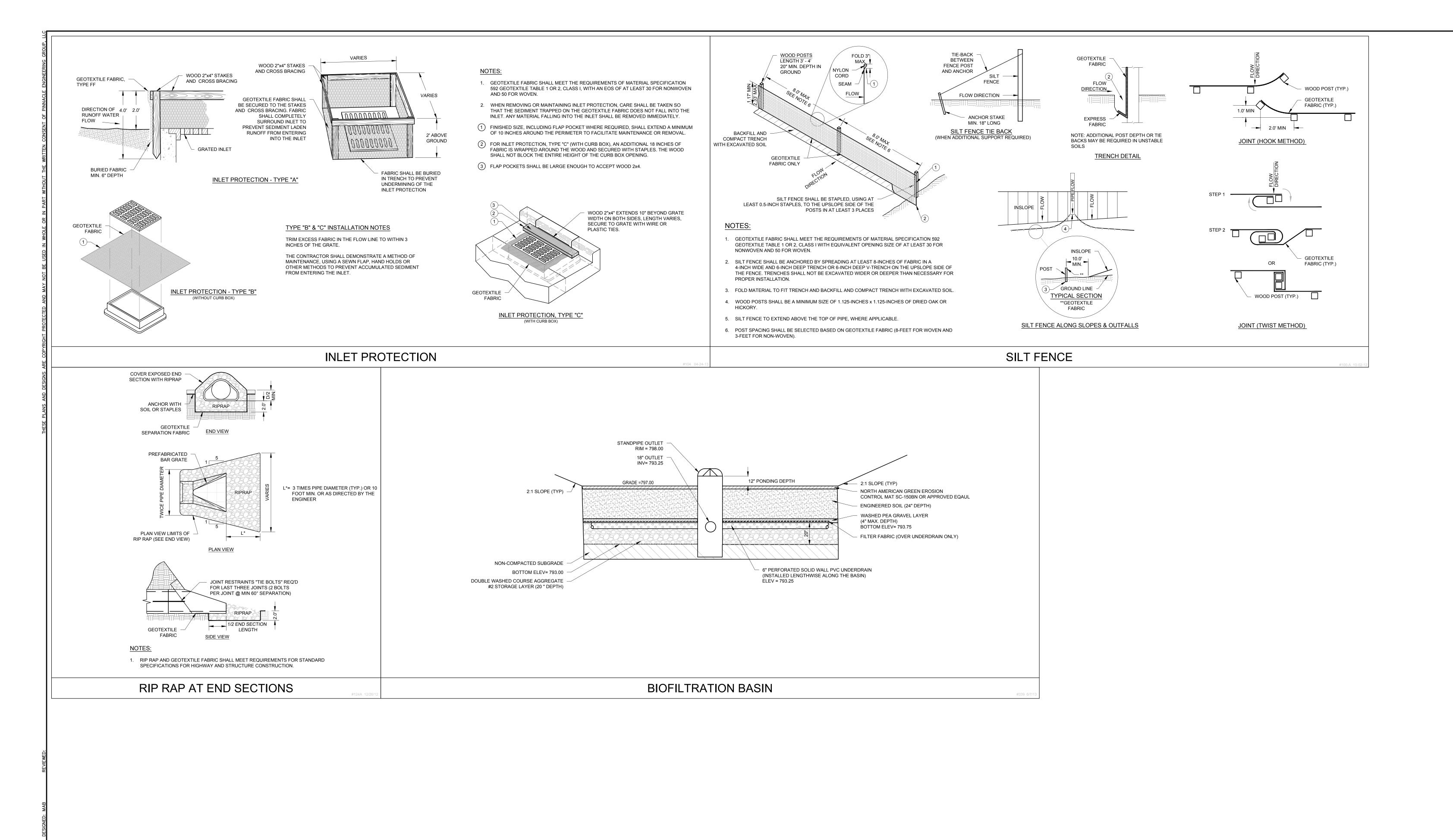
PLAN I DESIGN I DELIVEI www.pinnacle-engr.com

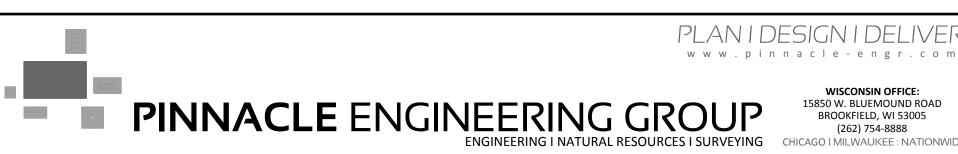
> 15850 W. BLUEMOUND ROAD BROOKFIELD. WI 53005 (262) 754-8888

GREATLIFE SENIOR LIVING **255 EAST WOLF RUN** VILLAGE OF MUKWONAGO

CONSTRUCTION DETAILS

REVISIONS





GREATLIFE SENIOR LIVING

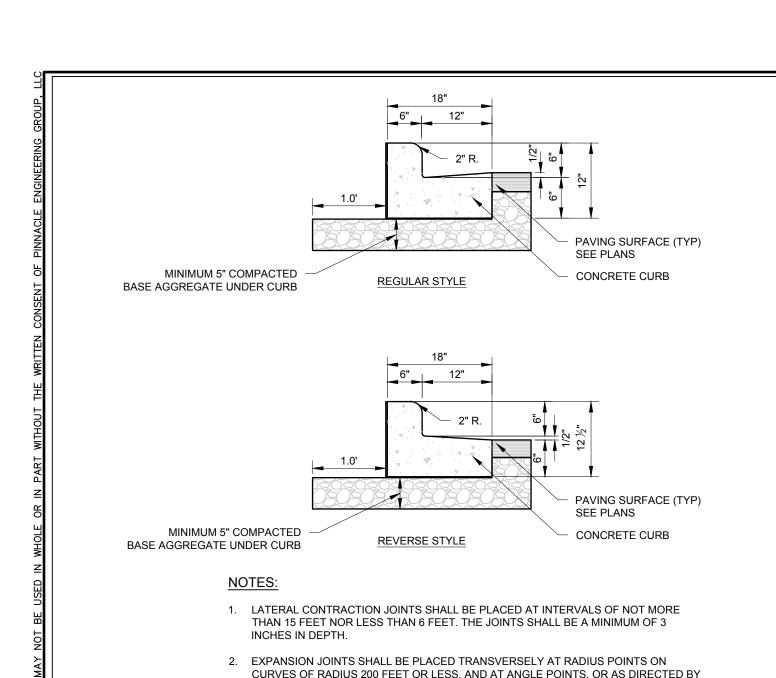
255 EAST WOLF RUN

VILLAGE OF MUKWONAGO

CONSTRUCTION DETAILS

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THE ENGINEER OF RECORD. THE EXPANSION JOINTS FILLER SHALL BE A ONE PIECE

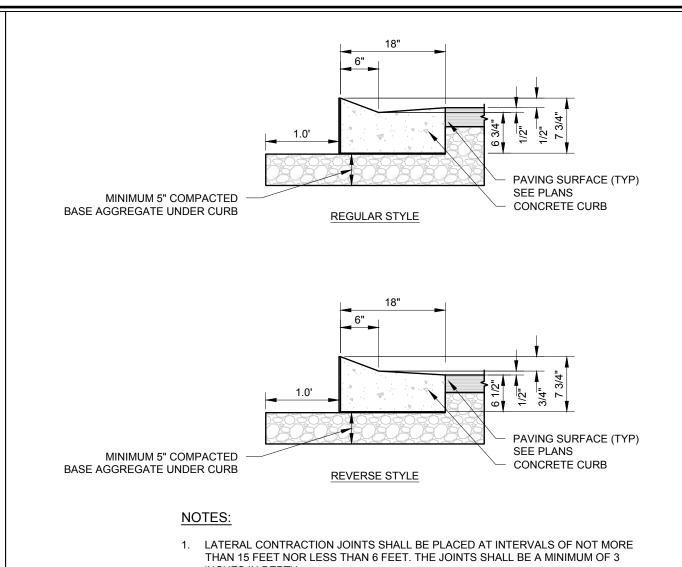
FIBERBOARD OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 0.5 INCH THICK.

3. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY

4. REVERSE STYLE CURB LOCATIONS ARE NOTED ON THE PLANS.

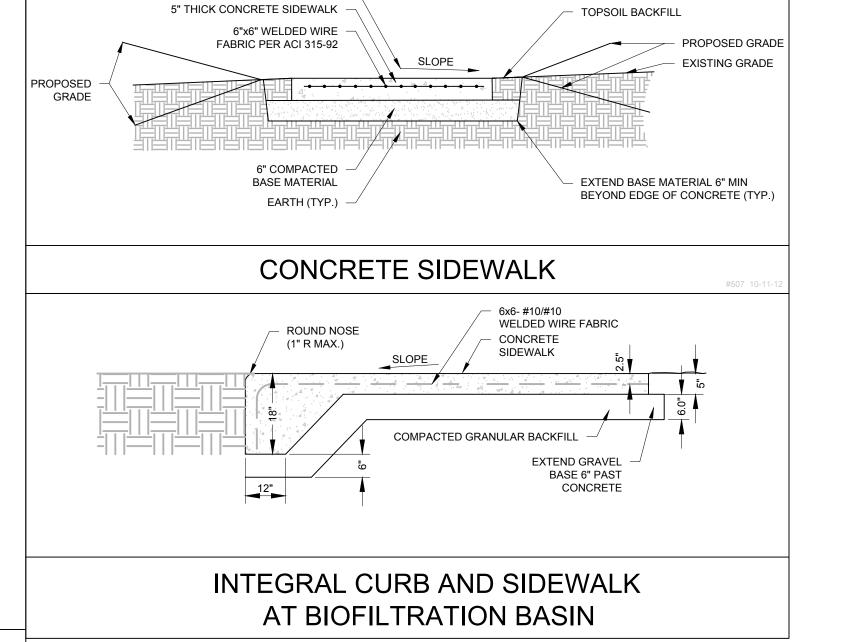
18" VERTICAL FACE CURB

COMPACTED CRUSHED STONE.



- 2. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200 FEET OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER OF RECORD. THE EXPANSION JOINTS FILLER SHALL BE A ONE PIECE FIBERBOARD OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 0.5 INCH THICK.
- 3. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.
- 4. REVERSE STYLE CURB LOCATIONS ARE NOTED ON THE PLANS.

18" DEPRESSED CURB



2% MAXIMUM



GREATLIFE SENIOR LIVING **255 EAST WOLF RUN VILLAGE OF MUKWONAGO**

#603-WI 12-14

CONSTRUCTION DETAILS

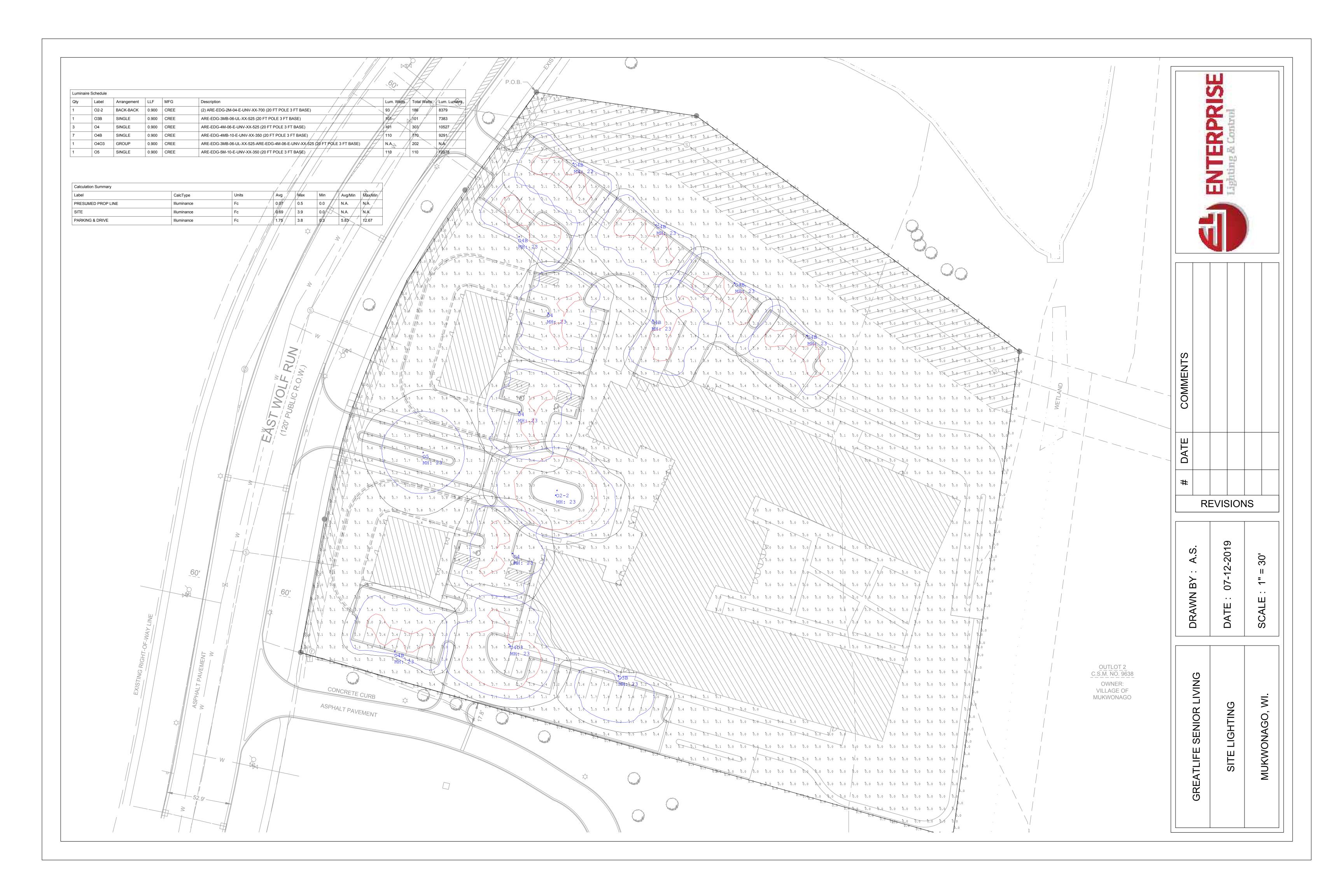
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REVISIONS

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PLANIDESIGNIDELIVER
www.pinnacle-engr.com 15850 W. BLUEMOUND ROAD

BROOKFIELD, WI 53005



Cree Edge™ Series

LED Area/Flood Luminaire

Product Description

The Cree EdgeTM Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a leaf/debris guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

, CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

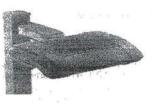
Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

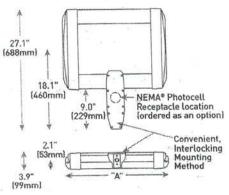
See http://lighting.cree.com/warranty for warranty terms

Accessories

Field-Installed	
Bird Spikes XA-BRDSPK Hand-Held Remote XA-SENSREM - For successful implementation on the particle aminimum of one ha	Backlight Control Shield's XA-208LS-4 - Four-pack - Unpainted stainless steel i-level

DA Mount





LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. [10kg]
04	12.1" (306mm)	24 lbs: (11kg)
06	14.1" [357mm]	27 lbs. [12kg]
08	16.1" (408mm)	28 lbs. (13kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" [510mm]	34 lbs. [15kg]
14	22.1" [560mm]	37 lbs. [17kg]
16	24.1" [6.11mm]	41 lbs. [19kg]

AA/DL/SA Mount - see page 22 for weight & dimensions

Ordering Information

Example: ARE-EDG-2M-AA-12-E-UL-SV-350

		er sanskahideren in-		of Control	E 2005-0-00	Mark Francisco	3194811491023		weller of the
Product	Optic		Mounting*	LED Count (x10)	Series	Voltage	Color Options	Brive Current	Options
ARE- EDG	2M 3MB Type II Medium W/BLS Type II Medium W/BLS Type II Medium W/Partia Type II BLS Medium W/Partia Type II Medium Medi	BLS 5M Type V	AA Adjustable Arm 'DA Direct Arm DL Direct Long Arm	02 04 06 08 10 12 14 16	E	UL Universal 120-277V UH Universal 347-480V	BK Black BZ Brönze SY Silver WH White	350 mA 525 525mA 700 700mA - Avaitable with 20- 60 LEDs	DIM 0-10V Dimming - Control by others - Refer to Dimming-spec sheet for details - Can't exceed specified drive current F Fuse - Refer to ML_spec sheet for availability with ML options - Available for U.S. applications only - When code dictates fusing, use time delay fuse HL Hi/Low (Dual Circuit Input) - Refer to ML_spec sheet for details - Refer to ML_spec sheet for details - Intended for downlight applications at 0" tilt - Refer to ML_spec sheet for details - Intended for downlight applications at 0" tilt - Refer to ML_spec sheet for details - Intended for downlight applications at 0" tilt - Refer to ML_spec sheet for details - Intended for downlight applications at 0" tilt - Refer to ML_spec sheet for details - Intended for downlight applications at 0" tilt - Refer to ML_spec sheet for details - Intended for downlight applications at 0" tilt - Refer to ML_spec sheet for details - Refer to ML_spec sheet for
FLD- EDG	25 70 25 Flood 70 Flo 40 SN 40 Flood Sign	N6 nd NEMA®	AA Adjustable Arm SA Side Arm - Available with 20-60 LEDs						- Sensor not included ML Mutti-Level - Refer to ML spec sheet for details - Intended for downlight applications at 0° tilt P Photocell - Refer to ML spec sheet for availability with ML options - Available with UL voltage only

^{*} Reference EPA and pole configuration suitability data beginning on page 19





Product Specifications

CONSTRUCTION & MATERIALS

- Slim, low profile, minimizing wind load requirements
- Luminaire sides are rugged die cast aluminum with integral, weathertight LED driver compartment and high performance heat sinks
- DA and DL mount utilizes convenient interlocking mounting method. Mounting is rugged die cast aluminum, mounts to 3-6" [76-152mm] square or round pole and secures to pole with 5/16-18 UNC bolts spaced on 2" (51mm) centers
- AA and SA mounts are rugged die cast aluminum and mount to 2" (51mm) IP, 2.375" [60mm] O.D. tenons
- Includes leaf/debris guard
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver, and white are available
- Weight: See Dimensions and Weight Charts on pages 1 and 22

ELECTRICAL SYSTEM

- Input Voltage: 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- Power Factor: > 0.9 at full load
- Total Harmonic Distortion: < 20% at full load
- DA and DL mounts designed with integral weathertight electrical box with terminal strips (12Ga-20Ga) for easy power hookup
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type $\ensuremath{\mathsf{C/D}}$ breaker should be used to address inrush current
- Maximium 10V Source Current: 20 LED (350mA): 10mA; 20 LED (525 & 700mA) and 40-80 LED: 0.15mA; 100-160 LED: 0.30mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without P or R options
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2001, 3G bridge and overpass vibration standards when ordered with AA, DA and DL mounts
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62,41.2
- Meets FCC Part 15, Subpart B, Class A standards for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- DLC qualified with select SKUs. Refer to https://www.designlights.org/search/ for most current information
- Meets Buy American requirements within ARRA
- A CA RESIDENTS WARNING: Cancer and Reproductive Harm ww.p65warnings.ca.gov

lectrical D	ata*					Anne Consti	
	Pot cald our start	Total Cur	rent (A)				
ED Count (10)	System Watts 120-480V	120V	208V	240V	277V	347V	480V
50mA			les vis	alkar i toda Gorial de L	STATE OF T		
2	25	0,21	0.13	0.11	0.10	0.08	0.07
04	46	0.36	0.23	0.21	0.20	0.15	0.12
06	66	0.52	0.31	0.28	0.26	0.20	0.15
08	90	0.75	0.44	0.38	0.34	0.26	0.20
10	110	0.92	0.53	0.47	0.41	0.32	0.24
12	130	1.10	0.63	0.55	0.48	0.38	0.28
14	158	1.32	0.77	0.68	0.62	0.47	0.35
16	179	1.49	0.87	0.77	0.68	0.53	0.39
525mA		e acomplete a		\$150 A.E		2.00	24314
02	37	0.30	0.19	0.17	0.16	0,12	0.10
04	70	0.58	0.34	0.31	0.28	0.21	0.16
06	101	0.84	0.49	0.43	0.38	0.30	0.22
08	133	1.13	0.66	0.58	0.51	0.39	0.28
10	171	1.43	0.83	0.74	0.66	0.50	0.38
12	202	1.69	0.98	0.86	0.77	0.59	0.44
14	232	1.94	1.12	0,98	0.87	0.68	0.50
16	263	2.21	1.27	1,11	0.97	0.77	0.56
700mA							
02	50	0.41	0,25	0.22	0.20	0.15	0.12
04	93	0.78	0.46	0.40	0.36	0.27	0.20
06	134	1.14	0.65	0.57	0.50	0.39	0.29

^{*} Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-480V +/- 10%

Ambient	Initial LMF	25K hr Projected ² LMF	50K hr Projected ² LMF	75K hr Calculated ³ LMF	100K hr Calculated LMF
5°C (41°F)	1.04	1.01	0.99	0.98	0.96
10°C (50°F)	1.03	1.00	0.98	0.97	0.95
15°C (59°F)	1.02	0.99	0.97	0.96	0.94
20°C (68°F)	1.61	0.98	0.96	0.95	0.93
25°C (77°F)	1,00	0.97	0.95	0.94	0.92

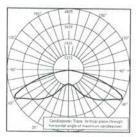
Lumen maintenance values at 25°C are calculated per TM-21 based on LM-80 data and in-situ luminaire testing.
Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors
In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are
within six times
IAX1 the IESNA LM-80-08 total test duration [in hours] for the device under testing (IOUT) i.e. the packaged LED chip]
In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times IAX1 the IESNA LM-80-08 total test duration [in hours] for the device under testing (IOUT) i.e. the packaged LED chip]



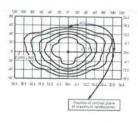
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: http://lighting.cree.com/products/outdoor/area/cree-edge-series-1

2M



RESTL Test Report #: PL10270-004B ARE-EDG-2M-**-06-E-UL-525-40K Initial Delivered Lumens: 10,053



ARE-EDG-2M-**-10-E-UL-525-40K Mounting Height: 25' [7.6m] A.F.G. Initial Delivered Lumens: 17,504 Initial FC at grade

Type II Med				
	4000K		5700K	
LED Count (x10)	Initial Delivered Lumens	BUG Ratings" Per TM-15-11	Initial Delivered Lumens	BUG Ratings" Per TM-15-11
350mA				
02	2,501	B1 U0 G1	2,551	B1 U0 G1
04	5,003	B1 U0 G1	5,102	B1 U0 G1
06	7,418	B2 U0 G2	7,565	B2 U0 G2
08	9,891	B2 U0 G2	10,087	B2 U0 G2
10	12,334	B2 U0 G2	12,578	B2 U0 G2
12	14,801	B3 U0 G3	15,094	B3 U0 G3
14	17,158	B3 U0 G3	17,498	B3 U0 G3
16	19,609	B3 U0 G3	19,998	B3 U0 G3
525mA				
02	3,550	B1 U0 G1	3,624	B1 U0 G1
04	7,099	B2 U0 G2	7,248	B2 U0 G2
06	10,527	B2 U0 G2	10,748	B2 U0 G2
08	14,037	B3 U0 G3	14,331	B3 U0 G3
10	17,504	B3 U0 G3	17,870	B3 U0 G3
12	21,004	B3 U0 G3	21,444	B3 U0 G3
14	24,350	B3 U0 G3	24,860	B3 U0 G3
16	27,828	B4 U0 G3	28,411	B4 U0 G3
700mA				
2	4,189	B1 U0 G1	4,275	B1 U0 G1
4	8,379	B2 U0 G2	8,549	B2 U0 G2
16	12,425	B2 U0 G2	12,678	B2 U0 G2

^{*} Initial delivered lumens at 25°C [77°F]. Actual production yield may vary between -10 and +10% of initial delivered lumens.



Tumens
** For more information on the IES BUG [Backlight-Uplight-Glare] Rating visit: https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf

LED Programmable Multi-Level Options

For use with Cree Edge™ Series, 304 Series™, 228 Series™, CPY Series, OSQ™ Series, VG Series, IG Series, OSQ-HO Series, and XSPW™ Series Luminaires

Performance Summary

Adjustable High and Low Modes - High: 0 to 10V; Low: off to 9.8V

Adjustable Time Delay - 30 seconds, 1 to 30 minutes

Adjustable Cut Off Delay - none, 1 to 59 minutes, 1 to 5 hours

Adjustable Sensitivity - low, med, max, on-fix, off-fix

Adjustable Setpoint - 1 to 250 fc [11 to 2691 lux], disabled, auto

Adjustable Ramp Up and Fade Down Time - 1 to 60 seconds

Photocell - none, 1 to 250 fc (11 to 2691 lux)

Limited Warranty[†]: 5 years on sensor

Accessories

Hand-Held Remote

XA-SENSREM

Product Description

The Cree® programmable multi-level (PML/PML2) option allows for the programming of multiple operating drive currents/input powers for high and low modes remotely through the use of a programmable handheld remote (XA-SENSREM). The drive currents/input powers are conveniently selected to balance LED life, lumen output and energy savings. Multi-level function is designed with all LEDs operating at the same current for maximum and uniform LED life.

The occupancy sensor used in the Cree programmable multi-level option uses passive infrared technology that reacts to changes in infrared energy [moving heat] within the coverage area. During operation if motion is detected within the sensor's coverage area, the relay in the sensor closes and the lighting load is automatically turned on to the selected High Mode setting. When motion is no longer detected for the duration of the Time Delay setting, the relay opens and the lighting load automatically reverts to the selected Low Mode setting and will eventually turn off if programmed to do so. The occupancy sensor includes field-adjustable settings for ambient light [Setpoint and Photocell], motion detection (Time Delay and Cut Off Delay), Sensitivity, Ramp Up Time, Fade Down Time, High and Low Mode – all of which can be changed in the field with the programmable handheld remote.

The High Mode feature is fully adjustable from 0 to 10V and is factory set at 10V, the maximum drive current for the selected luminaire.

The Low Mode feature can be adjusted from an off position to 9.8V. This feature is factory set at 1V.

The **Time Delay** feature can be adjusted from 30 seconds, or 1 to 30 minutes and is **factory set at 5 minutes**. The luminaire will switch to the Low Mode setting if no motion is detected by the sensor for the specified time interval.

The Cut Off Delay feature can be set to disabled (fixture never turns off, unless Low Mode is set to off) or set to a period from 1 minute up to 5 hours. The factory setting is 1 hour. This feature allows the luminaire to switch from Low Mode to off after no motion is detected by the sensor for the specified duration of time.

The Sensitivity feature can be set to low, medium or maximum and is factory set for maximum sensitivity to motion within the coverage area of the sensor. In addition, there are the "on-fix" and "off-fix" modes, which will force the luminaire to stay on at the High Mode setting or off, respectively. When in either of these modes, motion detection and ambient light sensing functionality are disabled. These two modes are typically only used for troubleshooting.

The Setpoint feature is factory set at disabled. The Setpoint feature can be adjusted from 1 to 250 fc [11 to 2691 lux]. When a numerical value is entered, the sensor will not transition to High Mode from motion if the light level is greater than the Set Point. Otherwise, if the light level is less than the Setpoint, motion will switch the luminaire to High Mode. If Low Mode is set to off or if the Cut Off Delay feature is enabled, then the luminaire will turn off and stay off until the light level falls below the Setpoint. There is also an auto option which is designed to automatically calibrate an appropriate Setpoint value based on the contribution of the luminaire's own light by a process in which the controlled load is turned on for two minutes to warm up the lamp and is then switched off and on eight times. Settings will vary based on application.

The Ramp Up and Fade Down Time features are factory set at none which means that the lights will switch from Low Mode to High Mode or from High Mode to Low Mode instantly. This feature may be adjusted from 1 to 60 seconds.

The Photocell (Off with Occupancy) feature is factory set at disabled. This feature may be adjusted from 1 to 250 fc (11 to 2691 lux). When this feature is enabled, if the light level is greater than the programmed value, the luminaire will remain off regardless of motion. When this setting is used in combination with the Setpoint feature, there must be at least 10fc (108 lux) of dead band between the two settings to help avoid load cycling. If the luminaire is off, it will turn on in High Mode when the light level decreases below the Setpoint value. If the luminaire is on and the light level is lower than the Photocell value but higher than the Setpoint value, then the luminaire will switch to Low Mode and the sensor will not transition to High Mode from motion.

Rev. Date: V7 10/10/2018



See http://lighting.cree.com/warranty for warranty terms

⁻ For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required

LED Programmable Multi-Level Options

Sensor	Details		
Figure	Luminaire	PML Option	Coverage Area
1	Cree Edge Area/Flood, OSQ Series Area/Flood, OSQ-HO Area/Flood Luminaires	PML	Lens coverage: 40' [12.2m] optimal mounting height and 100' [30.5m] diameter coverage with a 360' circular pattern. The maximum mounting height is 40' [12.2m]. Lens mounting height to coverage radius is 1:0.80. Note: When mounting height are above 30' [9.1m], the sensor only detects large objects such as fork lift trucks or cars.
2	Cree Edge Canopy, 304 Series Recessed Canopy, 228 Series Recessed Canopy, CPY250 Canopy/Soffit, XSPW TM Version B Wall Mount Luminaires	PML	Lens coverage: 20° [6.1m] optimal mounting height and 40° [12.2m] diameter coverage area with a 360° circular pattern. The minimum and maximum mounting heights are 10° [3.0m] and 30° [9.1m] respectively. Lens mounting
	Cree Edge Area/Flood, OSQ Series Area/Flood Luminaires	PML2	height to coverage radius ratio is 1:1.
3	Cree Edge Parking Structure, Cree Edge Security, 304 Series Parking Structure, VG Series Vehicle Garage, 16 Series Parking Structure Luminaires	PML	Lens coverage: 10' [3.0m] optimal mounting height and 50' [15.2m] diameter coverage area with a 360" circular pattern. The maximum mounting height is 15' [4.6m]. Lens mounting height to coverage radius is 1:2.5.

	100 TO 100	Cree Edge™ Series Luminaires			304 Series™						228 Series™
Drive Current	Voltage	Area	Canopy	Security	Parking Structure	Recessed Canopy	Upgrade Kits	Flood	Soffit [Non-IC only]	Interior [Non-IC only]	Recessed Canopy
350mA	120-277V	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
JUNIA	347-480V	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
525mA	120-277V	80-160 LEDF. P. R.	80-160 LEDFPR	80 LEDF	N/A	N/A	40-60 LED	N/A	60 LEDF	60 LED ^F	N/A
JZJIIIM	347-480V	80-120 LED	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	CONTROL OF THE PARTY OF THE PAR
200 A	120-277V	20-60 LEDER#	40-60 LEDFPR	20-60 LED ^F	40-60 LEDF	40-60 LEDF	N/A	40-60 LEDF	40 LEDF	40 LEDF	N/A
700mA	347-480V	20-60 LED	N/A	N/A	N/A	N/A	N/A	N/A	N/A		90 LED
1000	120-277V	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
1000mA	347-480V	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A N/A	N/A N/A

F - PML option available with Fusing option
P - PML option available with Photocell option
R - PML option available with NEMA® Photocell Receptacle option

Product Avail	lability		THE A STREET			Market Street
Voltage	CPY Series	VG Series	OSQ Series	IG Series	OSQ-HO Series	XSPW-B Series
ronage	Canopy/Soffit	Vehicle Garage	Area/Flood	Parking Structure	Area/Flood	Wall Mount
UL	Version B - A, B, C, E & F Input Power Designators	Version A and Version B	A, B, J, K, S, T & U Input Power Designators ^{F,R}	A & J Input Power Designators	40L & 50L Lumen Packages	All Lumen Packages
UH, 34, 48	N/A	Version A ¹ and Version B ²	B, K, T & U Input Power Designators	A & J Input Power Designators ²	40L & 50L Lumen Packages	N/A

PML High & Low Mode Multipliers – 525mA Drive Current

For use with Cree Edge Canopy Luminaires and 304 Series Parking Structure and Canopy Luminaires

0-10V	Drive Current (mA)	System Watts Multiplier	Lumen Multiplier
= 1.3</td <td>75</td> <td>0.15</td> <td>0.15</td>	75	0.15	0.15
2.1	125	0.26	0.27
2.5	150	0.31	0.31
2.8	175	0.36	0.37
3.6	225	0.45	0.45
4.4	275	0.55	0.53
5.1	325	0.64	0.62
5.5	350	0.67	0.70
6.7	425	0.83	0.80
7.5	475	0.92	0.89
≥ 8.7	525	1.00	1.00

PML High & Low Mode Multipliers - 700mA Drive Current

For use with Cree Edge Canopy Luminaires, 304 Series Parking Structure and Recessed Canopy Luminaires and 228 Series Recessed Canopy Luminaires

0-10V	Drive Current (mA)	System Watts Multiplier	Lumen Multiplier
≡ 1.2</td <td>75</td> <td>0.11</td> <td>0.12</td>	75	0.11	0.12
1.7	125	0.19	0.21
2.0	150	0.23	0.25
2.3	175	0.26	0.29
2.8	225	0.32	0.35
3.4	275	0.40	0.42
4.0	325	0.47	0.49
4.2	350	0.50	0.56
5.1	425	0.62	0.63
5.6	475	0.68	0.70
6.2	525	0.76	0.79
6.5	550	0.80	0.80
6.8	575	0.83	0.84
7.3	625	0,90	0.91
≥ 8.4	700	1.00	1,00



F - PML option available with Fusing option
R - PML option available with NEMA* Photocell Receptacle option
1 - Must specify 34 [347V] or 48 (480V)
2 - Available with 34 [347V] only
3 - May not be used with other options

PML/PML2 High & Low Mode Multipliers – OSQ Series For use with OSQ $^{\rm TM}$ Luminaires with A, J & S Input Power Designators and UL voltage

	120-277V	
0-10V	System Watts Multiplier	Lumen Multiplier
= 1.1</td <td>0.12</td> <td>0.15</td>	0.12	0.15
1.6	0.18	0.24
2.0	0.22	0.30
2.2	0.27	0.35
2.9	0.34	0.43
3.5	0.41	0.51
4.0	0.48	0.59
4.2	0.50	0.61
4.7	0.57	0.68
5.4	0.64	0.73
5.8	0.71	0.80
6.3	0.78	0.85
7.2	0.85	0.91
7.4	0.90	0.94
7.7	0.95	0.98
10.0	1,00	1,00

PML/PML2 High & Low Mode Multipliers - OSQ Series For use with OSQ™ Luminaires with B, K & T Input Power Designators with UL and UH voltages

	120-480V	
0-10V	System Watts Multiplier	Lumen Multiplier
= 0.7</td <td>0.15</td> <td>0.13</td>	0.15	0.13
1.3	0.17	0.19
1.6	0.22	0,24
1.8	0.25	0.28
2.1	0.31	0.33
2.5	0.38	0.40
2.6	0.40	0.42
3.0	0.46	0.48
3.3	0.50	0.53
3.7	0.58	0.59
3.9	0.61	0.63
4.2	0.68	0.67
4.6	0.71	0.74
5.3	0.84	0.84
5.5	0.90	0.87
5.9	0.91	0.91
5.4	0.99	0.98
-/= 6.5	1.00	1.00

 $\begin{tabular}{ll} PML/PML2 & High \& Low Mode Multipliers - OSQ Series \\ For use with OSQ 7M Luminaires with U Input Power Designator with UL and UH voltages \\ \end{tabular}$

0-10V	120-480V	
0-107	System Watts Multiplier	Lumen Multiplier
= 1.0</td <td>0.09</td> <td>0.12</td>	0.09	0.12
1.3	0.10	0.14
1.8	0.16	0,21
2.1	0.20	0.26
2.4	0.25	0.30
2.6	0.27	0.33
3.0	0.32	0.39
3.3	0.36	0.44
3.5	0.39	0.46
3.9	0.44	0.52
4.0	0.45	0.53
4.2	0.48	0.56
4.6	0.53	0.61
5.1	0.60	0.68
5.3	0.62	0.70
5.8	0.69	0.76
5.9	0.71	0.77
6.3	0.75	0.82
6.5	0.80	0.84
5.9	0.83	0.88
7.2	0.89	0.92
7.7	0.96	0.96
10.0	1.00	1.00

PML High & Low Mode Multipliers – VG-A Series For use with VG Series Luminaires with A Input Power Designator and UL, 34 or 48 voltages

	120-277V, 347V, 480V					
0-10V	System Watts Multiplier	Lumen Multiplier				
= 0.8</td <td>0.15</td> <td>0.12</td>	0.15	0.12				
1.3	0.19	0.17				
1.7	0.23	0.23				
2.0	0.27	0.27				
2.4	0.31	0.33				
2.7	0.35	0.39				
3.2	0.41	0.45				
3.7	0.46	0.52				
4,4	0.55	0.60				
5.1	0.64	0.68				
5.7	0.72	0,76				
6.5	0.82	0.86				
7.1	0.90	0.91				
10.0	1.00	1.00				

PML High & Low Mode Multipliers – VG-B Series For use with VG Series Luminaires with all lumen packages and UL or 34 voltages

	120-277V, 347V				
0-10V	System Watts Multiplier	Lumen Multiplier			
1.0	0.09	0.11			
2.0	0.21	0.25			
3.0	0.33	0.39			
4.0	0.47	0.51			
5.0	0.60	0.63			
6.0	0.72	0.75			
7.0	0.85	0.87			
10.0	1.00	1.00			

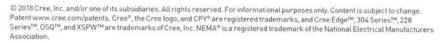


PML High & Low Mode Multipliers – XSPW-B Series

For use with XSPW-B Series Luminaires with all lumen packages and UL voltage

		3000K/70 CR		4000K/70 CRI		5000K/90 CRI		5700K/70 CRI	
Lumen Package	0-10V Dim Setting	Lumen Multiplier	Power Multiplier	Lumen Multiplier	Power Multiplier	Lumen Multiplier	Power Multiplier	Lumen Multiplier	Power Multiplier
	10.0	1.00	1,00	1.00	1.00	1.00	1.00	1.00	1.00
	9.0	0.91	0.90	0.86	0.89	0.92	0.88	0.86	0.89
	7.6	0.77	0.80	0.74	0.79	0.78	0.79	0.73	0.79
2L	6.3	0.65	0.65	0,61	0.68	0.64	0.67	0.61	0.63
ZL	5.0	0.51	0.55	0,49	0.53	0.50	0.54	0.49	0.53
	3.7	0.38	0.40	0.36	0.42	0.35	0.42	0.36	0.42
	2.3	0.24	0.30	0.22	0.32	0.18	0.29	0.22	0.26
	1.0	0.20	0.30	0.20	0.32	0.10	0.25	0.20	0.32
	10.0	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
	9,0	0.91	0.91	0.89	0.94	0.91	0.90	0.89	0.90
	7.6	0.78	0.79	0.77	0.81	0.78	0.78	0.76	0.77
4L	6.3	0.66	0.67	0.65	0.68	0.64	0.68	0.63	0.65
41_	5.0	0.53	0.55	0.52	0.55	0.50	0.55	0.65	0.55
	3.7	0.40	0.42	0.39	0.42	0.34	0.43	0.38	0.42
	2.3	0.25	0.27	0.24	0.29	0.16	0.28	0.24	0.29
	1.0	0.12	0.18	0.12	0.19	0.08	0.15	0.12	0.19
	10.0	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
	9.0	0.92	0.88	0.85	0.91	0.94	0.92	0.86	0.89
	7.6	0.80	0.75	0.74	0.79	0.84	0.78	0.74	0.77
6L	6.3	0.68	0.65	0.63	0.68	0.73	0.68	0.63	0.66
350	5.0	0.55	0.53	0.51	0.55	0.61	0.55	0.51	0.55
	3.7	0.42	0.41	0.39	0.43	0.46	0.43	0.39	0.43
	2.3	0.26	0.27	0.25	0.30	0.29	0.28	0.24	0.28
	1.0	0.12	0.16	0.11	0.15	0.10	0.15	0.11	0.15
	10.0	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
	9.0	0.91	0.90	0.87	0.92	0.97	0.90	0.86	0.90
	7.6	0.79	0.77	0.76	0.78	0.89	0.77	0.75	0.77
8L	6.3	0.68	0.64	0.65	0.65	0.79	0.64	0.64	0.65
4500	5.0	0.56	0.52	0.54	0.53	0.67	0,53	0.53	0.52
	3.7	0.43	0.40	0.41	0.40	0.52	0.40	0.41	0.41
	2.3	0.28	0.26	0.27	0.26	0.33	0.27	0.26	0.27
	1.0	0.12	0.13	0.12	0.14	0.13	0.13	0.12	0.14

CA RESIDENTS WARNING: Cancer and Reproductive Harm – www.p65warnings.ca.gov





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Site Plan, Architectural, and Planned Unit Development (PUD) Application

Date Submitted

07/11/2019

Fees

Please Choose One

Minor Site Plan (Buildings less than 600 sq. ft.): \$135.00 plus \$.02 per sq. ft.

Price: \$135.00 Quantity:

Additional Square Feet for Minor Site Plan (per sq. ft.)

Price: \$0.02 Quantity:

Site Plan and/or Architectural Review: \$250.00 plus \$.02 per sq. ft.

Price: \$250.00 Quantity: 1

Additional Square Feet for Site Plan and/or Architectural Review (per sq. ft.)

Price: \$0.02 Quantity:

Conceptual Site Plan and/or Architectural Review: \$200.00 plus \$.02 per sq. ft.

Price: \$200.00 Quantity:

Additional Square Feet for Conceptual Site Plan and/or Architectural Review (per sq. ft.)

Price: \$0.02 Quantity:

Planned Unit Development (PUD) Review: \$185.00 plus \$25.00/unit

Price: \$200.00 Quantity: 1

Planned Unit Development (PUD) Review (per unit)

Price: \$25.00 Quantity:

Resubmittal of or Amendment to Site Plan and/or Architectural Review

Price: \$200.00 Quantity:

Total Fees

\$450.00

Contacts

Zoning and Planning Department

Contact: Bruce Kaniewski Phone: (414) 339-4105 Fax: (262) 363-6425

Email: planner@villageofmukwonago.com

Guidelines

The undersigned petition is to consider a request, as stated herein, for the specified parcel(s) of land and will be reviewed by the Plan Commission and Village Board of the Village of Mukwonago. The application packet must be filed with the Village Clerk **at least 30 days prior to the meeting** of the Planning Commission at which action is desired. The Plan Commission meets on the second Tuesday of each month at 6:30 p.m.

Materials listed below must be provided to the Village of Mukwonago in accordance with Village Municipal Code Chapter 100 Article IX. Section 100-601(f) and other pertinent sections of Village ordinances, and, as necessary, to permit review that is consistent with proper planning practice. The Village will strive to accommodate reasonable requests for informal preliminary staff review, however the Village shall not place any items on the agenda for Plan Commission consideration until such time as the application is complete in accordance with all requirements specified on this and other attached application forms.

Complete, accurate and specific information must be entered.

Applicant Information

(Full Legal Name)

Name

Greg

First

J

Middle

Petrauski

Last

Company

Infinity Development, LLC

Name			
Address			
6090 S Rosetree Pass			
Street Address			
K.			
Address Line 2			
City			
Wisconsin			A
State			
New Berlin			
ZIP Code			
Daytime Phone			
(414) 688-8911			
Fax			
Applicant Email *			
gpetrauski@hotmail.com			
Applicant is Represented (Full Legal Name)	l by		
Name			
Josh			
First			
Gimbel			
Last			
Company			
Gimbel, Reilly, Geurin, & Brown LLP			

Name

Address

```
Street Address
Address Line 2
  Milwaukee
City
                                                                                           A
 Wisconsin
State
  53022
ZIP Code
Daytime Phone
  (414) 271-1440
Fax
Representative Email *
  ilgimbel@grgblaw.com
Architect
Name
  Steve
First
  Morales
Last
Company
  Rinka+, Inc.
 Name
Address
  756 N Milwaukee St. Ste 250
```

Suite 1170

Street Address

Address Line 2 Milwaukee City Wisconsin State 53202 ZIP Code Daytime Phone (414) 431-8101 Fax Email smorales@rinka.com **Professional Engineer** Name Aaron First Koch Last Company Pinnnacle Engineering Group Name Address 15850 W Bluemound Rd. Street Address Address Line 2 Brookfield City

Wisconsin

A

State			
53005			
ZIP Code			
Daytime Phone			
(262) 754-8888			
Fax			
Email			
aekoch@pinnacle-engr.com			
Registered Surveyor			
	And all accounts to the second se		
Name			
Aaron			
First			
Koch			
Last			
Company			
Pinnacle Engineering Group			
Name			
Address			
15850 W Bluemound Rd.			
Street Address			
Address Line 2			
Brookfield			
City			
Wisconsin			4
State			
53005			
ZIP Code			
Daytime Phone			

Fax

Email

aekoch@pinnacle-engr.com

Contractor

Name

Greg

First

Petrauski

Last

Company

Infinity Development, LLC

Name

Address

6090 S Rosetree Pass

Street Address

Address Line 2

City

Wisconsin

State

New Berlin

ZIP Code

Daytime Phone

(414) 688-8911

Fax

A W gpetrauski@hotmail.com

Property and Project Information

Property Owner(s) (if different from applicant):	
Greenwald Family Limited Partnership	
Address	
1243 Fox River Ct	
Street Address	
Address Line 2	
Mukwonago	
City	
Wisconsin	
State	
53149	
ZIP Code	
Daytime Phone	
(262) 363-8661	
Fax	
Email	
dngreenwald@centurytel.net	
Present Zoning	
B-4	
Tax Key #(s)	
Muky 2013-995-007	
PHIKV ZU1.5-995-UU7	

Lot 3 CSM 10881 - ie. 255 E Wolf Run

Present Use

Vacant Land

Intended Use

Mixed Use Retail with Mixed Use Senior Community

Procedural Checklist for Site Plan/Architectural Plan/PUD Review and Approval

Submittals for review must include and be accompanied by the following:

Application:

- Completed application form including the procedural checklist.
- Application fee. See above.
- Agreement for Reimbursable Services (separate application)

Other documents:

Five(5) complete sets of Application and materials, in addition to the original, for Village of Mukwonago review.

Project Summary: Please attach a statement detailing the reasons and background for this request including: details of proposal, services provided, wares sold, plans and hours of operation, number of employees, frequency of customer visits, frequency of deliveries to site, description of any interior/exterior modifications or additions to be made to property, any outside storage (dumpsters, trucks, materials...), number of parking stalls, screening/buffer type, any other information available. PLEASE EXPLAIN IN DETAIL.

- Electronic Submittals are required. Email (or CD ROM) with all plans and submittal materials in Adobe PDF to planner@villageofmukwonago.com.
- Any additional information as determined by Village staff
- Upon receipt of a complete submittal, staff review will be conducted within ten business days.
- All Site Plan, Architectural, and Planned Unit Development review requests require Plan Commission review and Village Board approval.

Certification

- Applicant hereby certifies that:
 - 1. All of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.
 - Affirms that no Village of Mukwonago elected or appointed official or employee has a proprietary interest in the above referenced property for which this applications being filed

(except as stated below under "Exceptions").

- 3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project (except as stated below under "Exceptions").
- 4. Applicant has read and understands all information in this packet.

Applicant further understands the policies of the Village regarding change of zonings and property development. Conditions of the resolution regarding all approvals are strictly followed. Certificates of Occupancy are not given until all conditions of approval have been met..

By the execution of this application, applicant hereby authorizes the Village of Mukwonago or its agents to enter upon the property during the hours of 7:00 am to 7:00 pm daily for the purpose of inspection. Applicant grants this authorization to enter even if this land has been posted against trespassing pursuant to Section 943.13 WI Stats.

	(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).
0	Property Owner Signature
	1
	Property Owner Name
	Darwin
	First
	Greenwald
	Last
	Agent
	Title
1940	Applicant Signature

(except as stated below under "Exceptions")

- 3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project (except as stated below under "Exceptions").
- 4. Applicant has read and understands all information in this packet.

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(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

Property Owner Signature

Darwin Greenwald

Property Owner Name

Darwin

First

Greenwald

Literat

Agent

Titlet

Applicant Signature

Dought Etrausia

Greg
First
Petrauski
Last
Developer/General Contractor
Title
Would you like to receive updates from the Village via email or text? *
•
* () No
Email for Updates
gpetrauski@hotmail.com
Mobile for Updates
(141) 468-8891

Submit

Applicant Name

Contact Information

Village Hall 440 River Crest Ct Mukwonago, WI 53149 Phone: (262) 363-6420



440 River Crest Court, Mukwonago, Wisconsin 53149 - Tel. (262) 363-6420 - Fax (262) 363-6425 - planner@villageofmukwonago.com

Date: August 9, 2019

To: Fred Winchowky, Village President

Plan Commissioners

Cc: John Weidl, Village Administrator (via email); Judy Taubert, Village Clerk (via email); Bob

Harley, Supervisor of Inspections (via email); Mark Blum, Village Attorney (via email); Jerad Wegner, Village Engineer (via email); Kevin Schmidt, Police Chief (via email); Jeff Stein, Fire Chief (via email); Ron Bittner, Public Works Director (via email); Greg Petrauski, applicant

(via email)

From: Ben Kohout, AICP; Community Planner

Subject: Phantom Lakes Preserve / Conditional Use and PUD request and subsequent Site Plan

Request

Meeting: August 13, 2019 Plan Commission meeting

Property location South side of CTH LO (MUKV1979-991 and MUKV1979-992)

Current zoning A-1 (Agricultural) and accompanying environmental features (floodplain hazard areas)

Proposed zoning R-5 (Low Density Multi – Family Residential District) and accompanying environmental features (floodplain hazard areas)

Previous review(s) At the May 14, 2019 Plan Commission meeting, the Comprehensive Land Use Plan Amendment proposal for this project from Medium Lot Single Family designation to Low Density Multi-Family Residential classification was recommended approval, after public hearing, to the Village Board. The Village Board recommended approval at the subsequent May 22, 2019 meeting. This followed a Concept Review at the Plan Commission meeting on April 9, 2019, where the Plan Commission considered the side by side condominium project for nine (9) such units.

Description

As of the date of this staff summary, plans were submitted on August 9, 2019 and have not yet been fully reviewed by Village Staff. The below information pertains to the previous submittal, received and date stamped June 6, 2019.

The project calls for 10 side by side condominium units (20 total units) on a private shared drive. The R-5 zoning district request that accompanies this request is necessary to provide for allowing this development.

The proposal includes plans for a private shared cul de sac drive off of County Highway LO. Each of the units would access off of this drive.

Zoning standards

The Village has PUD standards in Section 100-53. These standards call for applications to be reviewed as a conditional use approval process. This functions much like a site plan review within a chosen zoning district, where an applicant may propose deviations from specified sections of the Zoning Code.

Zoning Code Section 100-105 governs the requested PUD and R-5 zoning district standards. For this application request, there are wetlands which are governed by Village Code Section 100-283.

There is a required 20 foot setback from building footprints and delineated wetlands. The proposal does not meet this setback on a few of the proposed building sites. The biggest concern in areas adjacent to wetlands are providing what is called a "protective area". Both the Village of Mukwonago ordinance and the state statues regulate that there must be at least a 50-foot protective area between any impervious surface and a wetland boundary. This protective area is designed to "treat" any runoff before making it to the wetlands. However, if all impervious surfaces are directed to a storm water BMP to be treated first, then this protective area is not needed. This is essentially what they are saying in the paragraph on page 2 of their SWMP regarding protective areas. They will not be filling any more of the wetlands to provide a protective area because all buildings/parking lots/driveways/roads, etc. are draining to their storm water pond to be treated prior to being discharged back to the wetland. This is a concern of staff.

The applicant is proposing to deviate from the following standards:

1. Front yard setback. The proposal calls for less than the specified 35 fee. The plans dated August 9, 2019 shall be the requested front yard setback.

Recommendation Denial. Staff finds the wetland setbacks are encroached upon on a few of the proposed duplexes and Staff feels uncomfortable establishing a precedent.

Should the Plan Commission decide to recommend approval, then the following conditions shall be addressed/corrected on the plans prior to being presented to the Village Board:

- 1. The SWMP should include more of a narrative to describe the required protective area for the adjacent wetlands as defined in NR 151.125 and the Village Ordinance Sec. 34-110.(d)(4) and how the site is exempt. This may be notice from the DNR or a description of how the site is being developed to avoid needing the protective area. (i.e. where the adjacent impervious surfaces are being directed prior to entering the wetlands)
- 2. Runoff from the 100-year storm event must be detained on-site. Therefore, the 100-year flow patch shall be shown on the plans to indicate that runoff will still reach the storm water pond during large storm events, should any of the storm structures be inundated an unable to convey untreated runoff via pipe to the storm water pond.
- 3. Due to it's proximity to the wetlands and it's proposed depth, the storm water pond will likely require a substantial amount of dewatering. A dewatering plan should be added to the SWMP and to the civil plans that shows proposed location and detainment for dewatering operations

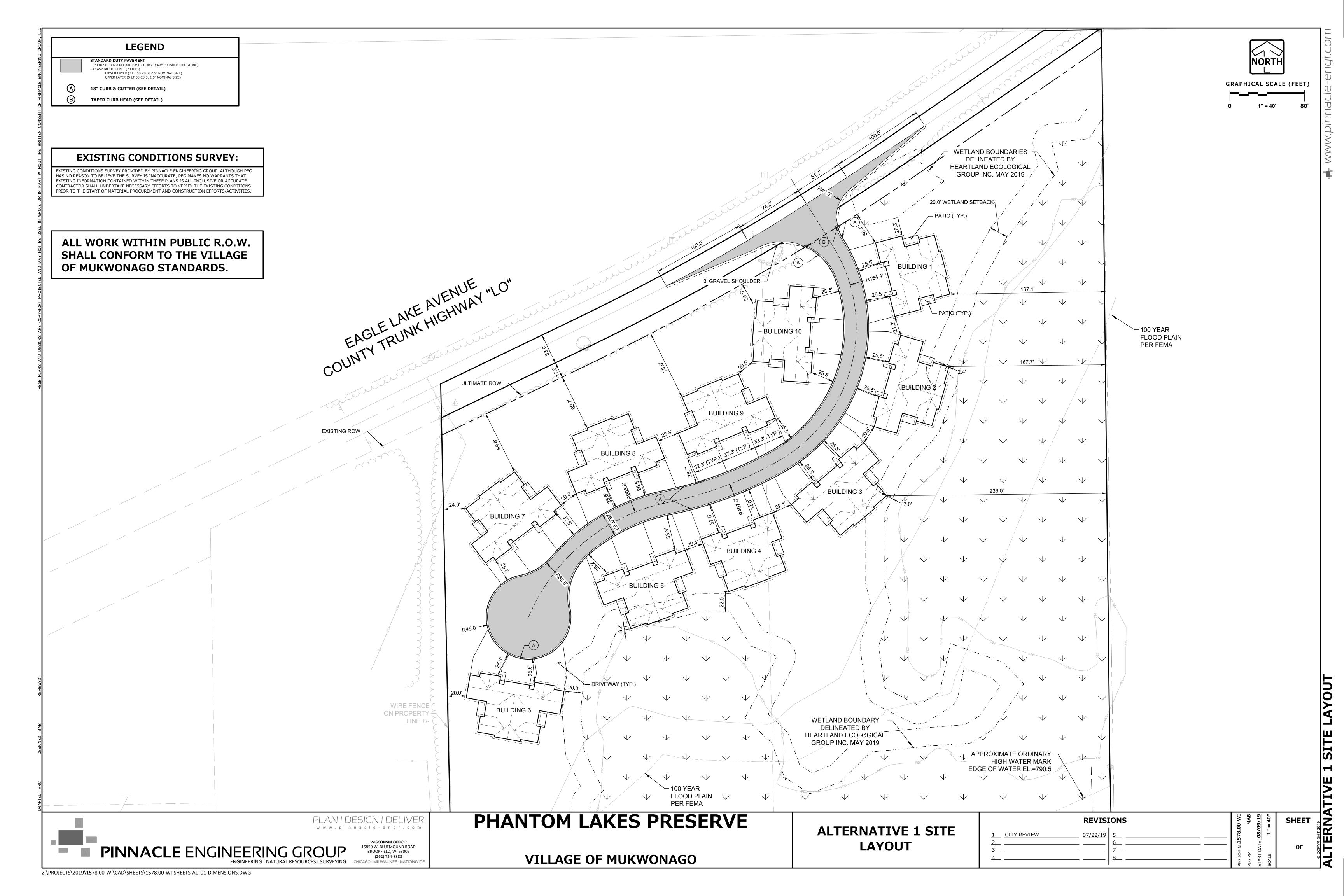
while the pond/sediment trap is constructed. The pond can not be dewatered directly into the wetlands.

- 4. On Sheet C-2 General notes:
 - a. No.8. Add the word "Utilities";
 - b. No. 16. Replace the words Pleasant Prairie with Mukwonago.;
 - c. No. 17. Manhole frames need to meet village spec. and the wrong spec is given.
- 5. Water main and Hydrant Concerns; On the C-6 & C-7 Utilities Plan Sheets:
 - a. 8" watermain on CTH -LO not 16"
 - b. Add 4 main valves as shown locations on Sheet C-6 (attached to email).
 - Hydrant spacing must not exceed 350' including public and private mains. (Two family units are classified the same as single family units in development code per building inspector review of codes.)
 - d. The hydrants located on the back side of the ditch must have an access drive with a culvert for access to the hydrant. It must also have at least a 4' filled in around the back side of them for maintenance and support of the breakaway flange. Use similar design as found on hydrant to the East near where they are connecting into the existing main.
- 6. Catch Basin frames and grates need to meet village spec. and the wrong spec is given (this may be due to water quantity). See attached Village spec's attached to email for review.
- 7. Calculations for storm sewer and inlet capacity for all storm sewer and structures on-site.
- 8. The locations of the wet pond outlet structure and discharge pipe should be shown on the utility plan.
- 9. While there currently is no phosphorus threshold that must be met for the site, the Village requires that the phosphorus data is provided in the storm water management plan and subsequently, in the maintenance agreement, for their use.
- 10. The storm water management plan should be stamped and signed by a professional engineer licensed to practice in the State of Wisconsin.
- 11. Under the "Construction Site Sequencing" please modify the final note to include that modifications to the construction site sequence require approval by the Village of Mukwonago. Items such as grading and utility installation may occur concurrently, but this should be stated as such rather than allowing the contractor to modify the order of all items after the installation of erosion control devices. Please also include more detail for item 3 of the sequence or separate out activities to ensure that the sediment basin is constructed prior to any grading of the site taking place.
- 12. If more work is required to construct the pond to finished product, this should be added into the construction sequence. If the sediment basin will have a different cross section than the pond, one should be included on the detail sheets.
- 13. On Sheet C-7, please identify the type of inlet protection that will be used at each inlet.

- 14. On Sheet C-7, inlet protection should be added to the inlet at the far northwest side of the site.
- 15. If the pond is to be utilized as a sediment trap, the erosion control plan should show the location of the overflow stone weir and indicate whether it will be installed at the elevation of the spillway for the pond or at a different elevation.
- 16. Stop sign and painting. Please provide a stop sign and painted stop lines with intersection of new road and CTH LO and have the Chief of Police verify his approval upon completion.
- 17. Lighting. Please show lighting plans. A light shall be located near the entrance/exit at CTH LO. and a street light by the fire hydrants. Decorative black post and lights, just like the Minors across the street, shall be utilized.
- 18. A Developer's Agreement will need to be finalized prior to building permits being issued.
- 19. A Letter of Credit, for all public infrastructure, will need to be submitted to and verified by the Village Attorney/or designee, prior to building permits being issued.
- 20. Applicant shall provide the Village Board a letter of approval from the Wisconsin DNR, verifying their acceptance of final building permit plans and site plans, as approved by the Board, prior to building permit issuance.
- 21. Approval of Conditional Use for the PUD request and associate Site Plan is valid for a period of one (1) year from date of Village Board Approval and is subject to the plans approved by the Village Board.

Attachments

- 1. Plan Sets
- 2. Elevations
- 3. Lighting Plans



PROJECT TEAM CONTACTS APPLICANT: GREG PETRAUSKI **INFINITY DEVELOPMENT** 6090 S. ROSETREE PASS NEW BERLIN, WI 53151

INDEX OF SHEETS COVER SHEET GENERAL NOTES PLAT OF SURVEY SITE DIMENSIONAL AND PAVING PLAN **GRADING PLAN UTILITY PLAN EROSION CONTROL PLAN C-7** SITE STABILIZATION PLAN **CONSTRUCTION DETAILS** C-9 to C-12 LANDSCAPE PLAN L-1 to L-9

CIVIL ENGINEER MARK BABICH, P.E. PINNACLE ENGINEERING GROUP 15850 BLUEMOUND ROAD, SUITE 210 BROOKFIELD, WI 53005 (262) 754-8888

SURVEYOR:

JOHN KONOPACKI, P.L.S. PINNACLE ENGINEERING GROUP 15850 W. BLUEMOUND ROAD, SUITE 210 BROOKFIELD, WI 53005 (262) 754-8888

ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS

PHANTOM LAKES PRESERVE

MUKWONAGO, WI

PLANS PREPARED FOR

INFINITY DEVELOPMENT

6090 S. ROSETREE PASS NEW BERLIN, WI 53151

GENERAL NOTES

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED MITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, URISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- A GEOTECHNICAL REPORT HAS BEEN PREPARED BY ECS, DATED MARCH 1ST, 2017 FOR THE PROJECT SITE. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS, REPORTS, AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING. BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- 10. THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- 11. THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER
- 12. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE. INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE
- 13. CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- 14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.



MILWAUKEE,

Milwaukee Area (414) 259-1181 Hearing Impaired TDD (800) 542-2289

www.DiggersHotline.com

PINNACLE ENGINEERING GROUP, LLC - ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

BASE LINE LONG CHORD OF CURVE POINT OF CURVATURE POINT OF TANGENCY CURB AND GUTTER POINT OF VERTICAL INTERSECTION **CATCH BASIN RADIUS** CENTERLINE RIGHT-OF-WAY DEGREE OF CURVE EDGE OF PAVEMENT SANITARY SEWER STORM SEWER FINISHED FLOOR TANGENCY OF CURVE FINISHED GRADE TOP OF BANK FLOW LINE **FLOODPLAIN** TOP OF CURB TOP OF FOUNDATION TOP OF PIPE **FLOODWAY** HIGH WATER LEVEL TOP OF SIDEWALK INV TOP OF WALK

WATER MAIN

INTERSECTION ANGLE

ABBREVIATIONS

LEGEND

-

+750.00

SANITARY SEWER MANHOLE

PRECAST FLARED END SECTION

STORM SEWER CATCH BASIN (ROUND CASTING)

STORM SEWER CATCH BASIN (RECTANGULAR CASTING)

STORM SEWER MANHOLE

CONCRETE HEADWALL

VALVE BOX

CLEANOUT

FIRE HYDRANT

SANITARY SEWER

STORM SEWER

FIRE PROTECTION

ELECTRICAL CABLE

OVERHEAD WIRES

TELEPHONE LINE

UTILITY CROSSING

LIGHTING

POWER POLE

GUY WIRE

CONTOUR

WETLANDS

FLOODWAY

FLOODPLAIN

DITCH OR SWALE

DIVERSION SWALE

SOIL BORING

TOPSOIL PROBE

FENCE LINE, WIRE

CONCRETE SIDEWALK

CURB AND GUTTER

DEPRESSED CURB

EASEMENT LINE

STREET SIGN

SPOT ELEVATION

CAUTION EXISTING UTILITIES NEARBY

PRIMARY ENVIRONMENTAL CORRIDOR

GRANULAR TRENCH BACKFILL

ELECTRICAL TRANSFORMER

POWER POLE WITH LIGHT

HIGH WATER LEVEL (HWL)

NORMAL WATER LEVEL (NWL)

DIRECTION OF SURFACE FLOW

OVERFLOW RELIEF ROUTING

FENCE LINE, TEMPORARY SILT

FENCE LINE, CHAIN LINK OR IRON

FENCE LINE, WOOD OR PLASTIC

REVERSE PITCH CURB & GUTTER

TREE WITH TRUNK SIZE

DRAIN TILE

PINNACLE ENGINEERING GROUP

INL

PLAN I DESIGN I DELIVER

L5850 W. BLUEMOUND ROAD

PHANTOM LAKES PRESERVE

VILLAGE OF MUKWONAGO

COVER SHEET

REVISIONS

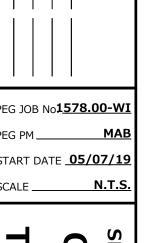
LENGTH OF CURVE

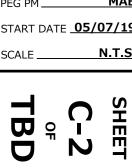
MANHOLE

DRAFTED: MRG REVIEWED SITE PROTECT ADJACENT CURBS, RECEIVING PAINT. DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION. PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER. IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPHANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMER BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO AR PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS. THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (1-800-242-8511) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT. BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED. ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF MUKWONAGO ORDINANCES, AND SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET. SEE ADDITIONAL NOTES AND CONSTRUCTION DETAILS. LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCI AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARI "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT ALLOWED. APPLY STRIPES STRAIGHT AND EVEN. REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, AND DETAILS. ALL PROPOSED CURB AND GUTTER SHALL BE 30" STANDARD CURB AND GUTTER (SEE DETAIL). UNLESS OTHERWISE NOTED. CURB AND GUTTER DRAINING AWAY FROM THE FACE OF CURB IS NOTED AS REVERSE CURB AND GUTTER. ALL RADII ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE. CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS. CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS. ARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL AINT IS DRIED AND READY FOR TRAFFIC. SURFACE PREPARATION: NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING. GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION. WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° (4°C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINC. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° ASPHALTIC MATERIALS: THE ASPHALTIC MATERIALS SHALL CONFORM SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS. JRFACE COURSE AGGREGATE: THE AGGREGATE FOR THE SURFACE HALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY PECIFICATIONS. **DIMENSIONAL** ER COURSE AGGREGATE: THE AGGREGATE FOR THE BINDER COUFCONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY IFICATIONS. PINNA DETAILS STRIPING ∞ CURB OR TO EDGE OF G LOTS, MANEUVERING OR TO STANDARD THE COMMENT OF THE COMENT OF THE COMMENT OF THE COMMENT OF THE COMMENT OF THE COMMENT O COLOR **PAVING** AND WITH OWNER П OTHER AS TRUCK DOCK,
NOPIES, RAMPS,
MERS ETC. HAVE
ARCHITECTURAL Ш THE MARKING ITEMS **NOTES** LANS 15. 14. 13. 12. 10. 9. 19. 17. INEERING I NATURAL I THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE PEG ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE. TOPSOIL BERMING : CONTENT. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MOST RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIC COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS IN THE PLANS. CONTRACTOR SHALL COMPLY WITH ALL OZAUKEE COUNTY CONSTRUCTION STANDA CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR. THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURA CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS. IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER. SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPR EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE DISCREPANCIES TO PINNACLE ENGINEERING GROUP ACTIVITIES. SHALL ACHIEVE IMMEDIATELY NOTIFY PLAN I DES GRADING 90% STANDARD ENGINEER/OWNER IF GROUNDWATER IS ENCOUNT SIGN I DELIVER PROCTOR DENSITY **NOTES** ΑT PROPERLY AND REPORT 3%(±) STABILIZATION AS DEPI TONS. THIN DENCE TURE OVED OR TO SAFE FRED CTED ANY ANY PHANTOM 12. TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES. THE TRACER WIRE FOR THE SANITARY SEWER LATERAL SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING. WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.). HEIGHT OF COVER (FEET):
MINIMUM CONCRETE PIPE CLASSIFICATION: THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL, REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT. FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS. UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF MUKWONAGO SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES COMM 82. MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE VILLAGE OF PLEASANT PRAIRIE. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION. BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS." BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT." BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS". PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES. HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S", OR POLYVINYL CHLORIDE (PVC) - CLASS PS46 MEETING AASHTO M278, AS NOTED. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER. THE CONTRACTOR SHALL CONTACT THE VILLAGE OF MUKWONAGO PUBLIC WORKS DEPARTMENT 48-HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE VILLAGE-OWNED SYSTEM TO SCHEDULE INSPECTIONS. LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION. PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXI ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212. BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS". PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS C-76 WITH RUBE CLASSIFICATIONS SHALL BE IN ACCORDANCE WITH THE FOLLOWING: ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR START OF CONSTRUCTION. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION. HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE VILLAGE OF PLEASANT PRAIRIE AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS." THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES. BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".

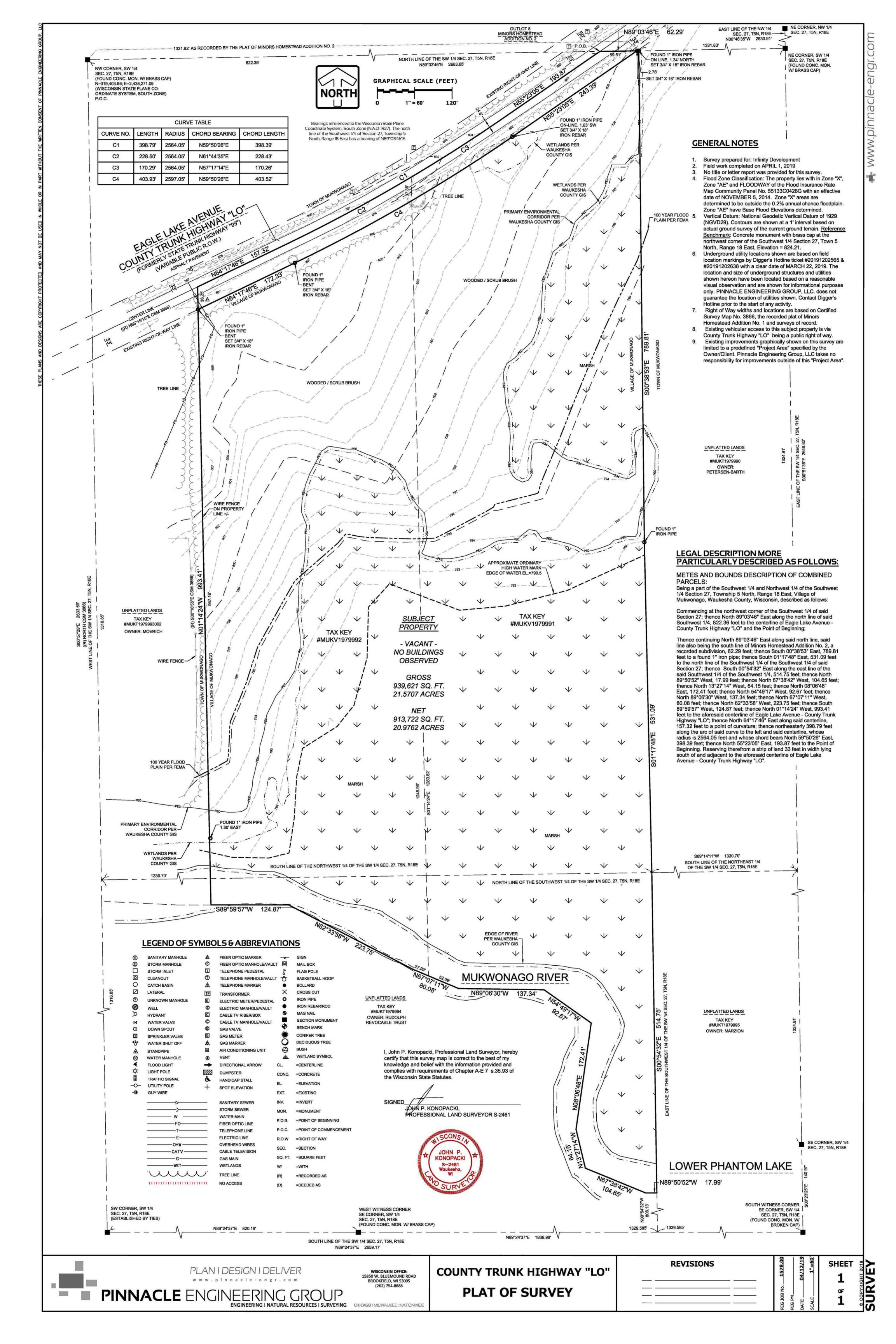
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES. INLETS/CATCH BASINS - INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-6" MAXIMUM OPENING. FRAME & GRATE SHALL BE NEENAH R-3067, OR EQUAL. THE SUMP DEPTH (VERTICAL DISTANCE FROM THE BASE OF THE STRUCTURE TO OUTFALL INVERT OF THE PIPE) SHALL BE 18" MIN. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION. ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER. ONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE REAS DISTURBED DURING CONSTRUCTION. **VILLAGE** FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUA **LAKES** OF MUKWONAGO 2-3 III 3-6 II 6-15 15-25 25+ III IV ENGINEER TO SPECIFY PRESERVE **UTILITY NOTES** SER GASKET JOINTS CONFORMING TO ASTM C-443. STRENGTH GENERAL NOTE COMPLETE CURBS, PA INSTALL UT PLACE TOP CONDUCT TRAPS/BAS INSTALL P STRIP AND EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER. 20. 19. 16. 15. 14. 10. CON DISTUI TO PF POTEN PAVED SCRAP REQUE MODIF CONDI MODIF TO DE SEE AI QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH OF THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED. PUMPS DIVERT AN API MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED. ALL E DISTUI WITHII AT TH IMMED PIPES, THE E REQUI OR GO DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE.THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE. EROSI OUTSI CONST INGRES WITH REQUII THAN AGENC ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS. S TOR MAY MODIFY S CTION IF EROSION OF CTION SITE EROSION OF ING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE ION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL JRBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION ROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS. ION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE TRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING LETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, HEVER OCCURS FIRST. TRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE ESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL IRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING CIES PRIOR TO INSTALLATION. ONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND ALL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF TRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL PACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND STAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.

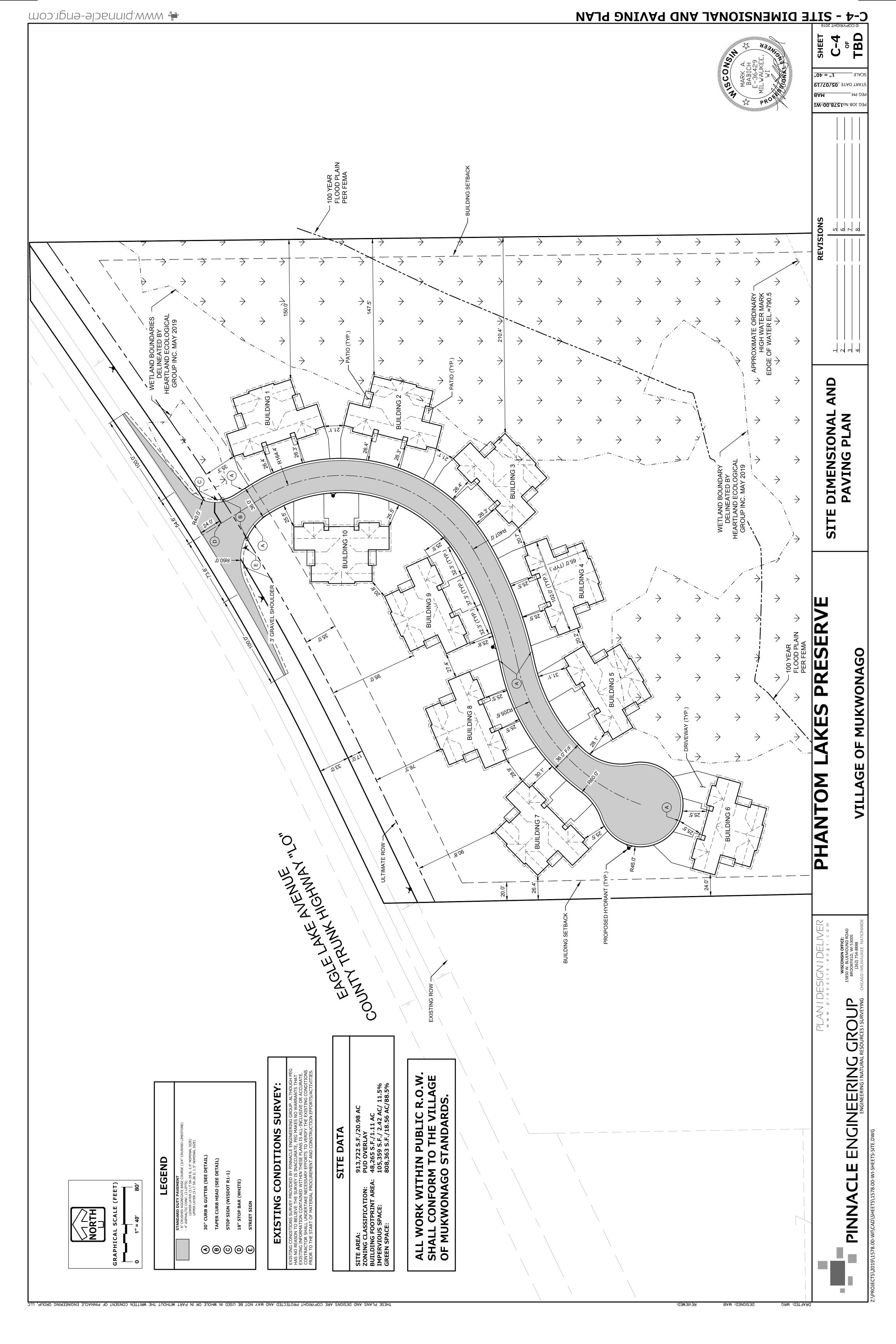
ROSION CONTROL MEASURES INDICATED ON THE PIANTS ADDITIONAL PIANTS EMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE SION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE FILITY PIPING AND STRUCTURES, ISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN ISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR LIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR ACATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A INATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED IN STALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES. JIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS TURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND LIZATION IS REQUIRED. FINAL GRADING, INSTALLATION OF VEMENTS, WALKS, ETC. **ISTRUCTION SITE** IINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS NG OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES. ON CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.)
DE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING: XISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM RBED AREAS SHALL BE PROTECTED TO TO PREVENT SEDIMENT DEPOSITION N STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED HE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE INLET OF ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS. LL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION NCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, DING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM ENT TRANSPORT. ICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD TIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL ICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR VIATION OF THE APPROVED PLAN. MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE TED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO PROVED FILTER BAG OR APPROVED SETTLING DEVICE. ROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER VERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMN CONSTRUCTION. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH. ROUGH GRADING EFFORTS NS AS NEEDED. SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEPT AND/OR D TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS TED BY THE GOVERNING AGENCIES. BED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED ECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE IALL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS. OIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS GENERAL EROSION AND SEDIMENT CONTROL NOTES SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONTROL REQUIREMENTS. INSTALL SILT FENCE AROI , IMMEDIATELY INSTALL INLET PROTECTION AND INSTALL CHECK DAMS **SEQUENCING** JND PERIMETER OF STOCKPILE AND CONSTRUCTION SEDIMENT **REVISIONS**

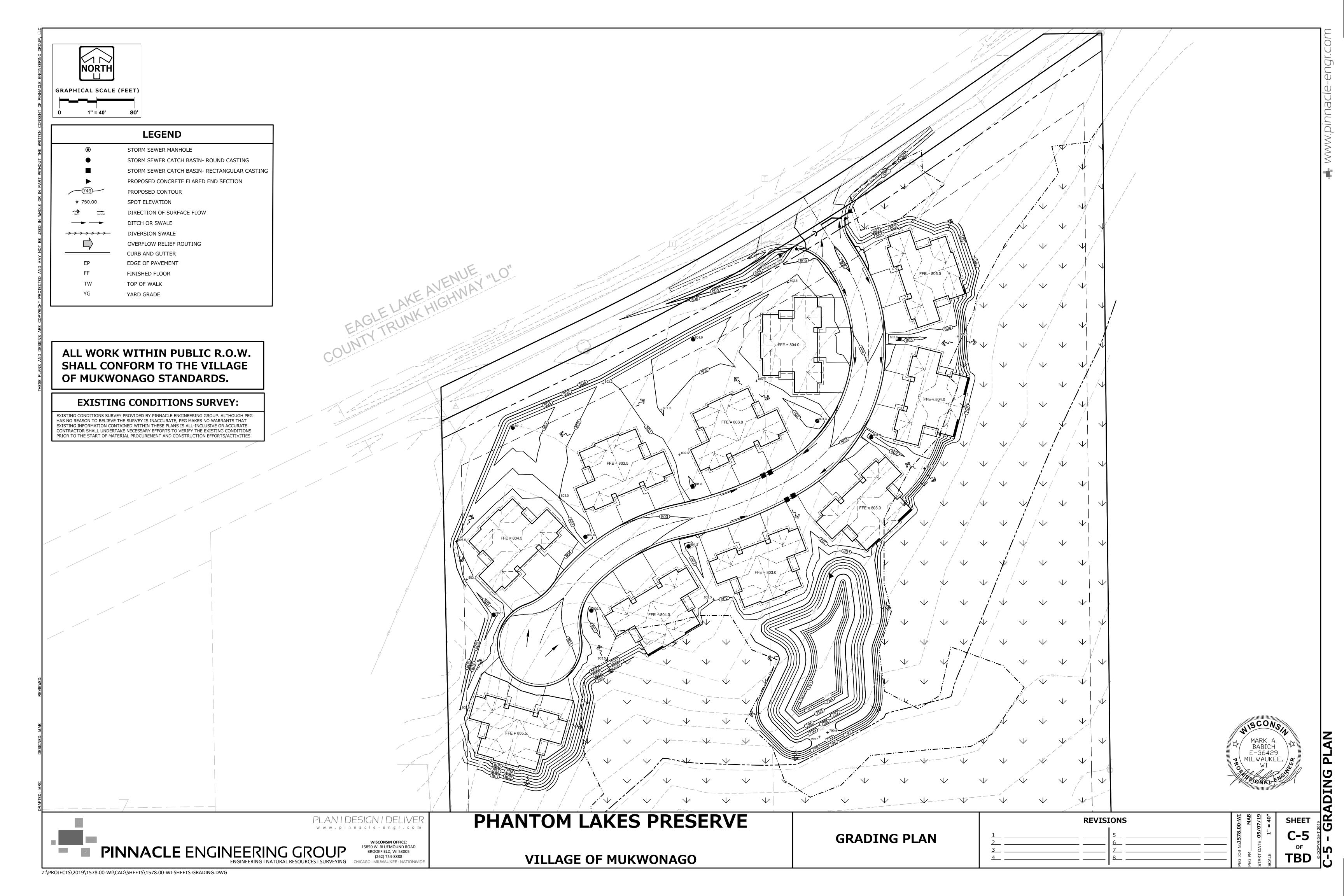


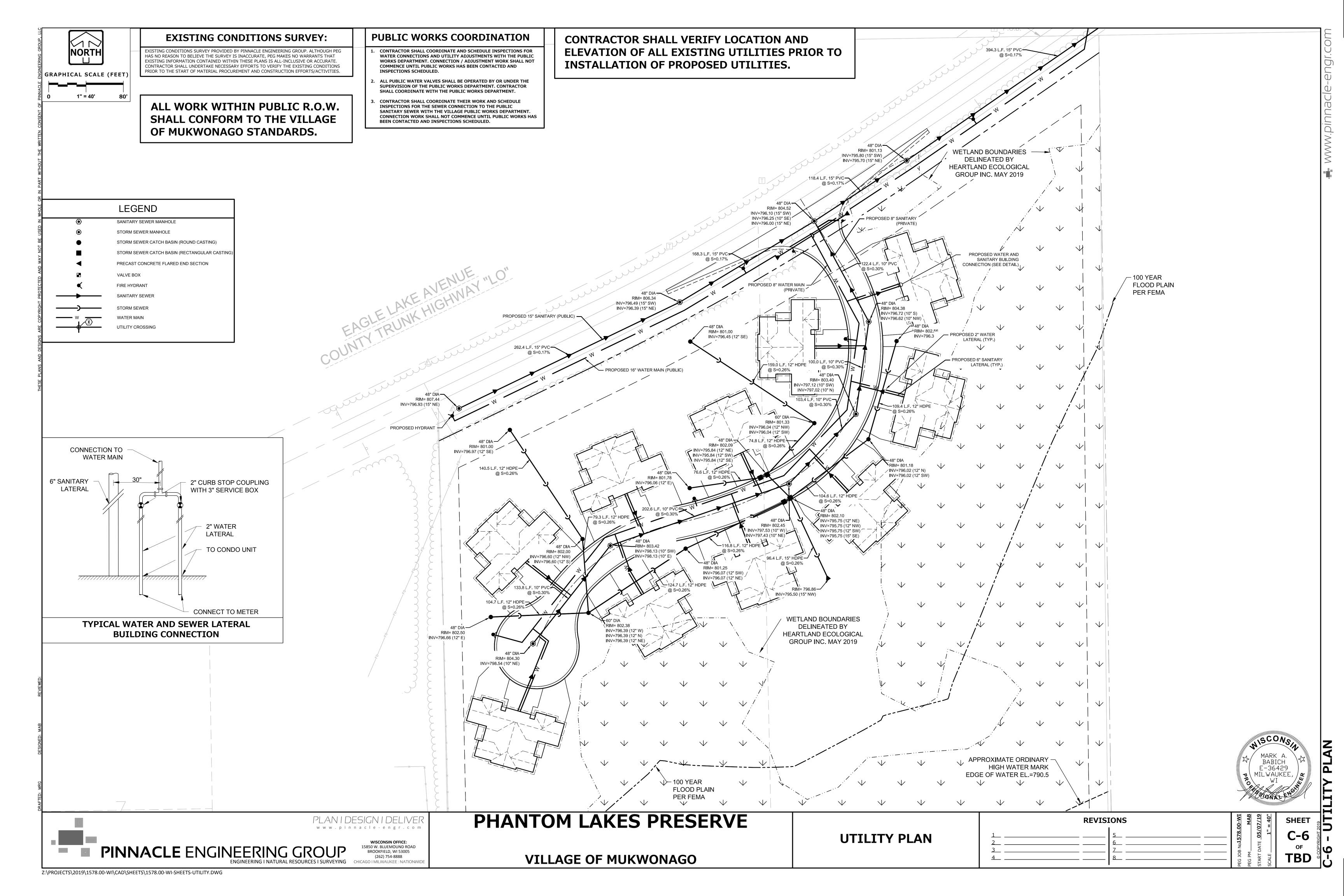


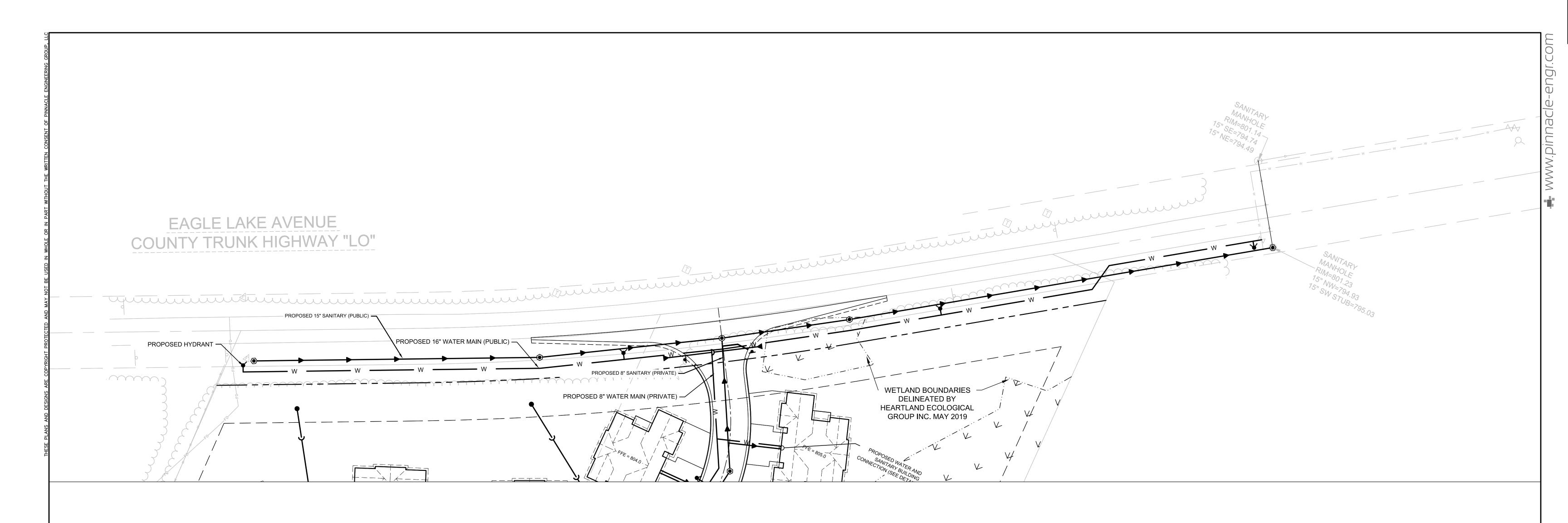
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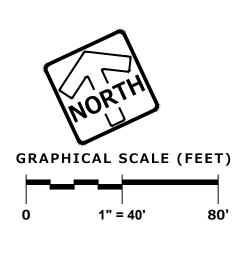


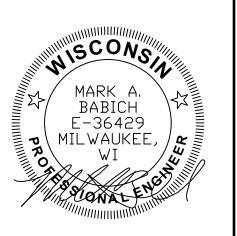












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VILLAGE OF MUKWONAGO

C.T.H. LO UTILITY PLAN

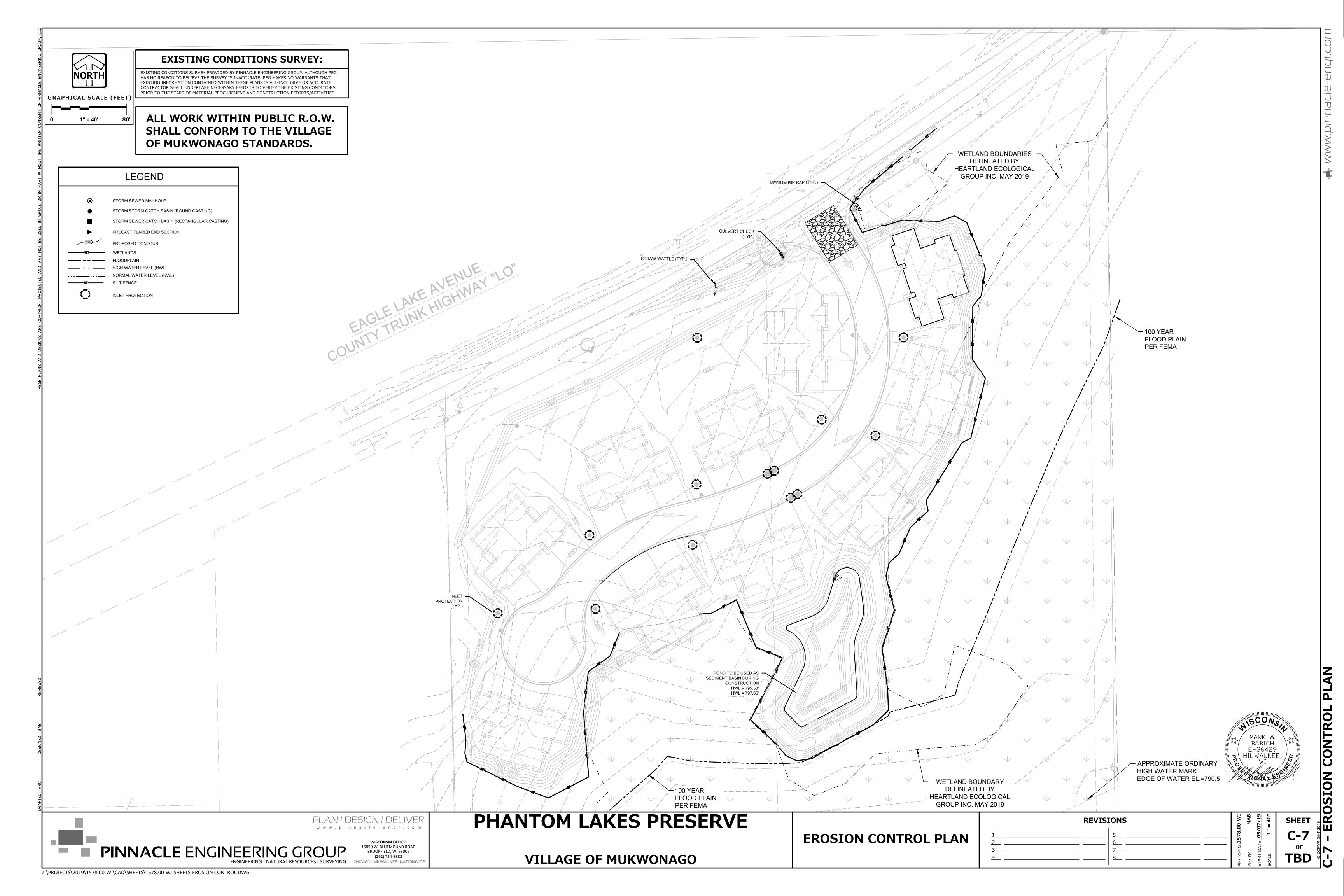
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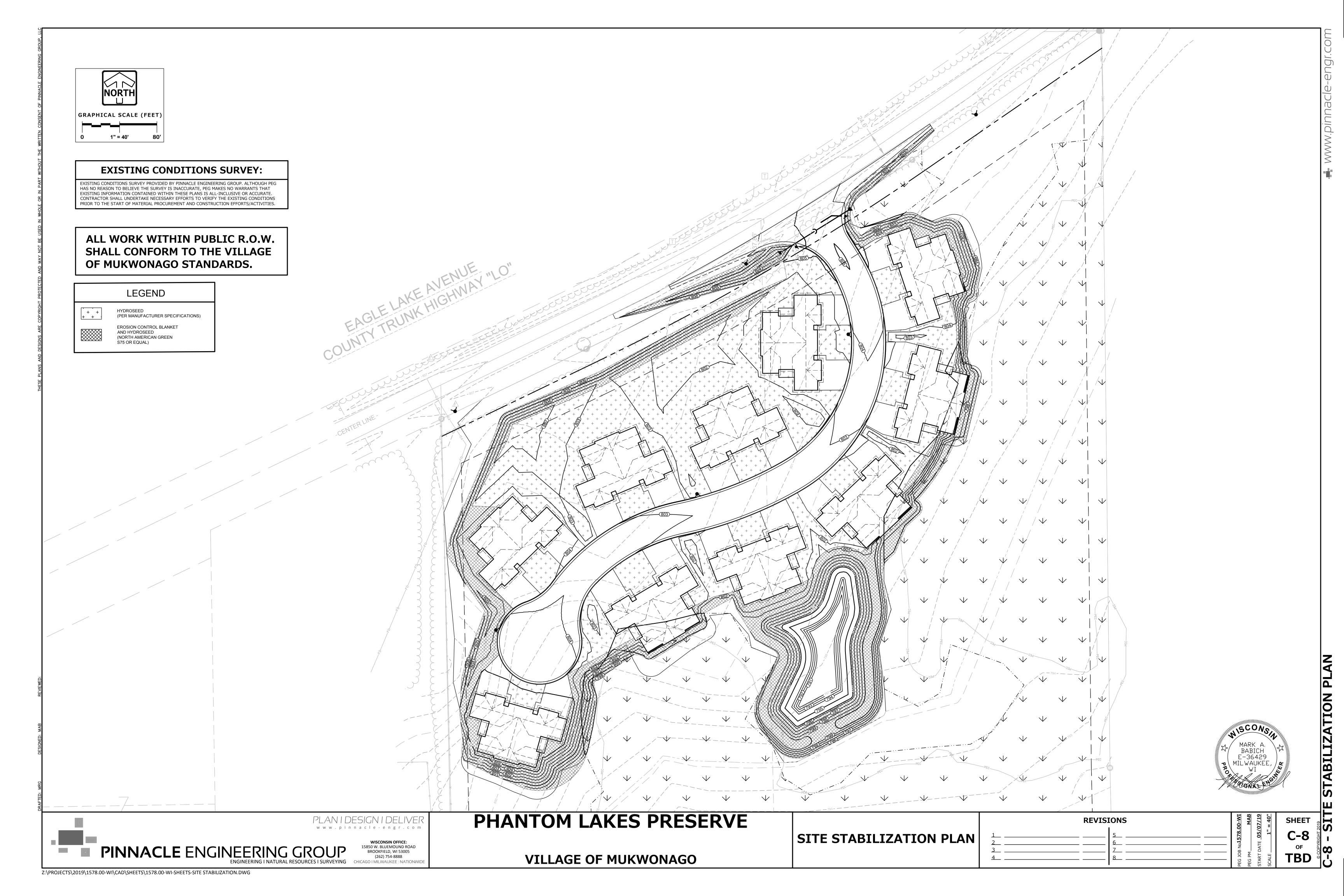
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1.0 POTENTIAL POLLUTANT SOURCES

GIVEN THE PROPOSED ACTIVITY ON THE PROJECT SITE, THE PRIMARY POTENTIAL POLLUTANT SOURCE ASSOCIATED WITH THIS CONSTRUCTION THE FOLLOWING ARE DESCRIPTIONS OF STRUCTURAL PRACTICES TO BE IMPLEMENTED TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS, OR PROJECT IS SOIL EROSION AND TRANSPORTATION; REFER TO SECTION 4 OF THIS PLAN. ADDITIONAL POTENTIAL SOURCES OF POLLUTION MAY INCLUDE: OTHERWISE LIMIT THE DISCHARGE OF POLLUTION THE SITE INCLUDING THE PROPOSED AND EXISTING WETLAND AREAS. FUEL TANKS, WASTE CONTAINERS, OIL OR OTHER PETROLEUM PRODUCTS, DETERGENTS, PAINTS, CONSTRUCTION DEBRIS, SANITARY STATIONS, SUCH PRACTICES COULD INCLUDE SILT FENCE, PROTECTION FENCE, CONSTRUCTION ENTRANCE, DITCH CHECK, EROSION CONTROL MATTING, FERTILIZERS, AND DUST; REFER TO SECTION 5 OF THIS PLAN.

2.0 EROSION AND SEDIMENT CONTROL IMPLEMENTATION

THE FOLLOWING ARE DESCRIPTIONS OF THE EROSION AND SEDIMENT CONTROL PRACTICES THAT SHALL BE IMPLEMENTED DURING CONSTRUCTION OF THIS PROJECT. IN ADDITION TO THESE MEASURES, CONTRACTOR SHALL DISTURB ONLY AREAS NECESSARY TO COMPLETE THE CONSTRUCTION PROJECT. ALL PRACTICES SHALL BE CONDUCTED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES (BMP).

2.1 CONSTRUCTION AND EROSION CONTROL SEQUENCING

CONSTRUCTION SEQUENCING WILL BE UTILIZED AS A MEANS OF CONTROLLING EROSION AND LIMITING SEDIMENT TRANSPORT. SEQUENCING AS LISTED BELOW IS GENERAL IN NATURE AND MAY VARY DEPENDING ON WEATHER CONDITIONS AND/OR PHASING OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A DETAILED SITE SEQUENCING PLAN TO OWNER FOR APPROVAL AT LEAST 5 BUSINESS DAYS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 6 AS NEEDED TO COMPLETE CONSTRUCTION ONLY IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL REQUIREMENTS.

- 1. INSTALL TEMPORARY CONSTRUCTION ENTRANCES, INLET PROTECTION ON EXISTING STORM SEWER AND CULVERT INLET LOCATIONS, AND
- 2. INSTALL SILT FENCING ALONG THE PERIMETER OF PROPOSED TOPSOIL STOCKPILE LOCATIONS. THE FIRST TOPSOIL DEPOSITED WITHIN THE STOCKPILE LIMITS SHALL BE PLACED TO CREATE TEMPORARY BERMING ALONG THE SILT FENCE TO PREVENT DIRECT STORMWATER RUNOFF AGAINST SILT FENCING. CONTRACTOR SHALL LIMIT LAND DISTURBING ACTIVITIES ASSOCIATED WITH TEMPORARY BERMING TO A MINIMUM.
- 3. STRIP TOPSOIL WITHIN THE LIMITS OF THE SEDIMENT TRAPS THAT WILL BE USED FOR TEMPORARY SEDIMENT CONTROL. STRIPPED TOPSOIL SHALL BE PLACED TO CONSTRUCT DIVERSION BERMING OR PLACED WITHIN THE STOCKPILE LIMITS.
- 4. STRIP TOPSOIL ALONG THE REMAINDER OF DIVERSION BERMING AND IMMEDIATELY PLACE TOPSOIL TO CREATE THE BERMING. MASS TOPSOIL 3.0 ADDITIONAL PRACTICES STRIPPING SHALL NOT OCCUR UNTIL ALL DOWNSTREAM SEDIMENT CONTROLS ARE IN PLACE.
- 5. CONDUCT ROUGH GRADING OPERATIONS AND UTILITY PIPING INSTALLATION. DRAIN TILE SHALL NOT BE INSTALLED UNTIL UPLAND AREAS CONTRIBUTING STORMWATER RUNOFF ARE STABILIZED. DITCH CHECKS SHALL BE INSTALLED WITHIN DRAINAGE DITCHES IMMEDIATELY FOLLOWING CREATION OF DITCHES AND INLET PROTECTION SHALL BE INSTALLED TO PROTECT ANY STORM SEWER OR CULVERTS THAT WILL
- 6. FINE GRADE SUB-GRADE SOILS WITHIN PAVEMENT AND BUILDING LIMITS. PLACE STONE BASE MATERIAL AS SOON AS POSSIBLE FOLLOWING
- 7. FINE GRADE REMAINING DISTURBED AREAS. PLACE SALVAGED TOPSOIL, EROSION BLANKETS/MATTING, AND SEED/MULCH AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
- 8. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF SILT FENCE, TEMPORARY FENCING/PRETECTION, DITCH CHECKS, AND OTHER TEMPORARY CONTROLS, AND RESTORATION PRACTICES AS NECESSARY, TO THE SATISFACTION OF THE OWNER.

2.2 STABILIZATION PRACTICES

GEOTEXTILE EROSION MATTING

SODDING

THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, SHALL BE RECORDED ON THE STABILIZATION SCHEDULE FOR MAJOR GRADING

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE

THE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.

CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITIES CEASED, (I.E. THE TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. SEE THE SOIL PROTECTION CHART PRESENTED IN THE CONSTRUCTION DOCUMENTS FOR RATES OF PERMANENT AND TEMPORARY VEGETATION.

STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION

PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED LANDSCAPING PLAN TEMPORARY SEEDING MAY CONSIST OF SPRING OATS (100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LBS/ACRE) HYDRO-MULCHING WITH A TACKIFIER

CONTROL MEASURE GROUP	CONTROL MEASURE	CONTROL MEASURE CHARACTERISTICS
VEGETATIVE SOIL COVER	TEMPORARY SEEDING	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.
	PERMANENT SEEDING	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.
NON VEGETATIVE SOIL COVER	AGGREGATE COVER	PROVIDES TEMPORARY COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.
	PAVING	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.
DIVERSIONS	DIVERSION BERM / SWALE	DIVERTS RUNOFF TO A SEDIMENT TRAP OR OTHER CONTROL.
ENCLOSED DRAINAGE	STORM SEWER	CONVEYS SEDIMENT LADEN WATER TO A SEDIMENT BASIN.
OUTLETS	APRON ENDWALL OR RIPRAP	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURE.
SEDIMENT BASINS	TEMPORARY SEDIMENT TRAP	CONSTRUCTED TO REMOVE SILTATION FROM RUNOFF FROM SITE DIVERSION BERMS/SWALES AND IN OVERLAND FLOOD ROUTE. CAN BE CONVERTED TO PERMANENT SEDIMENT BASIN.
	SILT FENCE	PLACED DOWN SLOPE OF DISTURBED AREA TO KEEP RUNOFF CONTAINED ON-SITE.
SEDIMENT FILTERS	INLET PROTECTION	INSTALLED IN OPEN GRATE STRUCTURES TO COLLECT SEDIMENT.
	DITCH CHECK	PLACED IN DRAINAGE CHANNELS TO FILTER SEDIMENT FROM RUNOFF.
MUD AND	CONSTRUCTION ENTRANCE	REDUCES SOIL EROSION POLLUTANTS BEING TRANSPORTED OFF-SITE.
DUST CONTROL	STREET SWEEPING	REDUCES POLLUTANTS TRACKED FROM CONSTRUCTION SITE.
	DUST CONTROL	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.

STABILIZATION EFFECTIVENESS (TIME OF YEAR)

STABILIZATION TYPE	STABILIZATION UTILIZATION PERIODS											
STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			Ą	*	*	*	*	*	* \			
ENVIANENT SEEDING			•									
DORMANT SEEDING	В		7								В	
SOLAW, ALL SELESING	•										•	/
TEMPORARY SEEDING			Ç	*	*	* \	D *	*	<u> </u>			
TEM GIVILLI GEESING			•				•					
SODDING			E	*	*	*	*	*	* \			
30001140			•									

- A. KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE.
- B. KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE. C. SPRING OATS 100 LBS/ACRE
- D. WHEAT OR CEREAL RYE 150 LBS/ACRE.
- F. STRAW MULCH 2 TONS/ACRE.
- IRRIGATION/WATERING REQUIRED TO SUPPORT ESTABLISHMENT AS NEEDED.

2.3 STRUCTURAL PRACTICES

DIVERSION BERM/SWALE, SEDIMENT TRAP, LEVEL SPREADER, INLET PROTECTION, OUTLET PROTECTION, AND TEMPORARY OR PERMANENT SEDIMENT 5.0 INSPECTION BASIN. THE FOLLOWING STRUCTURAL PRACTICES ARE TO BE UTILIZED DURING THIS PROJECT.

S/LT FENCE SHALL BE PLACED DOWN SLOPE OF DISTURBED AREAS OF THE CONSTRUCTION SITE AND AROUND THE PERIMETER OF THE TOPSOIL STOCKPILE. THIS INCLUDES PROTECTION OF EXISTING WETLAND AREAS TO BE MAINTAINED. SILT FENCE MAY ALSO BE USED AS A TEMPORARY CONTROL DEVICE WHERE SEDIMENTATION RUNOFF IS DISCOVERED.

CONSTRUCTION ENTRANCE SHALL BE INSTALLED TO REDUCE SOIL EROSION POLLUTANTS FROM LEAVING THE SITE DURING CONSTRUCTION ACTIVITIES. IF THE CRUSHED STONE DOES NOT ADEQUATELY REMOVE MUD FROM VEHICLE TIRES, THEY SHALL BE HOSED OFF BEFORE ENTERING INSPECTION. PAVED ROADWAY. ANY SOIL DEPOSITED ON THE PUBLIC PAVED ROAD WAY SHALL BE REMOVED IMMEDIATELY.

<u>DITCH CHECK (STRAW BALES)</u> SHALL BE INSTALLED IN DRAINAGE CHANNELS AS NEEDED.

EROSION CONTROL MATTING SHALL BE PLACED ON AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 3H:1V, BEFORE VEGETATION IS ESTABLISHED.

<u>DIVERSION BERM/SWALE</u> SHALL BE CONSTRUCTED TO DIVERT RUNOFF AROUND THE SITE AND TO DIVERT RUNOFF FROM THE DISTURBED AREA

6.1 GENERAL MATERIAL MANAGEMENT PRACTICES TO A SEDIMENT TRAP OR OTHER CONTROL. BERMS/SWALES SHALL BE STABILIZED WITH EQUIPMENT TRACKING AND TEMPORARY SEEDING.

<u>SEDIMENT TRAPS/BASIN</u> SHALL BE CONSTRUCTED TO COLLECT RUNOFF AND RUNOFF FROM SITE DIVERSION BERMS/SWALES.

INLET PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE INLETS TO REDUCE SEDIMENT WITHIN STORM SEWER CONVEYANCE

ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE

<u>CONSTRUCTION WASTE</u> SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARPAULIN TO PREVENT BLOWING DEBRIS.

<u>DUST CONTROL</u> SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL

ROUGHENING (EQUIPMENT TRACKING) THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE A

FREQUENT WATERING OF EXCAVATION AND FILL AREAS.

PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.

<u>OUTLET SCOUR PROTECTION</u> SHALL BE INSTALLED AT STORMWATER DRAINAGE OUTLETS TO DIFFUSE FLOWS.

STREET SWEEPING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.

4.0 EROSION AND SEDIMENT STRUCTURAL PRACTICE MAINTENANCE

AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN. UPON IDENTIFICATION, DEFICIENCIES IN STABILIZATION. STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW.

SILT FENCE - REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND HEIGHT OF THE FENCE.

CONSTRUCTION ENTRANCE - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.

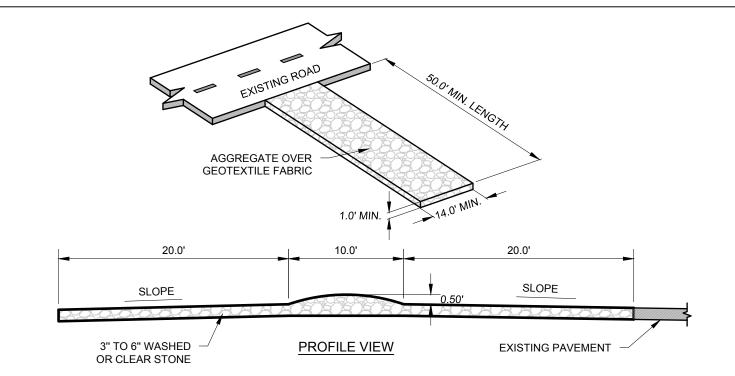
 $\underline{\textit{DITCH CHECK (STRAW BALES)}} \text{ - RE-SECURE STAKES; ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER; AND REMOVE}$ ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE BALE.

EROSION CONTROL MATTING - REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FAILED CONDITIONS. REPAIR AND SOIL WHERE CHANNELIZATION HAS OCCURRED.

 $\underline{\textit{DIVERSION BERM/SWALE}} \text{ - REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY}.$

 ${\it \underline{SEDIMENT\ TRAP}}$ - REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT WHEN IT HAS REACHED THE SEDIMENT STORAGE ELEVATION INLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS

SHALL BE REPLACED ONCE ONE-HALF FULL OF SEDIMENT. OUTLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC, TURF REINFORCEMENT MATTING AND/OR STONE WHEN CONTROL MEASURE IS



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- 1. ALL TRACKING PAD MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH WI DNR TECHNICAL STANDARD 1057
- 2. TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. CONTRACTOR SHALL VERIFY LOCATION WITH OWNER.
- THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE. ALL MATERIALS TO BE RETAINED ON
- 4. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12-INCHES THICK. ON SITES WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PAD, THE PAD SHALL BE UNDERLAIN WITH GEOTEXTILE FABRIC WHICH MEETS MATERIAL SPECIFICATION 592 GEOTEXTILE, TABLE 1 OR 2, CLASS I, II OR IV, TO PREVENT MIGRATION OF UNDERLYING SOILS INTO THE
- THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. MINIMUM WIDTH IS 14 FEET FOR ONE-WAY TRAFFIC AND 20 FEET FOR TWO-WAY TRAFFIC, WITH AN ADDITIONAL INCREASE OF 4 FEET FOR TRAILER TRAFFIC. THE TRACKING PAD
- ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, AT THE END OF EACH WORKING DAY
- TRACKING PADS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24-HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5-INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD
- 8. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

CONSTRUCTION ENTRANCE

ONE-HALF FULL OF SEDIMENT.

SEDIMENT BASIN - AT THE END OF CONSTRUCTION, CONTRACTOR SHALL REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT AND RESTORE BASIN AREA TO INTENDED POST-CONSTRUCTION DESIGN GRADES.

INSPECTIONS SHALL BE COMPLETED WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS ONE-HALF INCH OR GREATER OR EQUIVALENT SNOWFALL, OR AT A MINIMUM ONCE EVERY SEVEN (7) CALENDAR DAYS, INSPECTIONS SHALL BE UNDERTAKEN BY QUALIFIED PERSONNEL PROVIDED BY THE CONTRACTOR, AND SHALL INCLUDE: DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT SHALL BE COMPLETED AND ADDED TO THE SWPPP. RAINFALL SHALL BE RECORDED ON THE SWPPP RAINFALL LOG. CONTRACTOR SHALL IMMEDIATELY ARRANGE FOR REPAIR OR REPLACEMENT OF ANY DAMAGED OR DEFICIENT CONTROL MEASURES OBSERVED DURING THE

QUALIFIED PERSONNEL MEANS A PERSON KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL MEASURES. SUCH AS A LICENSED PROFESSIONAL ENGINEER, A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL, A CERTIFIED EROSION SEDIMENT OR STORMWATER INSPECTOR, OR OTHER TRAINED INDIVIDUAL.

6.0 SPILL PREVENTION

- THE GOOD HOUSEKEEPING PRACTICES LISTED BELOW SHALL BE FOLLOWED THROUGHOUT THE CONSTRUCTION PROJECT.
- 1. CONTRACTOR SHALL STORE ONLY ENOUGH PRODUCTS REQUIRED TO COMPLETE THIS PROJECT.
- ALL MATERIAL SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR ORIGINAL CONTAINERS CONTAINING MANUFACTURER'S LABEL.
- MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED. 4. MATERIALS REQUIRED TO HAVE A MATERIAL SAFETY DATA SHEET (MSDS) SHALL HAVE A COPY STORED IN THE PROJECT'S MSDS DATABASE.

6.2 SPILL CONTROL PRACTICES

THE PRACTICES LISTED BELOW SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE MAINTAINED ONSITE.
- 2. IMMEDIATELY UPON DISCOVERY, ALL SPILLS SHALL BE CLEANED UP ACCORDING TO THE MANUFACTURERS' RECOMMENDED METHODS. PERSONNEL CLEANING UP A SPILL SHALL USE PERSONAL PROTECTIVE EQUIPMENT.
- 4. IMMEDIATELY UPON DISCOVERY, SPILLS OF TOXIC OR HAZARDOUS MATERIALS SHALL BE REPORTED TO THE OWNER AND GENERAL
- 5. NOTIFICATION AND REPORTING TO THE APPROPRIATE FEDERAL, STATE, AND LOCAL GOVERNMENT AGENCIES SHALL BE MADE AS REQUIRED.

GENERAL INFORMATION:

THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED TO FULFILL ONE OF THE REQUIREMENTS OF THE GENERAL ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (WISCONSIN POLLUTION DISCHARGE ELIMINATION SYSTEM "WPDES" PERMIT NO. WI-S067831-4) FOR THE DISCHARGE OF STORMWATER ASSOCIATED WITH CONSTRUCTION PROJECTS DISTURBING ONE ACRE OR MORE. THE OWNER AND CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF THE WPDES FOR ALL SUCH CONSTRUCTION PROJECTS. THE STORMWATER DISCHARGES ASSOCIATED WITH THE CONSTRUCTION ACTIVITY FROM THIS SITE ARE SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE PERMITS.

THE EXECUTED OWNER CERTIFICATION AND THE CONTRACTOR CERTIFICATIONS SHALL BE KEPT ONSITE WITH THE APPROVED PLANS.

SWPPP AVAILABILITY:

THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION THE OWNER SHALL RETAIN A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF THE PROJECT INITIATION TO THE DATE OF FINAL

KEEPING PLANS CURRENT:

THE CONTRACTOR SHALL AMEND THE PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY CONTROLLING POLLUTANTS IN STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE ACTIVITY. IN ADDITION, THE THE PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT A MEASURE OF THE PLAN. AMENDMENTS TO THE PLAN MAY BE REQUIRED BY THE MUNICIPALITY, OWNER, OR OTHER REVIEWING AGENCY. COPIES OF THE AMENDMENTS SHALL BE KEPT ONSITE AS PART OF THE SWPPP.

RETENTION OF RECORDS:

THE OWNER SHALL RETAIN COPIES OF THIS AND ALL REPORTS AND NOTICES REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE PERMIT COVERAGE EXPIRES OR IS TERMINATED. THIS PERIOD MAY BE EXTENDED BY THE REQUEST OF THE AGENCY AT ANY TIME. IN ADDITION, THE OWNER SHALL RETAIN A COPY OF THE PLAN REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

A NOTICE OF INTENT (NOI) APPLICATION MUST BE COMPLETED AND INCORPORATED INTO THE SWPPP

WPDES NOTICE OF TERMINATION GUIDANCE:

WHEN A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT ARE ELIMINATED, THE OWNER OF THE FACILITY MUST SUBMIT A COMPLETED NOTICE OF TERMINATION THAT IS SIGNED IN ACCORDANCE WITH THE PERMIT. CONTRACTOR SHALL SUBMIT A COMPLETED NOTICE OF TERMINATION TO OWNER FOR EXECUTION PRIOR TO THEIR FINAL PAY APPLICATION REQUEST.



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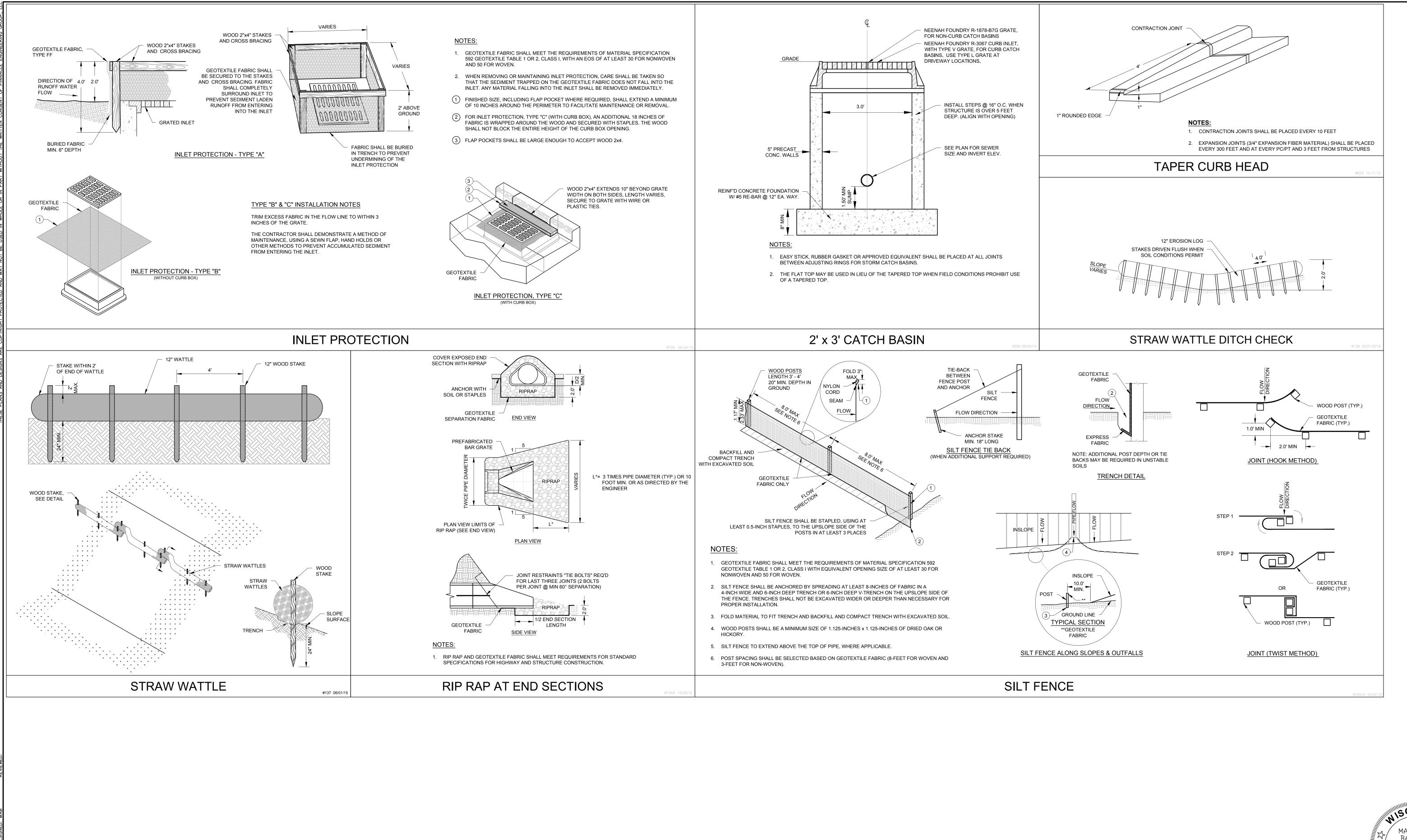
PINNACLE ENGINEERING GROUP

PHANTOM LAKES PRESERVE

VILLAGE OF MUKWONAGO

CONSTRUCTION DETAILS

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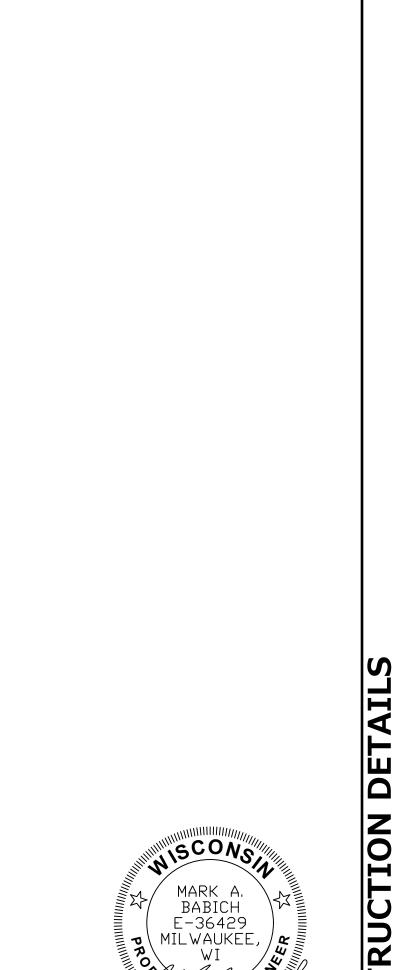
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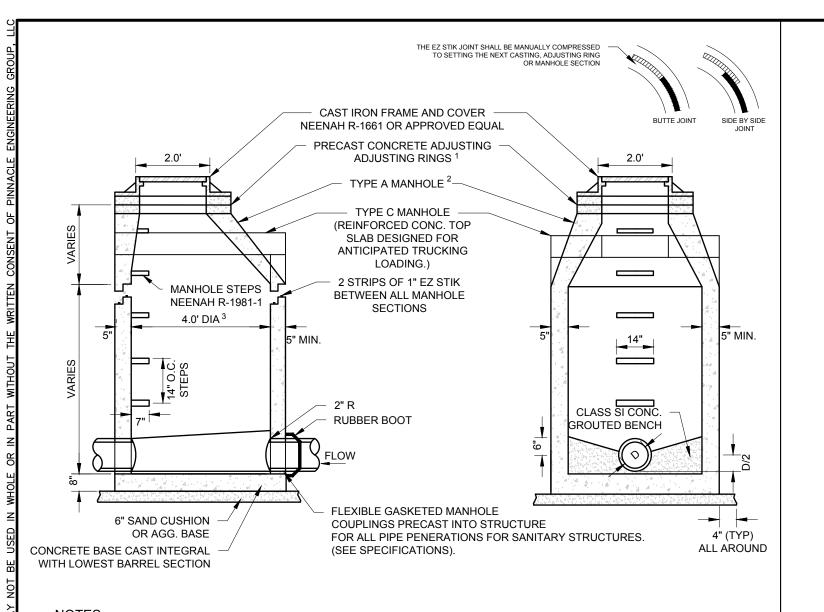
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NOTES:

1. 1" EZ STIKE BETWEEN ALL ADJUSTMENT RINGS, BETWEEN TOP ADJUSTMENT RINGS AND FRAME. USE INTERNAL ADAPTOR SEAL RING, ALL JOINTS MUST BE BACKPLASTERED INSIDE AND OUT.

2. THE FLAT TOP MAYBE USED IN LIEU OF THE TAPERED TOP WHEN FIELD CONDITIONS PROHIBIT THE USE OF A TAPERED TOP.

3. STRUCTURE TO BE 4' -0" DIA UNLESS OTHERWISE INDICATED ON THE PLANS.

6" MINIMUM STONE BEDDING NOTES: 1. CLEAN UNDERSIDE OF ADJUSTING RING OR CAST IRON FRAME AND SET IN PLACE. 2. TUCK POINT MORTAR INTO ANNULAR CRACK AND BACKPLASTERED INSIDE AND OUTSIDE OF ALL JOINTS. 3. THE FLAT TOP MAY BE USED IN LIEU OF THE TAPERED TOP WHEN FIELD CONDITIONS PROHIBIT THE USE OF A FLAT TAPERED TOP. 4. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478. 5. ECCENTRIC CONE SECTION OF MANHOLE TO BE SET OUTSIDE OF VEHICULAR WHEEL PATH NEAR §

MINIMUM 4.0' INSIDE DIAMETER

FLOW LINE

STORM SEWER MANHOLE

4" ADJUSTMENT

SIDE BY SIDE

2 STRIPS OF 1" E-Z-STIK

BETWEEN ALL MANHOLE

SECTIONS

JOINT (TYP)

NEENAH FOUNDRY

R-1660 WITH VENTED LID, UNLESS OTHERWISE

CONCRETE DECK MAY BE -

SUBSTITUTED FOR CONE

SECTION FOR SHALLOW

SIDE BY SIDE JOINT (TYP)

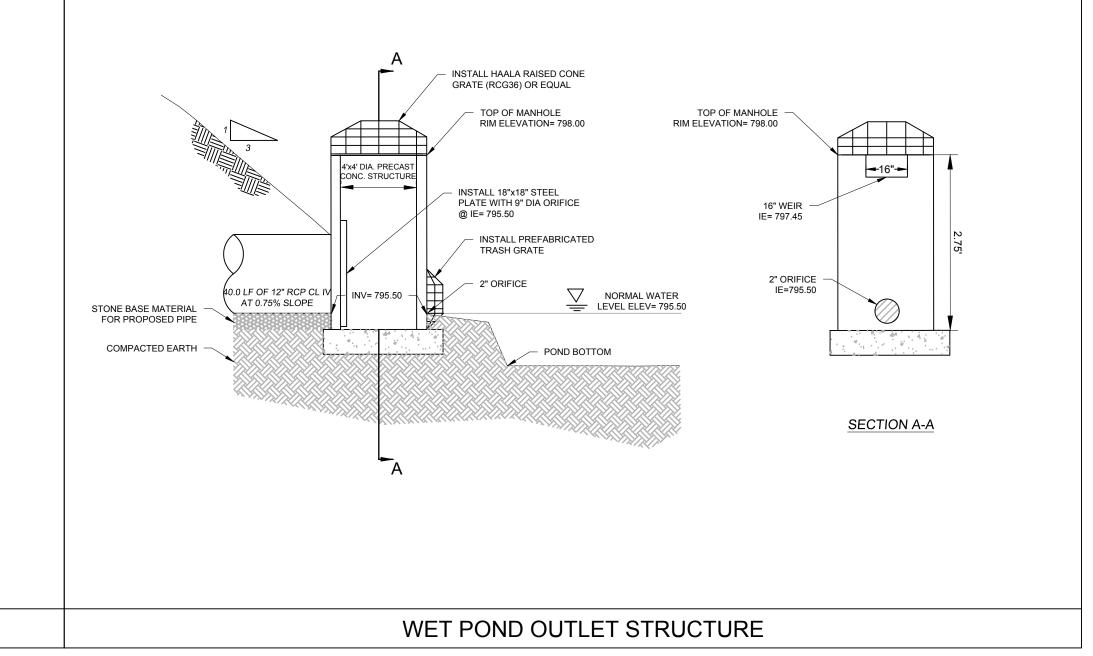
STORM SEWER PIPE

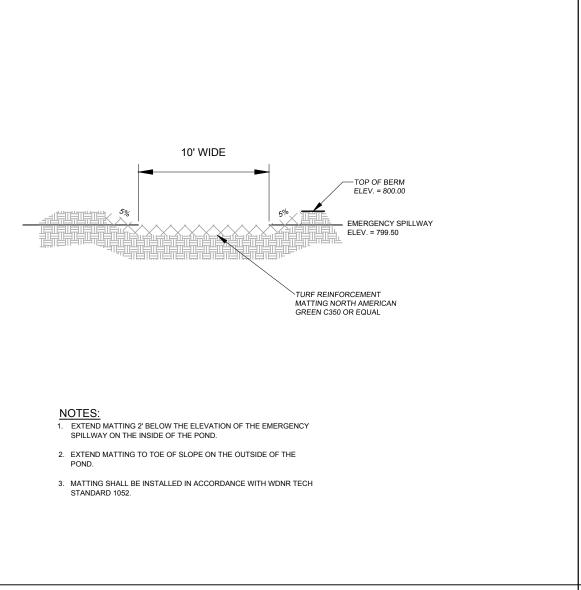
STORM SEWERS.

NOTED ON THE PLANS

TOP OF BERM PROPOSED FINISH SURFACE -TOPSOIL SHALL BE -X/X X/X X/X X/X A MINIMUM OF 4" THICK ELEV=798.00 OUTLET STRUCTURE -- 4.5' X 4.5' ANTI-SEEP COLLARS (TYP) (SEE DETAIL) 10' WIDE SAFETY SHELF 10' WIDE SAFETY SHELF 40.0 LF OF 12" RCP CL IV TOPSOIL SHALL BE A MINIMUM OF 4" THICK 12" RCP APRON ENDWALL POND BOTTOM, ELEV. = 790.50' COMPACTED CLAY LINER (2FT MIN) COMPACTED NATIVE (TYPE A LINER PER DNR TECH STANDARD 1001) SOIL (TYP) 1. ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF "WDNR WET DETENTION BASIN TECHNICAL 2. ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD. 3. RCP PIPING & INSTALLATION WITHIN THE BASIN SHALL BE IN ACCORDANCE WITH (ASTM C-76/C443) WITH 4. OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS. 5. CLAY LINER SHALL BE A MINIMUM OF 2-FEET THICK. CLAY SHALL BE COMPACTED AT ±2.0% OPTIMAL MOISTURE CONTENT TO 90% MODIFIED PROCTOR. MEDIUM STIFF TO STIFF CLAYS PRESENT IN-PLACE AT THE POND SIDE SLOPES OR OTHER ONSITE MEDIUM STIFF TO STIFF CLAYS MAY BE USED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER OF RECORD. 6. FOR CONSTRUCTED EMBANKMENTS WHERE THE PERMANENT POOL IS PONDED 3-FEET OR MORE AGAINST THE EMBANKMENT, THERE SHALL BE A CORE TRENCH OR KEYWAY ALONG THE CENTERLINE OF THE EMBANKMENT UP TO THE PERMANENT POOL ELEVATION. THE CORE TRENCH OR KEYWAY SHALL BE A MINIMUM OF 2-FEET DEEP AND 8-FEET WIDE WITH A SIDE SLOPE OF 1:1 OR FLATTER. WET STORMWATER POND CROSS SECTION

SANITARY MANHOLE





EMERGENCY SPILLWAY



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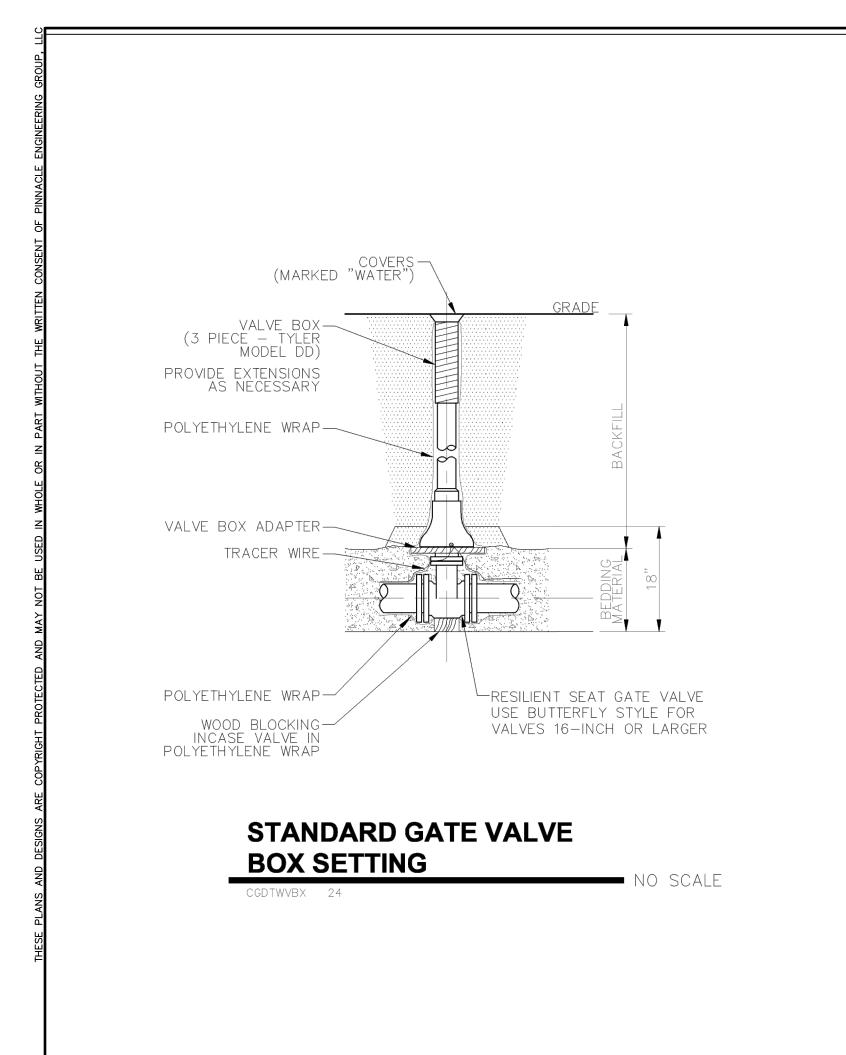
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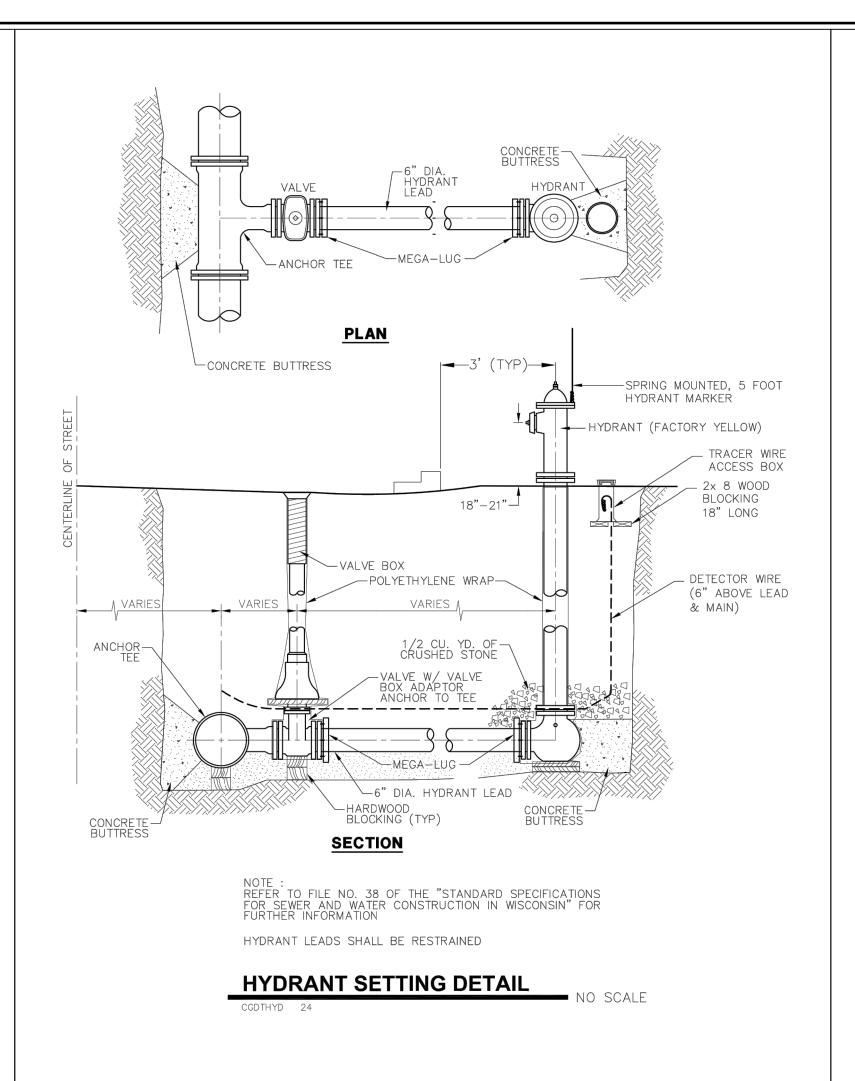
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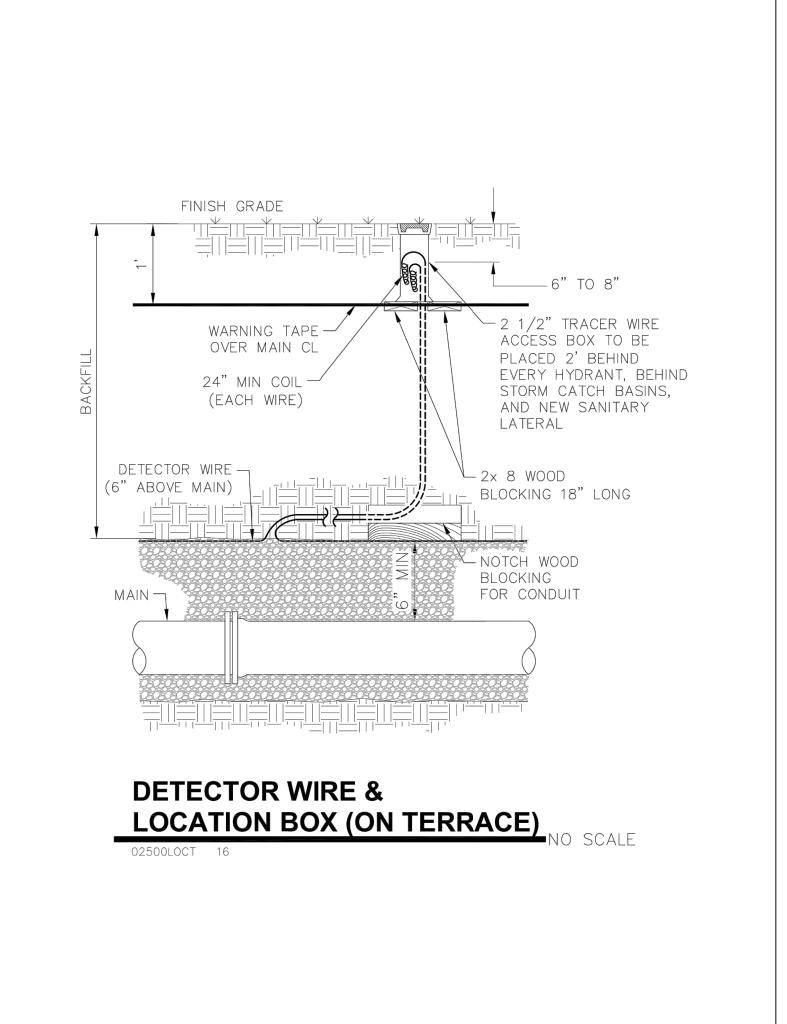
VILLAGE OF MUKWONAGO

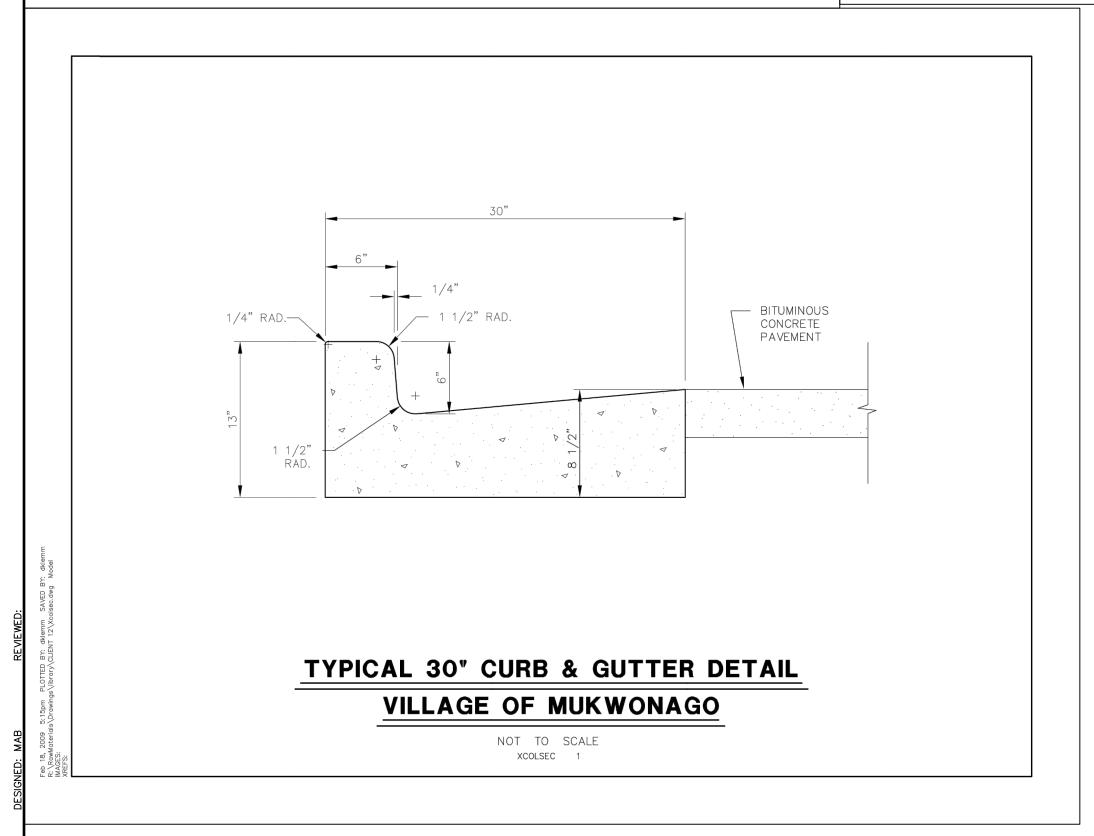
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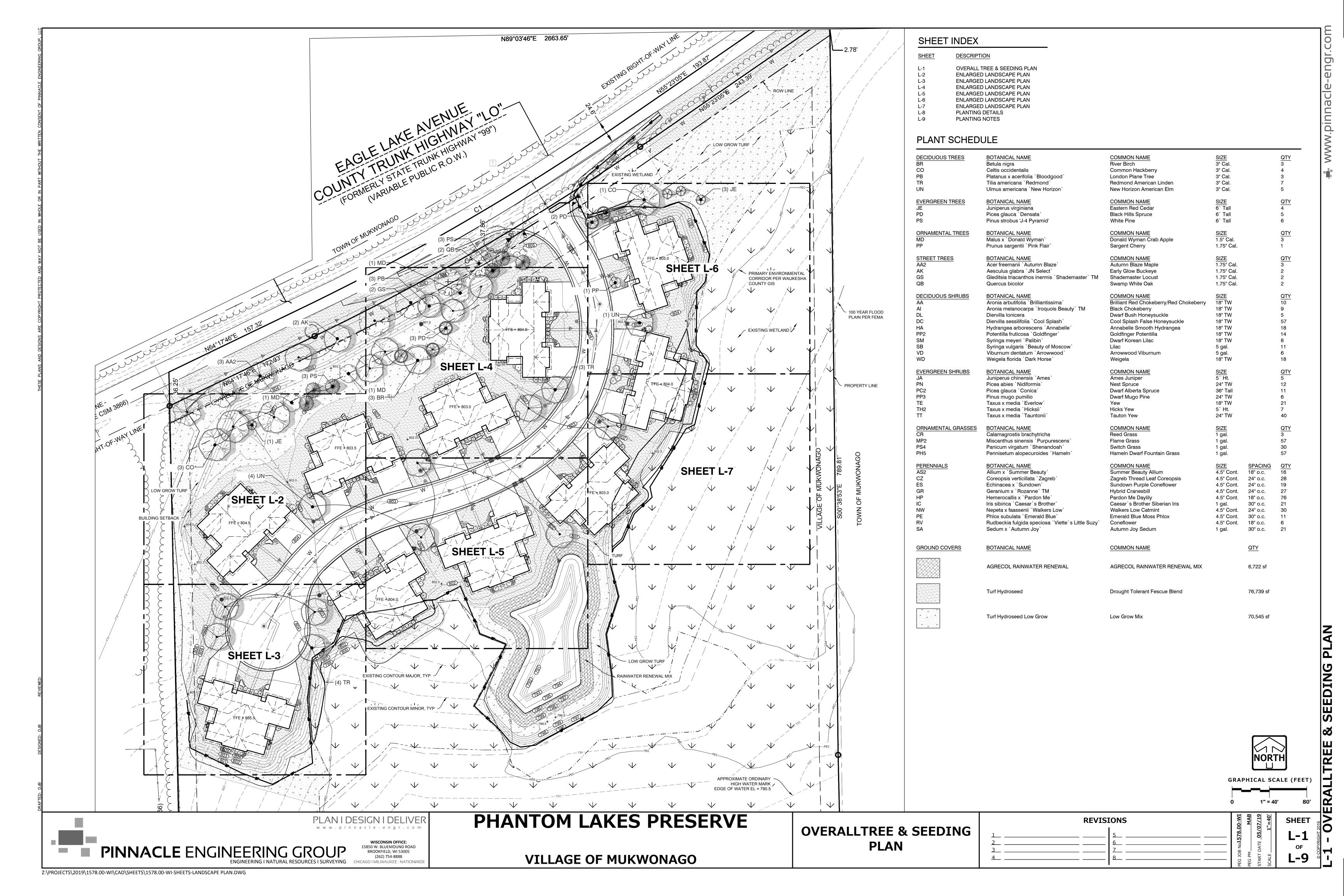
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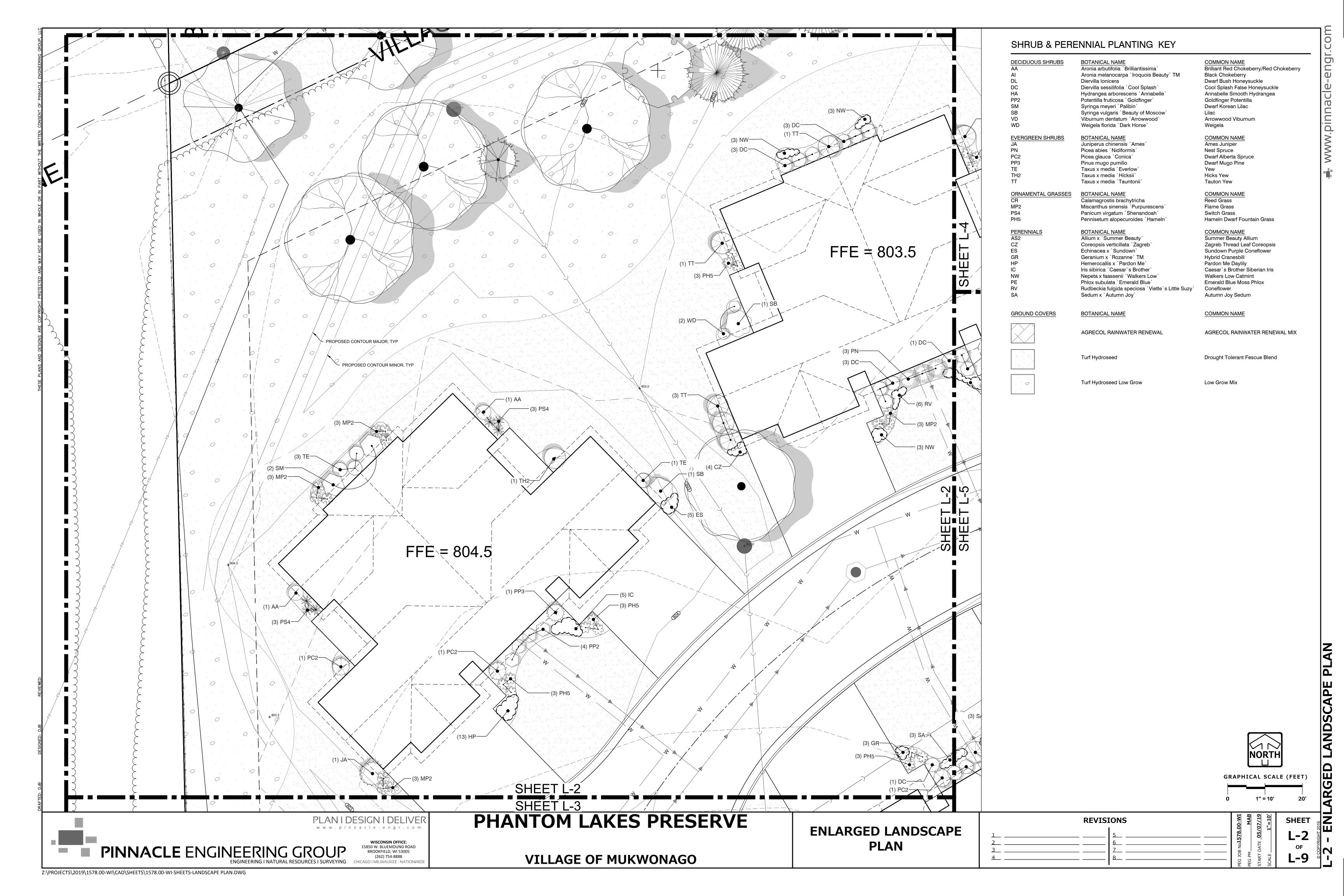
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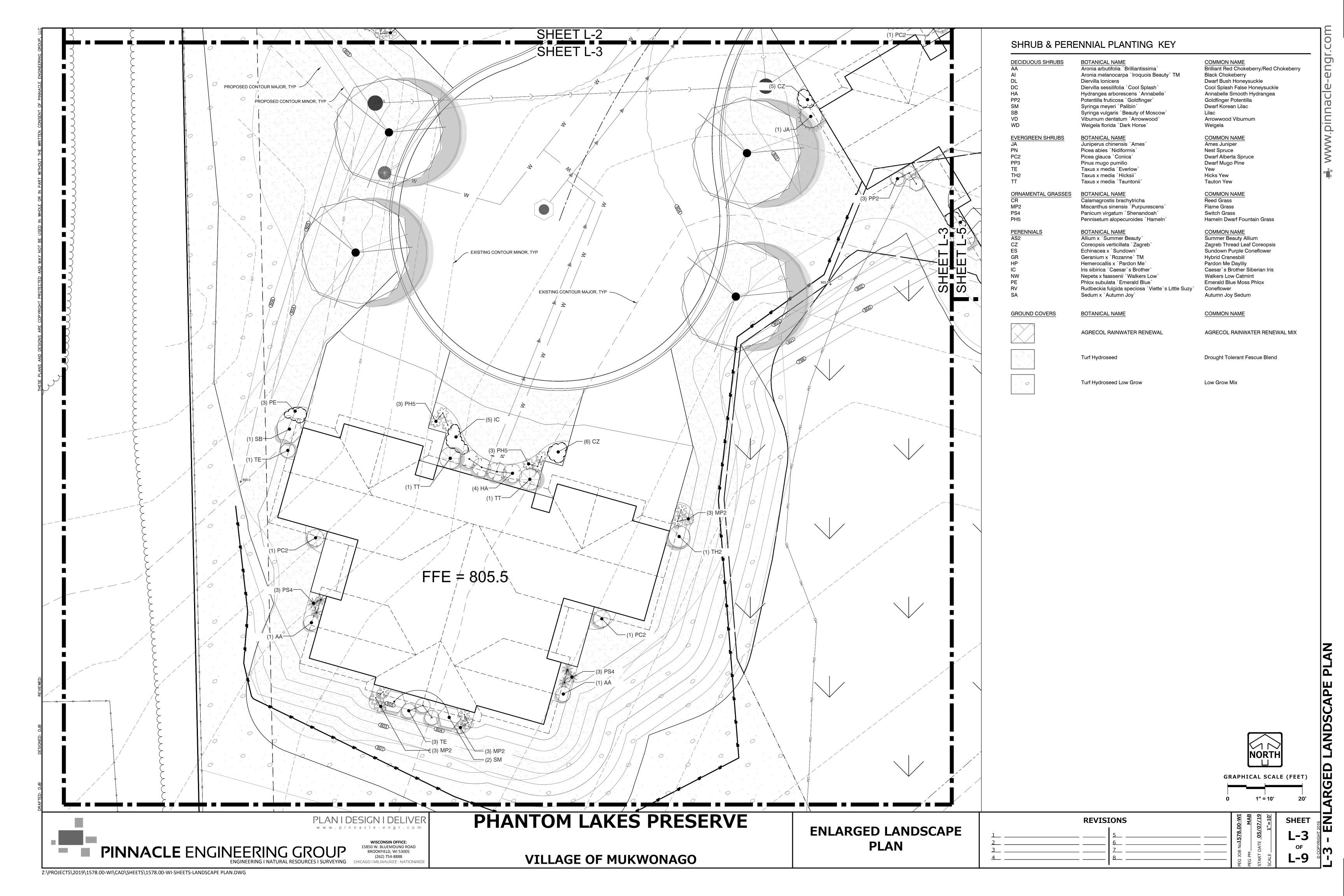
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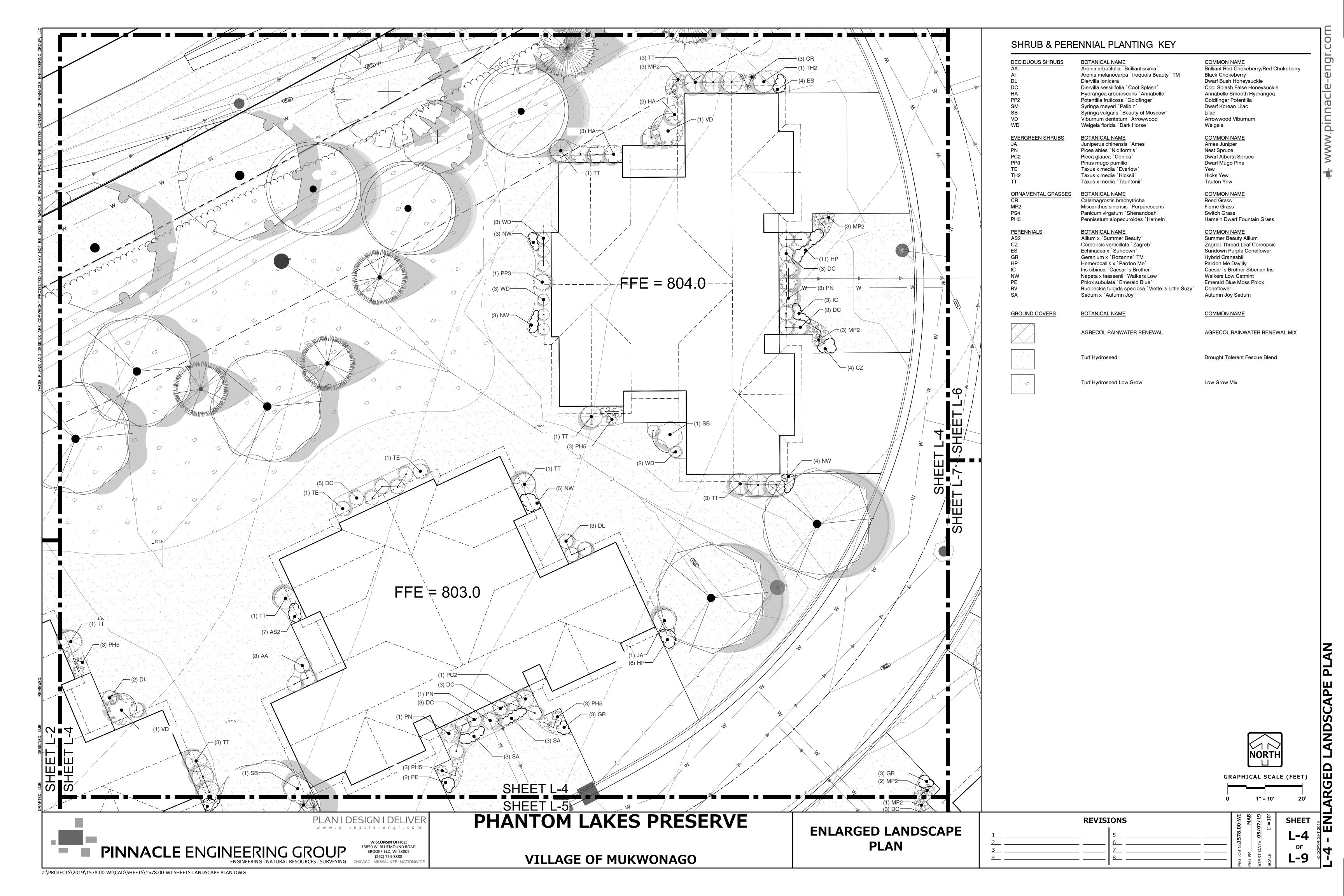
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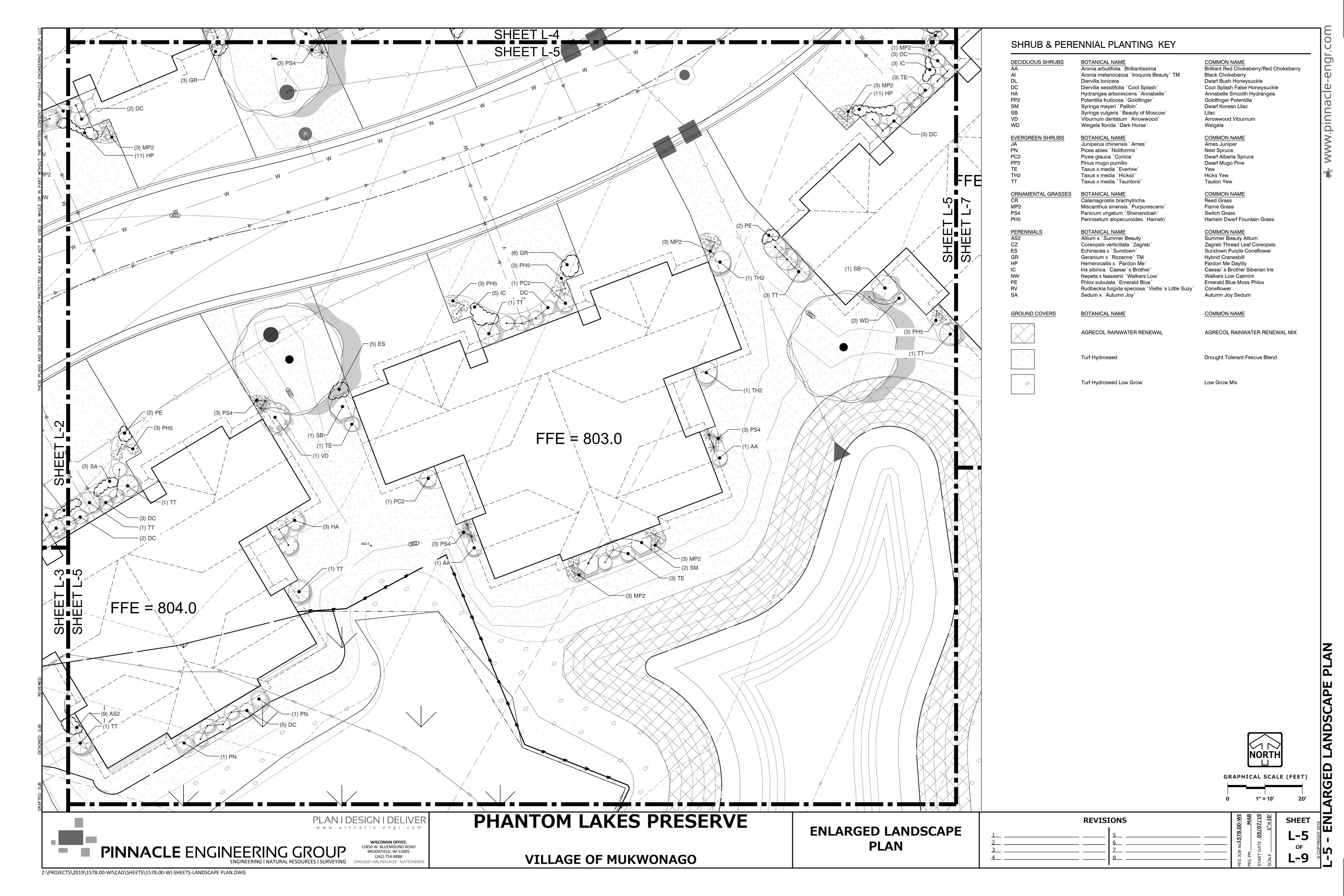
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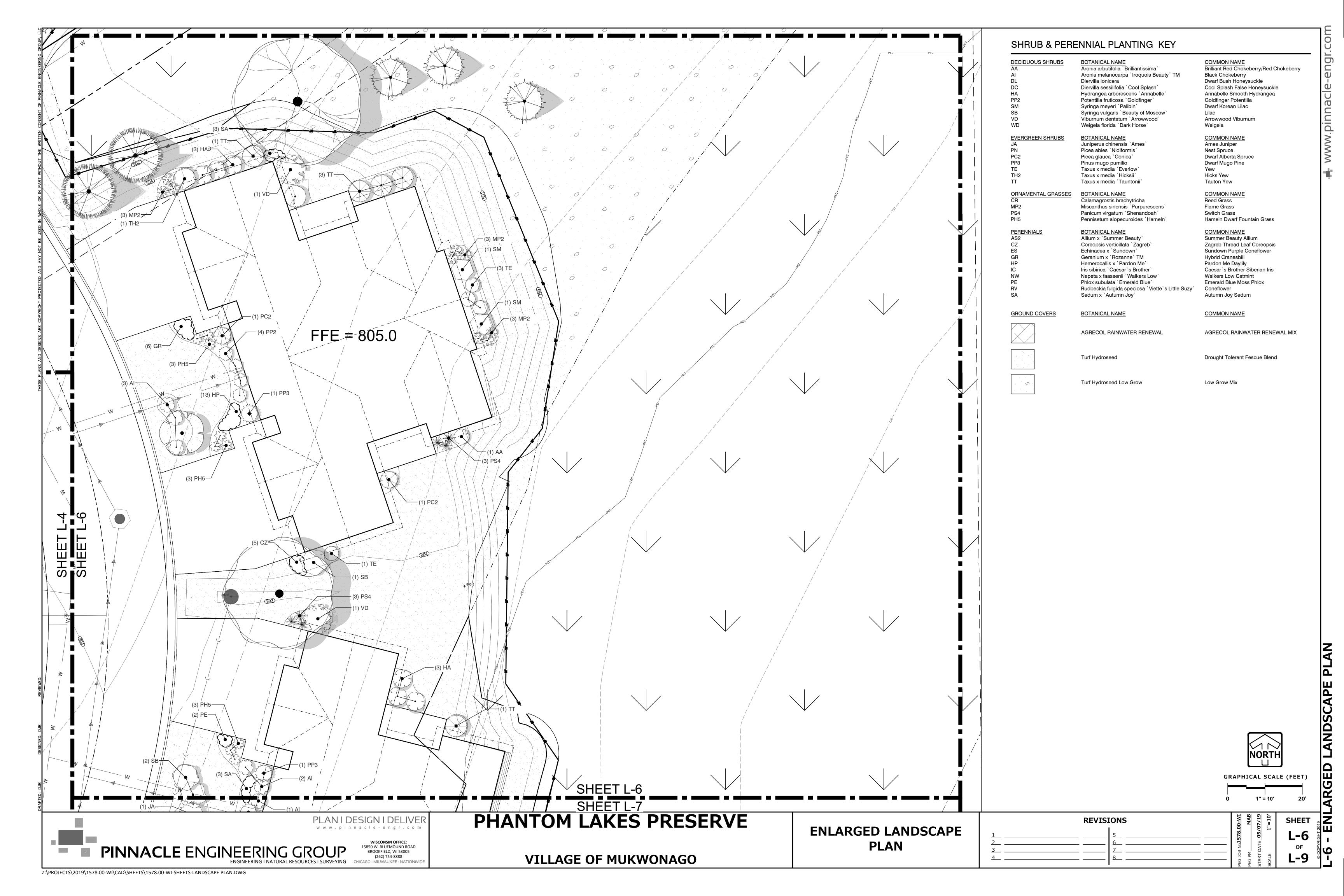


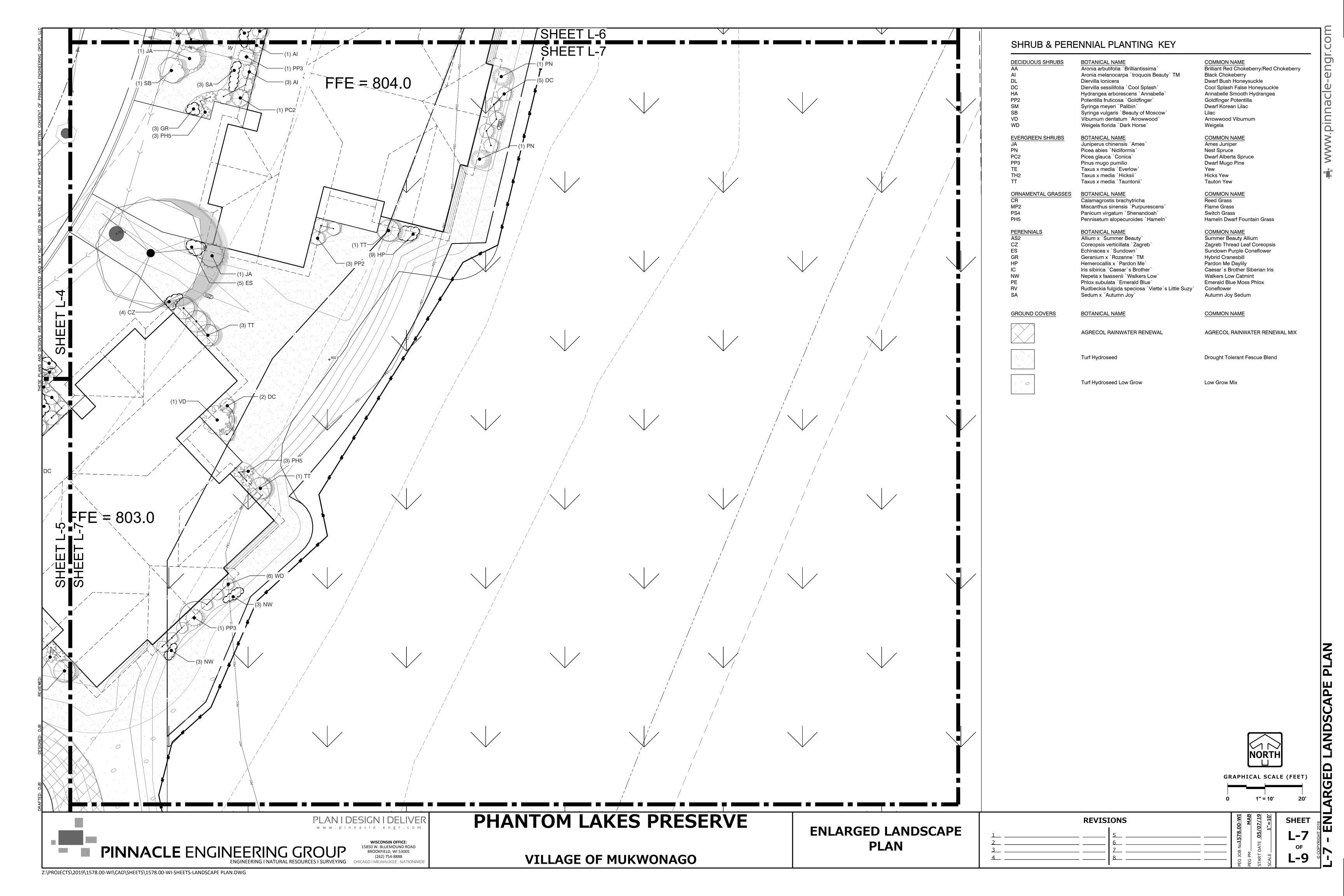


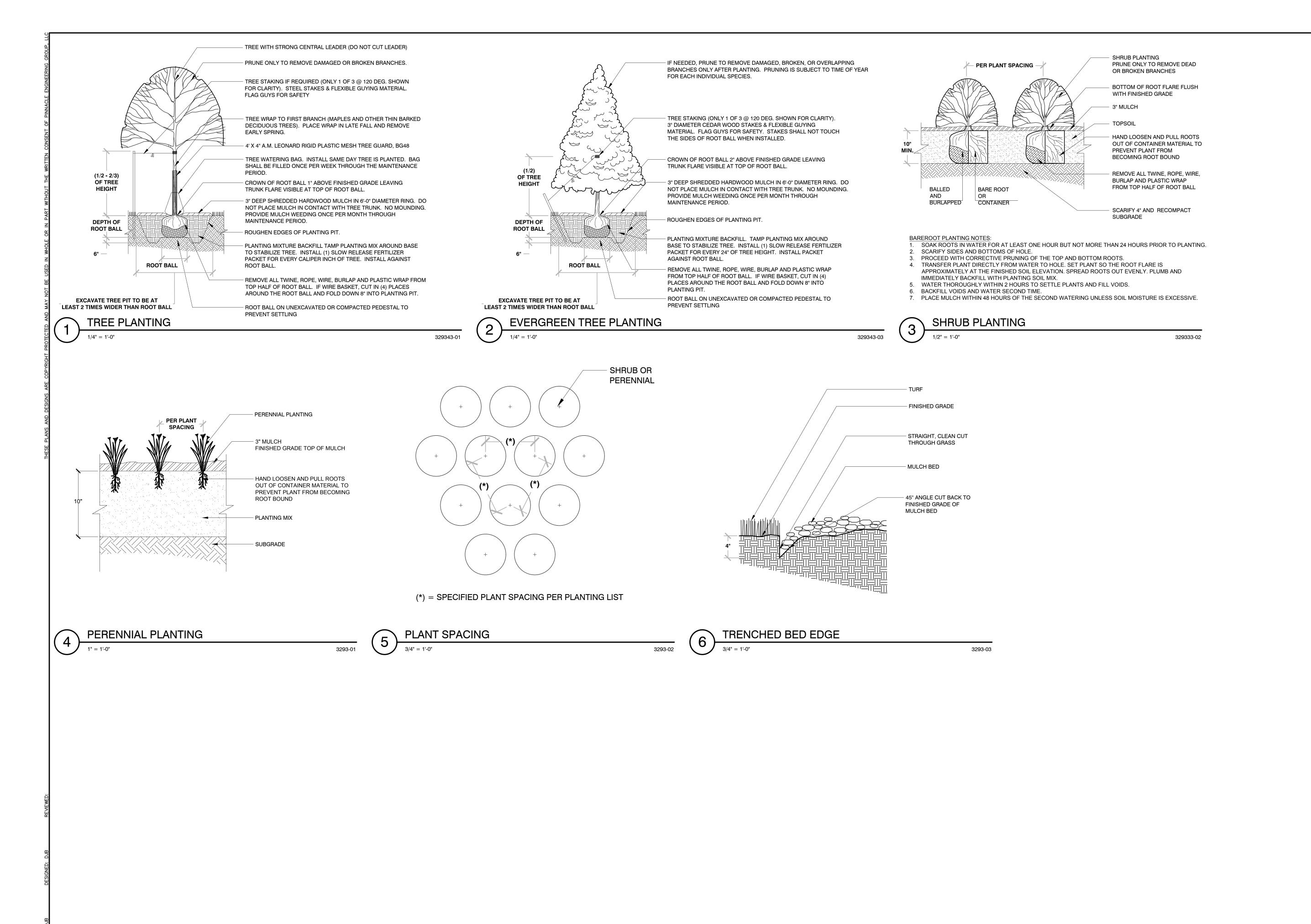












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PLANTING DETAILS

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GENERAL PLANTING NOTES

- . ` Ņ THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES. LANDSCAPE PLANS. REPORT ANY
- ယ THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE DISCREPANCIES TO THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- 4. ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ယ ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED. SI. LANDSCAPE ARCHITECT OR OWNERS TO NOT MEET THE REQUIRED
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES
- Ċ٦ TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. EDITION OF ANSI Z60.1. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST
- <u>6</u> ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARI CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI 260. DS AS THEY APPEAR IN THE MOST
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE. T BALL SHALL BE WRAPPED (WITH
- SPRING TREES MUST BE FRESHLY DUG IN THE SPRING OF 2019.

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- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY AUTUMN TREES MUST BE FRESHLY DUG IN THE AUTUMN OF 2019.
- 10
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- 12 ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- 3 WHILE PLANTING TREES AND SHRUBS, BACKFILL $\frac{2}{3}$ OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN. HE REMAINDER OF SOIL MIXTURE.
- 4 THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- 15 OAK TREES SHALL BE TREATED FOR TWO-LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECC OND GROWING SEASON
- <u>1</u>6. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF ARE HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS. AS SHALL RECEIVE A 3" DEEP SHREDDED
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SI EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND SPADE OR MECHANICAL EDGER. ID PLANTING AREAS.
- <u>∞</u> ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 3" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- 19. FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, ANI LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THE SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS). AND PROVIDE A MULCH COVERING THAT D MULCH SPECIFICATIONS TO THE HOSE AREAS REQUIRING STABILIZATION (
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEEDED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORI ANY BARE SPOTS LARGER THAN 6" X6" M LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- 22. 21. ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- 23. ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER
- 24 CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE
- 26. THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.

27.

- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- 28. THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE RIREQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMEN EPLACEMENT PER PLANT WILL BE NTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

30.

- . ` LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEOUS MATTER.
- Ņ THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGAN CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER) IIC SOIL AMENDMENT, 2.9 POUNDS PER
- ယ TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX
- 4. SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- Ċ1 PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWISHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED. TRANSITION LAYER, THEN PLACE _Y PLACED SOIL. PARKING LOT ISLANDS
- 7 <u>ල</u> DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.

တ ထ

RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING

ENGINEERING I NATURAL PLAN I DESIGN I DELIVER

PINNACLE

VILLAGE

OF

MUKWONAGO

PHANTOM AKES PRESERVE

PLANTING NOTES

START DATE <u>05/07/19</u> **6-1** C-6

SHEET L-9 - PLANTING NOTES

NATIVE PLANTINGS AND RAIN WATER RENEWAL PLANTINGS

Seeding shall be conducted in late fall (September 1- Soil Freeze) so that seeds may lie dormant during the winter, complete growing season to become established. allowing 1) to

A. Preparation of Soil Prior to Seeding

Incorporate soil additives consisting of two inches of compost mixed into two inches of capability of reaching to 12" below the surface. Compost shall meet WDNR specificati topsoil. the soil mix should be incorporated into the soil using a rotary device on S100 - Compost.

www.pinnacle-engr.com

All foreign materials larger than 1-inch shall be removed from the soil prior to seeding or planting.

Area should be free from unsightly variations, ridges, and depressions

Avoid driving over the specified area with machinery.

Annual rye shall be spread at a density of 20 pounds per acre during the planting or seeding of the native plant species to stabilize the soil and reduce the growth of unwanted vegetation. This annual grass grows rapidly without competing with the wildflowers and grasses that are planted in the target areas.

Winter wheat or perennial rye shall not be used as a cover crop. These grasses may out compete prairie seedlings, leading to a reduction in the success of the plantings

All seeding shall be covered with 1-inch of clean, non-invasive straw (no marsh hay, or reed canary grass) without seeds, within seven days. Wheat, rye, oats, or barley are acceptable forms of straw. Those areas of slopes steeper than 8:1 (eight feet horizontal to one foot vertical) shall be planted no later than October 1 and staked with an erosion control blanket to prevent erosion.

Mix all prairie seed with vermiculite according to Agrecol recommendations

Broadcast half the seed over the entire site or target area.

Broadcast the other half of seed perpendicular to the direction that the first half of the seed was

Cover seed with $\frac{1}{4}$ -inch to $\frac{1}{2}$ -inch of soil (use any excess soil from the site) with rake ᄋ drag.

Roll site to ensure firm seed-to-ground contact.

Keep seed constantly wet through germination period. Generally 3 weeks

All seeding shall be covered with 1-inch of clean, non-invasive straw (no marsh hay, or reed canary grass) without seeds, within seven days. Wheat, rye, oats, or barley are acceptable forms of straw. Those areas of slopes steeper than 8:1 (eight feet horizontal to one foot vertical) shall be planted no later than October 1 and staked with an erosion control blanket to prevent erosion.

Weed Suppression Measures:

Second Year - In May/June mow basins at 6-inch height to suppress weeds. Repeat mowing basins and spot-spray in early July. First Year - Perform spot spray with herbicide to suppress weeds. This should occur approximately every month of the Perform spot spr ay with herbicide to suppress weeds. growing season after infiltration basins have been rough graded Have qualified professional assess plantings

Third Year - In May/June mow basins at 6-inch height to suppress weeds. Perform spot spray

Fourth Year - In May perform a prescribed burn. In June have qualified professional assess plantings



440 River Crest Court, Mukwonago, Wisconsin 53149 - Tel. (262) 363-6420 - Fax (262) 363-6425 - planner@villageofmukwonago.com

Date: August 9, 2019

To: Fred Winchowky, Village President

Plan Commissioners

Cc: John Weidl, Village Administrator (via email); Judy Taubert, Village Clerk (via email); Bob

Harley, Supervisor of Inspections (via email); Mark Blum, Village Attorney (via email); Jerad Wegner, Village Engineer (via email); Kevin Schmidt, Police Chief (via email); Jeff Stein, Fire Chief (via email); Ron Bittner, Public Works Director (via email); Greg Petrauski, applicant

(via email)

From: Ben Kohout, AICP; Community Planner

Subject: Phantom Lakes Preserve / Rezoning to R-5 and Site Plan Review for 10 duplexes

Meeting: August 13, 2019 Plan Commission meeting

Property location South side of CTH LO (MUKV1979-991 and MUKV1979-992)

Current zoning A-1 (Agricultural) and accompanying environmental features (floodplain hazard areas)

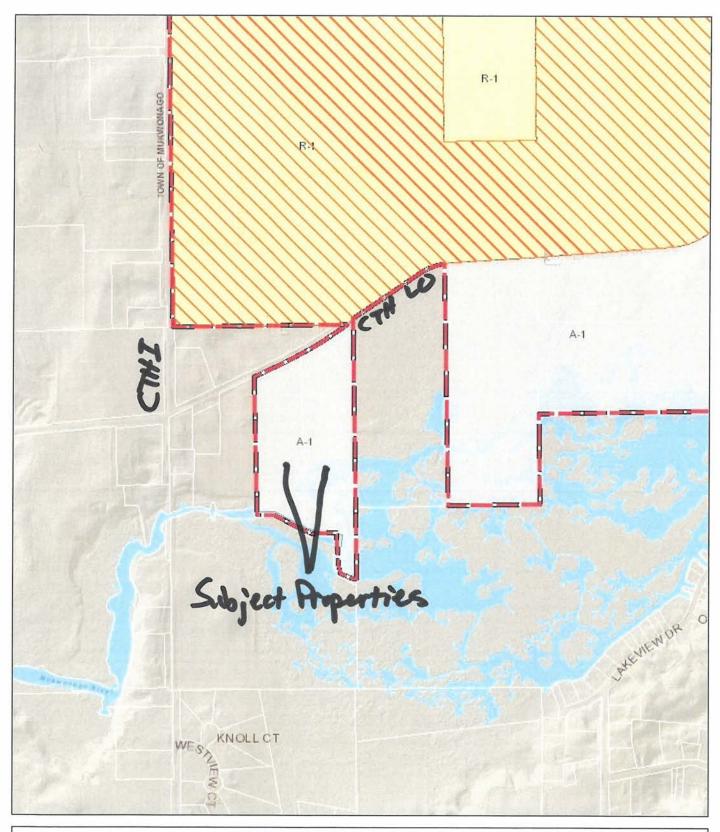
Proposed zoning R-5 (Low Density Multi – Family Residential District) and accompanying environmental features (floodplain hazard areas)

Previous review(s) At the May 14, 2019 Plan Commission meeting, the Comprehensive Land Use Plan Amendment proposal for this project from Medium Lot Single Family designation to Low Density Multi-Family Residential classification was recommended approval, after public hearing, to the Village Board. The Village Board recommended approval at the subsequent May 22, 2019 meeting. This followed a Concept Review at the Plan Commission meeting on April 9, 2019, where the Plan Commission considered the side by side condominium project for nine (9) such units.

Zoning standards The R-5 District permits for

Considerations by the Commission Is the proposed overall density with the accompanying request by Infinity Development for the 10 duplexes (20) units okay at this point in time? Staff finds the proposal is appropriate in that the designation meets with the R-5 density standards and public utilities (water/sewer) services are available and can be accomplished, with all costs borne by the developer.

Staff Recommendation Approval for the R-5 rezoning. The proposal meets with the Comprehensive Land use Plan, which calles for Medium Lot Single Family (25,000 s.f.) and the R-5 density requirements are met.



Village of Mukwonago GIS

DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives. SCALE: 1" = 667'



440 River Crest Court PO Box 206 Mukwonago, WI 53149 262-363-6420

Print Date:

VILLAGE OF MUKWONAGO

8/9/2019



440 River Crest Court, Mukwonago, Wisconsin 53149 - Tel. (262) 363-6420 - Fax (262) 363-6425 - planner@villageofmukwonago.com

Date: August 8, 2019

To: Fred Winchowky, Village

President Plan Commissioners

Cc: John Weidl, Village Administrator (via email); Judy Taubert, Village Clerk (via email); Bob

Harley, Supervisor of Inspections (via email); Mark Blum, Village Attorney (via email); Jerad Wegner, Village Engineer (via email); Kevin Schmidt, Police Chief (via email); Jeff Stein, Fire Chief (via email); Ron Bittner, Public Works Director (via email); Kevin Glenn (via

email)

From: Ben Kohout, AICP; Community Planner

Subject: Banker Wire / Wall Signs Review

Meeting: August 13, 2019 Plan Commission meeting

Property location 123 W. Boxhorn Dr.

Current zoning M-4 (Medium - Heavy Industrial)

General description Banker Wire building is complete. They have applied for wall signage.

Per Code Section 64-32 (5A), wall signs on properties greater than 3 acres in size are to be brought forward for the Plan Commission review and action.

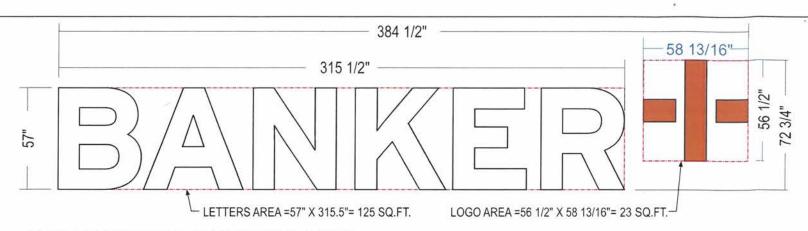
Dimensional standards The proposed three (3) Wall signs do not currently comply with all relevant dimensional standards, specifically the coverage. Section 64-32(5A) requires a maximum wall signage allowance for a single tenant property/building in the form of 0.75 feet of sign per linear foot of building frontage, up to 150 square feet per sign and up to 300 s.f. for all additional wall signage. The frontage is substantial and affords the 300 square feet total of signage. The proposal is for 150 square feet on the main side of the building (already installed) and includes a logo, and two additional signs on the rear for "shipping" and "receiving". As of the drafting of this staff summary, the signage for all of these comes in at 332 s.f. As of August 8, 2019, the applicant is deciding if they will shrink down either the "shipping", "receiving" signs or both to conform by a difference of 32 s.f. Staff has no issue with proposed placement or style of signage.

Recommendation The proposal currently does not meet the standards, but with revisions, would meet the 300 square foot total threshold and therefore staff would recommend Approval with the following condition:

1. The applicant presents a satisfactory dimensioned plan to the Plan Commission and staff for review and recommendation during the Plan Commission meeting, or request the item to be tabled to the next available Plan Commission meeting for further review.

Attachments

1. Application materials



SPECIFICATIONS

FABRICATE AND INSTALL (1SET) INTERNALLY ILLUMINATED, FLUSH MOUNTED CHANNEL LETTERS.

• FACES TO BE WHITE PLEXIGLASS

LOGO SHEETED WITH ORANGE TRANSLUCENT VINYL TO CLOSELY MATCH PMS 159C

- RETURNS TO BE PRE-COAT BLACK, .050X5" AND BACKS TO BE .050 ALUMINUM
- TRIMCAPS TO BE 1" BLACK
- EXTERIORS TO BE BLACK
- INTERIORS TO BE WHITE
- ILLUMINATED WITH WHITE LEDS
- POWERED WITH APPROPRIATE LOAD POWER SUPPLIES

FACE-LIT CHANNEL LETTERSET (REMOTE)



FRONT ELEVATION

MOUNTING OPTION

SCALE: N.T.S.

	VALL YPE	CMU, BRICK	PRE-CAST CONCRETE, CONCRETE	WOOD BLOCKING, PLYWOOD	WOOD, CONCRETE BLOCK, EIFS WALL SYSTEMS	EIFS WALL W/ FOAM INSULATION	GLASS MATTE SHEATHING, PLYWOOD
SE	CTION		\.\.\.\.\.\.\.\.\.\.\.\.\.\.\.\.\.\.\.				
15,635,63	CHOR YPE	Ø1/2" SLEEVE ANCHOR (Ø3/8" BOLT), 2" MIN. EMBEDMENT	ø3/8" EXPANSION ANCHOR, 2 1/2" MIN. EMBEDMENT	ø3/8" LAG BOLT	ø3/8" THREADED ROD	ø3/8" THREADED ROD W/ ALUMINUM OR PVC COMPRESSION SLEEVE	ø3/8" TOGGLE BOLT (WING OR PIVOT ROD)

SCALE: 3/16"=1'-0"

AREA	WEI	THE
AREA	148	SQ.FT.
WEIGHT	666	LBS.

Electrical Chart

AMPS:	4 AMPS
V.A.:	120 VOLTS WATTS: 480
CIRCUITS:	1-20 amp CIRCUIT

DESIGN LOADS: 115 MPH WIND LOAD RISK CATEGORY II, EXPOSURE C. 2015 INTERNATIONAL **BUILDING CODE, SECTION 16** WIND LOAD, ASCE 7-10

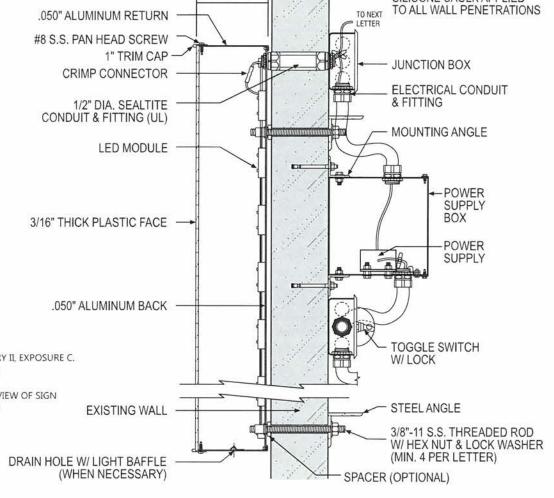
GENERAL REQUIREMENTS

- 1. ALL LETTER SETS REQUIRE A U.L. LABEL
- 2. LETTERS ARE DESIGNED TO MEET THE 2015 INTERNATIONAL BUILDING CODE ASCE 7-10

SECTION 16, 115 MPH WIND LOAD. RISK CATEGORY II, EXPOSURE C. 3. LETTERS TO BE INSTALLED ACCORDING TO NEC

AND/OR APPLICABLE LOCAL CODES

- 4. THE DISCONNECT MUST BE PLACED IN DIRECT VIEW OF SIGN
- 5. USE WHITE SILICONE TO CONCEAL LIGHT LEAKS



SECTION - FACE-LIT CHANNEL LETTERSET (REMOTE)

SCALE: 1 1/2"=1'-0"

SILICONE CAULK APPLIED

SCALE: N.T.S.



Drawing prepared by:

ELEVAT	TION	Drawing prepared for:
Location:	Proj #:	
123 Boxhorn Dr.	4492	BANKER
Mukwonago, WI	Loc #:	DAIMER .
File Path:	1111	
	Vire\Project 4492\Location	ns\4492_1111_Mukwonago_WI_R1

Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Drawings are the exclusive property of ICON, Any unauthorized use or duplication is not permitted
Original	306138	11/19/18	KG	BV		
Rev 1	306252	11/27/18	KG	ABP	See request for details	
Rev 2	000000	00/00/00	XXX	XXX		
Rev 3	000000	00/00/00	XXX	XXX		
Rev 4	000000	00/00/00	XXX	XXX		
Rev 5	000000	00/00/00	XXX	XXX		
Rev 6	000000	00/00/00	XXX	XXX		

Village of Mukwonago 440 River Crest Court, P.O. Box 206 Mukwonago, WI 53149 Phone: (262) 363-6420 Fax: (262) 363-6425 www.vll.ageofmukwo

VILLAGE OF MUKWONAGO

SIGN PERMIT REVIEW APPLICATION

www.viii-ageorniukwonago.com	Application	on Fee: Below	
Date Submitted: 12/3/18	Total Fees	Paid:	
FEES			
(Please check one) Basic Sign Review: \$100 Sign Special Exception: \$45	0		
CONTACTS			
Zoning and Planning Department Contact: Bruce Kaniewski Phone: (414) 339-4105 Fax: (262) 363-6425 Email: planner@villageofmukwo		VILLAGE OF MUKWONAGO	
GUIDELINES		440 RIVER CREST CT MUKWONAGO WI 53149 262-363-6420	
to the meeting of the Planning C of each month at 6:30 p.m. Materials listed on page 3 must b 64 and other pertinent sections planning practice. The Village will the Village shall not place any ite complete in accordance with all r Mail completed applications to: Deliver to: Email to:	consider a request, as stated herein, for a sign kwonago. The application packet must be filed to commission at which action is desired. The Plan e provided to the Village of Mukwonago in accord of Village ordinances and as necessary to perstrive to accommodate reasonable requests forms on the agenda for Plan Commission consider equirements specified on this and other attache Village Planner ATTN: Sign Permit Review PO Box 206 Mukwonago, WI 53149 Village Clerk's Office 440 River Crest Court planner@villageofmukwonago.com formation must be entered. Please Print.	with 07/17/2019 12:19pm Cor 123 W BOX HORN DK BANKER WIRE REVIEW ONLY dar ding Permits & Impact Fees Zoning Review Fees Plan Review Fees LEMBERG ELECTRIC CO day State Building Permits Erosion Control Fees Occupancy Permit Fees Record Mymt Assessor Fee Administration Fee Parkland Site Fees Rec'd Sewer Impact Fees Rec'd Library Impact Fees Rec'd Fire Impact Fees Rec'd Sewer RCA Fees Rec'd ated Garbage/Recycling Fee	\$0.00 \$100.00 \$1.00 \$0.00 \$0.00 \$0.00 \$0.00 \$0.00 \$0.00 \$0.00 \$0.00 \$0.00 \$0.00 \$0.00 \$0.00 \$0.00 \$0.00 \$0.00 \$0.00
APPLICANT (Full Legal Name	e)	Receipt Total	\$100.00
Name: David Company: Banker 1 Address: 123 Boxhon	Stout Wire a Paire city: Makeux	Check Payment (84429) Check Payment (84429) Check Payment (84429) Check Payment (84429)	\$100.00
Daytime Phone: ZGZ- 3102			t.

boutevuine. com

CERTIFICATION

Applicant hereby certifies that:

- 1. All of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.
- 2. Affirms that no Village of Mukwonago elected or appointed official or employee has a proprietary interest in the above referenced property for which this applications being filed.
- 3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project.
- 4. Applicant has read and understands all information in this packet.
- 5. Applicant has read and understands all pertinent regulation in Chapter 64 of the Municipal Code.

Applicant further understands the policies of the Village regarding signage and property development. Conditions of the resolution regarding all approvals are strictly followed.

By the execution of this application, applicant hereby authorizes the Village of Mukwonago or its agents to enter upon the property during the hours of 7:00 pm daily for the purpose of inspection. Applicant grants this authorization to enter even if this land has been posted against trespassing pursuant to Section 943.13 WI Stats.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

Signature - Property Owner

Signature - Applicant

Tinia Lewis Project Manager

Name & Title (PRINT)

Name & Title (PRINT)

11-28-18

Date

Date

Date Paid	Receipt#	Date(s) Notice Published	Date Notices Mailed
12/3/18	32726,1622	191	
Public Hearing Date	Plan Commission Date(s)	Village Board Date(s)	Resolution Number
nja	TBD	TBD	TBD*
Plan Commission Disposition	on		
* to be on 1	ater mity - Wall Six	u appivol - into.	Signs to be appivol

Agreement for Reimbursable Services Petitioner/Applicant/Property Owner

In accordance with Village Ordinance 70-15, the Village may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in its review of a proposal coming before the Plan Commission/Board of Building and Zoning Appeals. The Village reserves the right to apply the charges for these services as well as for staff time expended in the administration, investigation and processing of applications to the Applicant.

The Applicant is required to provide the Village with an executed copy of this agreement as a prerequisite to the processing of the development application. The submittal of a development proposal application or petition shall be construed as an agreement to pay for such professional review services applicable to the proposal. The Village may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until such fees are paid by the Applicant. The Property Owner acknowledges that review fees which are applied to an Applicant, but which are not paid by such Applicant, may be charged by the Village as an assessment against the subject property for current services provided the property.

Note: Consultant services (e.g. engineering, planning, surveying, legal, etc.) and Village administrative time may be charged in addition to the normal costs payable by the Applicant/Petitioner/Property Owner (e.g. application filing fees, permit fees, publication expenses, recording fees, impact fees, etc.)

Banker Wire Sign Permit	
(Project Name/Nature of Application)	
(Property Tax Key Numbers Involved in Project)	
T	
Lemberg	
(Print Name of Applicant/Petitioner)	
1 0 3	
Ja Leus	11-28-18
(Signature of Applicant/Petitioner)	11-28-18 (Date)
David W. Stoot	
(Print Name of Property Owner)	
1-00-1	0 2 3
(Signature of Property Owner)	(Date)
(Signature of Property Owner)	(Date)
100 511	
(Mailing Address)	
(Walling Address)	
Mokumago, WI 53	1.10
(City, ST Zip)	197
reconstruction and the second	

(Form 1, Rev 4/15)

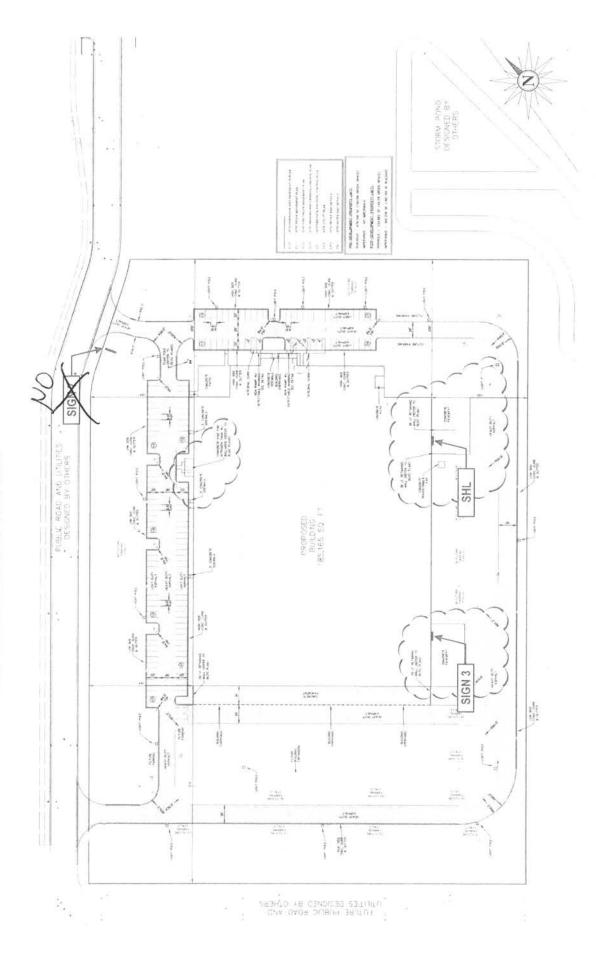
APPLICANT IS REPRESENTED BY (Full Legal Name)			
Name: Tina Lewis			
Company: Lemberg			
Address: 4085 N 12812 St.	city: Brookfield	State: WIF	Zip: 53005
Daytime Phone: 262-364-0052	Fax:		
E-Mail: Hewis @ lembergelectric.com		2	
SIGN CONTRACTOR			
Name: Tina Lewis			
Name: Tina Lewis Company: Lemberg V			
7.1447.6351	CITY	State:	Zip:
Daytime Phone: 242-364-0052	Fax:		
E-Mail:			
PROPERTY AND PROJECT INFORMATION			
Address/Location:			
123 Boxhorn Dr.			
A. The property is presently used as:			
- Bankir Wire new location			
B. Size of property (in acres):			
C. Project Timetable: Start Date: Com	ipletion Date:		
D. Type/Description of Sign(s):	148 SQ. FT.		

PROCEDURAL CHECKLIST FOR SIGN PERMIT REVIEW AND APPROVAL

This form is designed to be a guide for submitting a complete application for a conditional use. Application Submittal Packet Requirements for Village and Applicant Use (Check off List) Application: Completed application form including the procedural checklist and justification of the proposed special exception (if necessary). ☐ Application fee: See page 1. ☐ Agreement for Reimbursable Services (separate application) Required site drawings: ☐ Survey of the property Professional drawings of the sign showing exact dimensions of the perimeter of the sign. Colors of the sign. Other Documents: Special exceptions only: Overview of the adjoining lots (including list of parcel identification numbers and names and mailing addresses of the current owners for all properties within 300 feet of the subject property) ☐ Electronic Submittals are required. Email (or CD ROM) with all plans and submittal materials in Adobe PDF to planner@villageofmukwonago.com. Any additional information as determined by Village staff JUSTIFICATION OF THE PROPOSED SIGN SPECIAL EXCEPTION The Plan Commission of the Village of Mukwonago will base their decisions on the category standards listed below. It is in the best interest of the applicant to base their presentation on the same applicable set of standards when presenting their petition. Applicant: Please fill out ALL of the questions. Use additional sheets of paper if needed. A. State the category of special exception pursuant to Sec. 64-34 (b) of Chapter 64 of the Municipal Code (Sign Code). B. State the size and percentage of additional signage requested. C. State how the proposed special exception (the exception in general, independent of its location) is in harmony with the purposes, goals, objectives, policies and standards of the Village of Mukwonago Comprehensive Plan, the Zoning Ordinance, and Chapter 64 of the Municipal Code (Sign Code).

	State the unusual factors that preclude construction of the sign(s) in accordance with Chapter 64 of the Municipal Co (Sign Code).
	State the hardship that would occur if completed to conform with Chapter 64 of the Municipal Code (Sign Code).
	State how the requested special exception would not be harmful to the general public.
	State how the requested special exception supports the public safety, health and welfare of the public.
1.0	State other reasons for the request pursuant to justification needed for the category of special exception as listed in Sec. 64-34 (b) of Chapter 64 of the Municipal Code (Sign Code).
3	

NOTE: ALL SITE SIGNS TO BE AT LEAST 5' OFF ALL PROPERTY LINES AND ROW LINES



Rev 6 Rev 7 Rev 9 Rev 10 Rev 11 XXXXABB5 XXXXXAB5 XXXXXAB5 04/08/19 05/13/19 07/29/19 00/00/00 00/00/00 311483 312750 315743 000000 000000 Revision #: Original Rev 2 Rev 3 Rev 4 Rev 4 BANKER-I-
 Proj #:
 Loc #:
 Order #::
 4492

 4492
 1112
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 File Path: K:\Active\ACCOUNTS\B\Banker Wire\Project 4492\Locations\4492_1112_Mukwonago_WI_R2
 Drawing prepared for: 123 Boxhorn Dr. Mukwonago, WI 53149 Location Drawing prepared by:

Drawings are the exclusive property of ICON.. Any unauthorized use or duplication is not permitted. Revision#: Rev 12 Rev 14 Rev 15 Rev 16 Rev 16 XXXXXX

Pg

3 1 Flat aluminum wall Sign 40 NOTES: .080" Flat aluminum face, paint to match SW 7036 Accessible Beige w/ White reflective vinyl copy Fastened directly to building with screws. Center above overhead door.	# uñ≥	Oly.	Description	Sq. Ft.
OTES: 180° Hat aluminum face, paint to match SW 7036 Accessible Beige 1 White reflective vinyl copy astened directly to building with screws. enter above overhead door.	3	-	Flat aluminum wall Sign	40
	OTES: 180" Fla // White astened enter at	t aluminur reflective directly to	m face, paint to match SW 7036 Accessible Be vinyl copy to building with screws.	961



SCALE: 3/8"=1"-0"

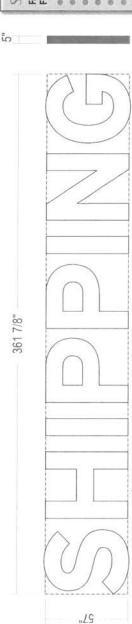
Location: 123 Boxhorn Dr. Mukwonago, WI 5314		149	. W . C
	Location:	oxhorn [onago, N	Droi #

Proj#:	Loc#:	Order #
4492	1112	1134347

Drawing prepared for:

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1	
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Revision #:		Date:		Revision #:		Date:	Artist:	Revision #:		Date:	Artist
Original	311483	04/08/19	S	Rev 6	000000	00/00/00	XXX	Rev 12	000000	00/00/00	XXX
Rev 1		05/13/19		Rev 7	-	00/00/00	XX	Rev 13	000000	00/00/00	XX
Rev 2	-	07/29/19		Rev 8	-	00/00/00	X	Rev 14	000000	00/00/00	X
Rev 3		00/00/00		Rev 9	-	00/00/00	XX	Rev 15	000000	00/00/00	XX
Rev 4	_	00/00/00		Rev 10	-	00/00/00	XXX	Rev 16	000000	00/00/00	X
Rev 5		00/00/00		Rev 11	-	00/00/00	××	Rev 17	000000	00/00/00	×



SPECIFICATIONS

FABRICATE AND INSTALL (1SET) INTERNALLY ILLUMINATED, FLUSH MOUNTED CHANNEL LETTERS.

- **FACES** TO BE WHITE PLEXIGLASS
- RETURNS TO BE PRE-COAT BLACK, .050X5" AND BACKS TO BE .050 ALUMINUM
 - TRIMCAPS TO BE 1" BLACK
 - **EXTERIORS** TO BE BLACK INTERIORS TO BE WHITE
- **ILLUMINATED** WITH WHITE LEDS
- POWERED WITH APPROPRIATE LOAD POWER SUPPLIES

FACE-LIT WHITE CHANNEL LETTERSET (REMOTE)

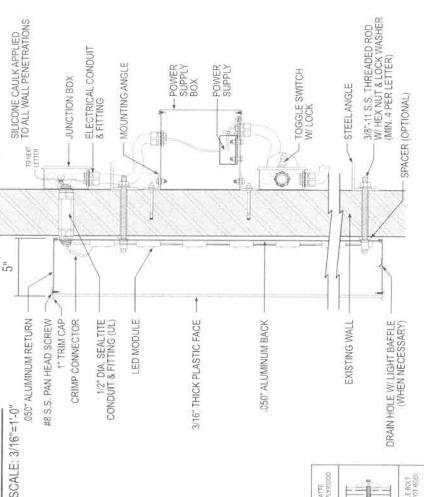
-LETTERS AREA =57" X 361.875"= 143.24 SQ.FT.



RISK CATEGORY II, EXPOSURE C. 2015 INTERNATIONAL BUILDING CODE, SECTION 16 WIND LOAD, ASCE 7-10 115 MPH WIND LOAD DESIGN LOADS:

GENERAL REQUIREMENTS

- 1 ALL LETTER SETS REQUIRE A U.L. LABEL
- 2. LETTERS ARE DESIGNED TO MEET THE 2015
- INTERNATIONAL BUILDING CODE ASCE 7-10 SECTION 16, 115 MPH WIND LOAD, RISK CATEGORY II, EXPOSURE C.
 - 3. LETTERS TO BE INSTALLED ACCORDING TO NEC
- AND/OR APPLICABLE LOCAL CODES
- 4. THE DISCONNECT MUST BE PLACED IN DIRECT VIEW OF SIGN 5. USE WHITE SILICONE TO CONCEAL LIGHT LEAKS
- GLASS MATTE SHEATHING, PLYWOOD MING OR PIVOT ROD) 63.8" THREADED ROD W/ALUMINUM OR PVC COMPRESSION SLEEVE EJES WALL W/ FOAM INSULATION WOOD, CONCRETE BLOCK, EIFS WALL SYSTEMS 83/8" THREADED ROD WOOD BLOCKING. PLYWOOD 03/8" LAG BOLT PRE-CAST CONCRETE, CONCRETE 63/8" EXPANSION ANCHOR, 2 1/2" JAIN, EMBEDMENT (p3/8" BOLT), 2" MIN. EMBEDMENT CMU. BRICK SECTION WALL



SECTION - FACE-LIT CHANNEL LETTERSET (REMOTE)

SCALE: 1 1/2"=1'-0"

× ****

Revision #:

Revision #:

Revision #: Original

	120	Loc#: Order#:	1112 1134347
Location:	123 Boxhorn Dr. Mukwonago, WI 53149		4492

MOUNTING OPTION

	Orde	1134347
53149	Loc#:	1112

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Original	Rev 1	Rev 2	Rev 3	Rev 4	Rev 5	Drawings

Pg. 4

Sign Permit Review Application

Date Submitted



Fees

Please Check One

Basic Sign Review: \$100

Sign Special Exception: \$450

-\$450.00 N/C = Bunk. PD earlier (\$100). RK.

Contacts

Zoning and Planning Department

Contact: Village Planner Phone: (262) 363-6420 Fax: (262) 363-6425

Email: planner@villageofmukwonago.com

Guidelines

The undersigned petition is to consider a request, as stated herein, for a sign permit and will be reviewed by the Plan Commission of the Village of Mukwonago. The application packet must be filed with the Village Clerk at least 30 days prior to the meeting of the Planning Commission at which action is desired. The Plan Commission meets on the second Tuesday of each month at 6:30 p.m.

Materials listed on page 3 must be provided to the Village of Mukwonago in accordance with Village Municipal Code Chapter 64 and other pertinent sections of Village ordinances and as necessary to permit review that is consistent with proper planning practice. The Village will strive to accommodate reasonable requests for informal preliminary staff review, however the Village shall not place any items on the agenda for Plan Commission consideration until such time as the application is complete in accordance with all requirements specified on this and other attached application forms.

Complete, accurate and specific information must be entered.

Applicant Information

(Full Legal Name)

Name

Kevin Glenn

Name

Company

Icon Identity Resources
Name
Address
1701 Golf Read 1-900
Street Address
Address Line 2
Rolling Meadows
СНУ
Winois
State
60008
ZIP Code
Daytime Phone
(847) 631-3213
Fax
Applicant Email *
kglenn@iconid.com
Applicant is Represented by (Full Legal Name)
Nome
Travis Wagner
Name
Company
Banker Wire
Name
Address
123 Boxhorn Dr.
Street Address
Address Line 2

Mukwonaga

City State 53149 ZIP Code Daytime Phone Fax Representative Email * twagner@bankerwire.com Sign Contractor Name Justin Silva Name Company Innovative Signs Inc. Name Address 21795 Doral Rd Ste B Street Address Address Line 2 Waukesha City State 53186-2201 ZIP Code Daytime Phone

Fax

Email

JSilva@innovative-signs.com

Property & Project Information

Location Address		
123 Boxharn Dr.		
Street Address		
×		
Address Line 2		
Mukwonago		
City		
Wisconsin		,
State		
53149		
ZIP Code		
The property is presently used as:		
Manufacturing, shipping , and warehouse for Banker Wire.		
Size of property (in acres):		
Over 3 acres		
Project Start Date		
08/26/2019		(iii)
Project Completion Date		
10/31/2019		(111
Type/Description of Sign(s):		
Non-Illuminated wall mounted aluminum sign with copy: RECEIVING. Illuminated wall mounted Channel Letter Set, Copy to say, SHIPPING		

Procedural Checklist for Sign Permit Review and Approval

This section is designed to be a guide for submitting a complete application for a conditional use.

Application Submittal Packet Requirements for Village and Applicant Use: (Check off List)

Application:

- Completed application form including the procedural checklist and justification of the proposed special exception (if necessary).
- Application fee: See above.
- Agreement for Reimbursable Services (separate application)

Required site drawings:

- Survey of the property
- Professional drawings of the sign showing exact dimensions of the perimeter of the sign.
- Colors of the sign.

Other Documents:

- Special exceptions only: Overview of the adjoining lots (including list of parcel identification numbers and names and mailing addresses of the current owners for all properties within 300 feet of the subject property)
- Electronic Submittals are required. Email (or CD ROM) with all plans and submittal materials in Adobe PDF to planner@villageofmukwonago.com.
- Any additional information as determined by Village staff

Justification of the Proposed Sign Special Exception

The Plan Commission of the Village of Mukwonago will base their decisions on the category standards listed below. It is in the best interest of the applicant to base their presentation on the same applicable set of standards when presenting their petition. Applicant: Please fill out ALL of the questions.

State the category of special exception pursuant to Sec. 64-34 (b) of Chapter 64 of the Municipal Code (Sign Code).

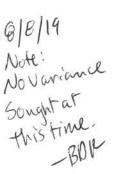
The purpose of the proposed signs are to appropriately brand Bonker Wire and to Aid in traffic control and traffic safety.

State the size and percentage of additional signage requested.

Sign #3 - 40SF total SHIPPING Letters 143.25 SF total

State how the proposed special exception (the exception in general, independent of its location) is in harmony with the purposes, goals, objectives, policies and standards of the Village of Mukwonago Comprehensive Plan, the Zoning Ordinance, and Chapter 64 of the Municipal Code (Sign Code).

All proposed signs are for guiding semi-frucks to the correct locations on the premises. These signs will help employees, visitors, and truck drivers to stay away from each other and increase safety. These signs will also help semi-trucks enter and exit the property more efficiently.



State the unusual factors that preclude construction of the sign(s) in accordance with Chapter 64 of the Municipal Code (Sign Code).

The proposed signs need to be large so semi-trucks can see them at a far distance and properly manuseer their trucks to the Shipping & Receiving docks.

State the hardship that would occur if completed to conform with Chapter 64 of the Municipal Code (Sign Code).

Using smaller signs here will not allow trucks to manuever efficiently and will hart overall business at Banker Wire. Trucks would constantly be confused as to which truck bay they need to go to. This will result in additional truck manuevers and create a log jam in the back of the building.

State how the requested special exception would not be harmful to the general public.

The back of this building is not visible to the general public and the size of these signs will not bother any of the neighbors. The illuminated SHIPPING letters are not overly bright and will not flash. The Receiving sign is not illuminated and will not distract anyone in the general public.

State how the requested special exception supports the public safety, health and welfare of the public.

The proposed signs will be installed sofely on the walls and pose no safety hazards to anyone around them. They are intended to brand the building, but their principal use to allows trucks and Banker Wire to conduct business.

State other reasons for the request pursuant to justification needed for the category of special exception as listed in Sec. 64-34 (b) of Chapter 64 of the Municipal Code (Sign Code).

No other.

Certification

Applicant hereby certifies that:

- All of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.
- 2. Affirms that no Village of Mukwonago elected or appointed official or employee has a proprietary interest in the above referenced property for which this applications being filed.
- None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project.
- 4. Applicant has read and understands all information in this packet.
- 5. Applicant has read and understands all perfinent regulation in Chapter 64 of the Municipal Code.

Applicant further understands the policies of the Village regarding signage and property development. Conditions of the resolution regarding all approvals are strictly followed.

By the execution of this application, applicant hereby authorizes the Village of Mukwonago or its agents to enter upon the property during the hours of 7:00 am to 7:00 pm daily for the purpose of inspection. Applicant grants this authorization to enter even if this land has been posted against trespassing pursuant to Section 943.13 WI

Stats.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

Property Owner Signature



Property Owner Name

Dave

First

Stout

Last

CEC

Title

Applicant Signature

Applicant Name

Kevin

First

Glenn

Last

Project Manager

Title

Submit

Contact Information

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440 River Crest Court, Mukwonago, Wisconsin 53149 - Tel. (262) 363-6420 - Fax (262) 363-6425 - planner@villageofmukwonago.com

Date: August 7, 2019

To: Fred Winchowky, VillagePresident; Plan Commissioners

Cc: John Weidl, Village Administrator (via email); Diana Dykstra, Village Clerk (via email); Bob

Harley, Supervisor of Inspections (via email); Mark Blum, Village Attorney (via email); Jerad Wegner, Village Engineer (via email); Kevin Schmidt, Police Chief (via email); Jeff Stien, Fire Chief (via email); Ron Bittner, Public Works Director (via email); Terri Helminiak,

applicant (via email)

From: Ben Kohout, AICP; Village Planner

Subject: Two-lot certified survey map (CSM) for Helminiak Property

Meeting: August 13, 2019 Plan Commission meeting

Property location West side of Terminus of Minors Drive, 16.73 AC vacant property (Parcel No. MUKV1978999002)

Property owner/applicant Robert Helminiak/Terri Helminiak

Description Terri Helminiak is working with her surveyor, Michael Greeson of V2G Surveying, LLC. to create a 5.00-acre buildable lot out of an existing 16.73-acre parcel of land at terminus of Minors Drive (West end of roadway).

A survey has come forward, dated August 6, 2019, which shows the one parcel desired to be carved out to provide for a new home. To accomplish this, they have had to address State and Local codes.

To address State Codes, there is a wetland area on the north end of the proposed Lot 1, which renders this area unbuildable. In speaking with the applicant and surveyor, they have secured permission from the Wisconsin Department of Natural Resources for a driveway access permission to their proposed building site. Their proposed building site is to be in the SE corner of the proposed Lot 1. Staff will condition approval with receipt of said letter.

To address local ordinances, there is a requirement of 100 feet of frontage for each lot to be considered buildable, unless it is a lot of record. To achieve this, they are proposing to create an Oultot 1 in the NE corner of the proposed Lot 1. This outlot will have the necessary frontage of 100 feet, and therefore, may be considered for approval. In reviewing the proposed Outlot 1 configuation with other Village Staff, it was concluded this would be permissible. There is an existing example of this previously approved on the west side of the 16.73 AC parcel, from Medina Drive. In this case, two homes were permitted for construction at the terminus of Medina Drive, similar to what is being requested in this instance. Staff finds this proposal acceptable and in meeting with applicable ordinances.

Zoning The subject property is currently zoned R-1 (Single Family Medium Lot Residential District). The minimum lot size of 15,000 square feet. (approx. 0.3 Acre) is exceeded with this request (at 5.0 acres)

Review by Village Engineer The Village Engineer has reviewed the proposed certified survey map and has some minor comments which can be addressed during the preparation of the final certified survey map (attached). The comments were addressing the July 15, 2019 version (not attached) and certain changes have been addressed with the final version submitted August 6, 2019 (attached).

Potential motion recommending approval: Recommend approval to the Village Board subject to the outstanding staff comments and conditions of as set forth in the attached staff review letters.

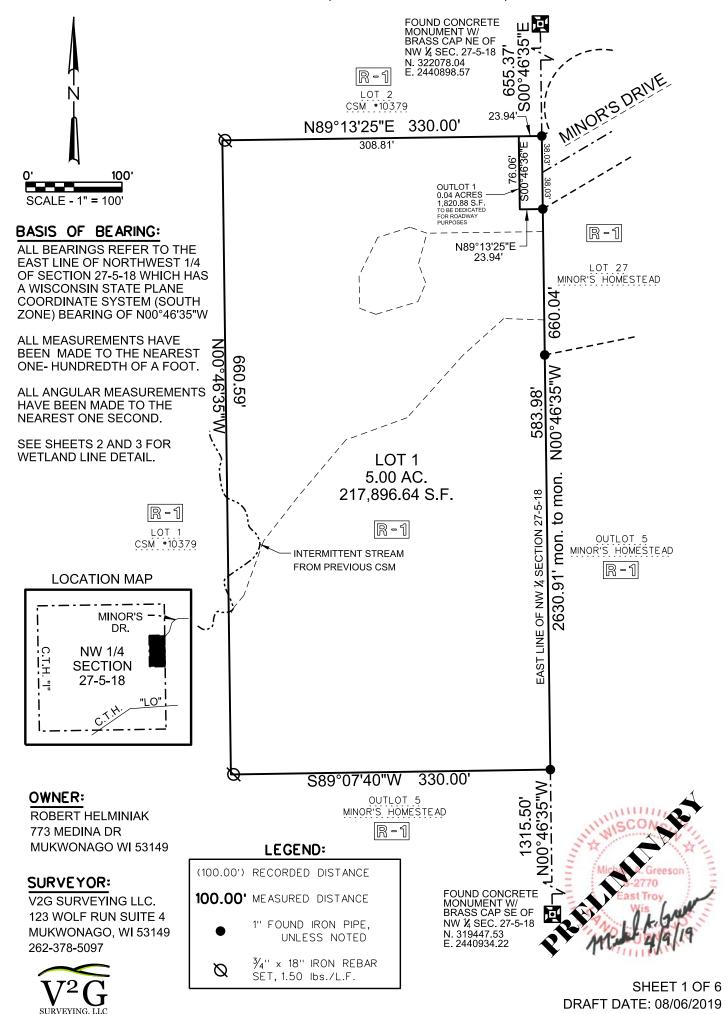
Attachments:

- 1. Application materials with certified survey map dated August 6, 2019
- 2. Staff Comments Letter from Village Planner
- 3. Staff Comments Letter from Village Engineer



CERTIFIED SURVEY MAP NO.

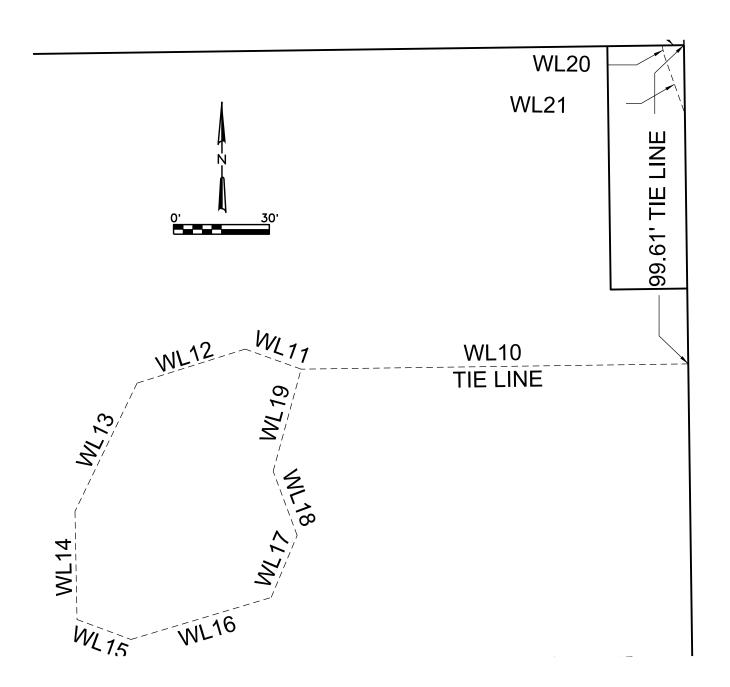
BEING A RE-DIVISION OF LOT 2, CERTIFIED SURVEY MAP No. 10379, LOCATED IN PART OF THE EAST $\frac{1}{2}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.



V2G JOB NO.: 2018-139

CERTIFIED SURVEY MAP NO. ____

BEING A RE-DIVISION OF LOT 2, CERTIFIED SURVEY MAP No. 10379, LOCATED IN PART OF THE EAST $\frac{1}{2}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.



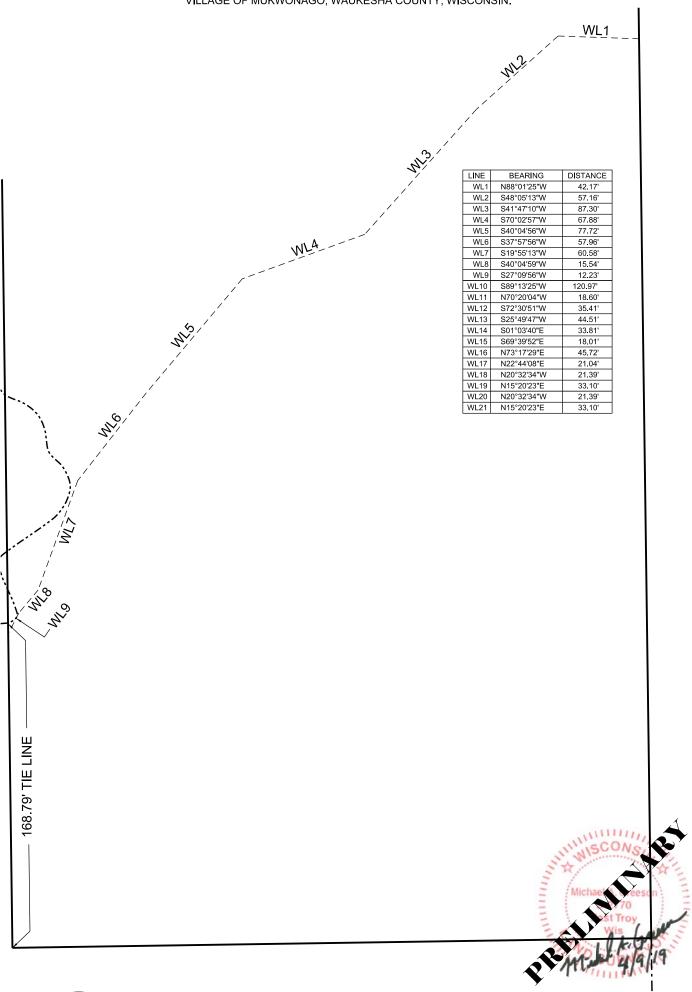


Mick Areeson 770 Asst Troy Wis Aug 19

SHEET 2 OF 6 DRAFT DATE: 08/06/2019 V2G JOB NO.: 2018-139

CERTIFIED SURVEY MAP NO.

BEING A RE-DIVISION OF LOT 2, CERTIFIED SURVEY MAP No. 10379, LOCATED IN PART OF THE EAST $\frac{1}{2}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.

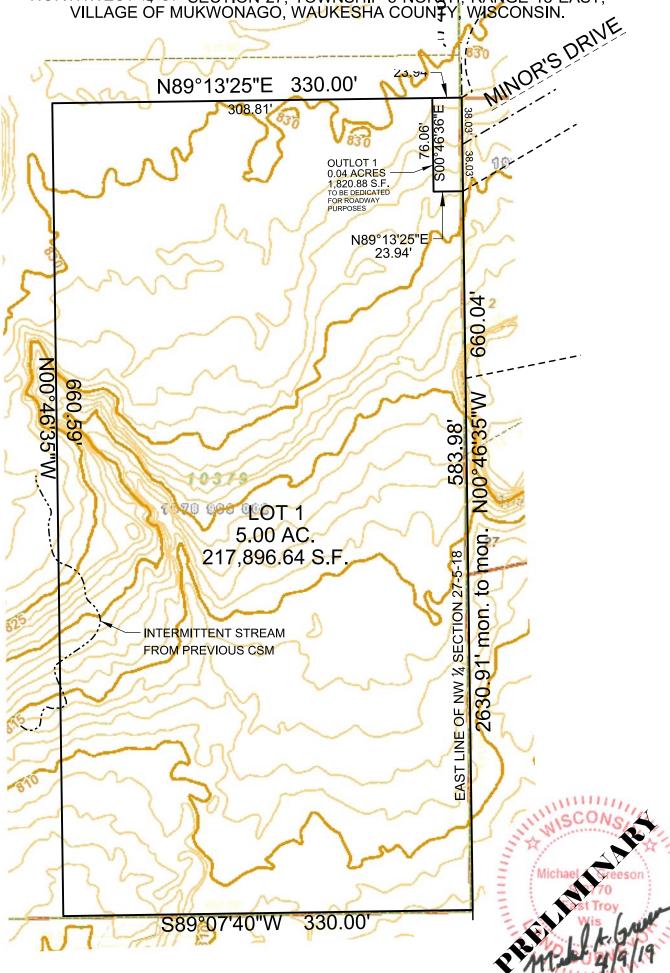




SHEET 3 OF 6 DRAFT DATE: 08/06/2019 V2G JOB NO.: 2018-139

CERTIFIED SURVEY MAP NO.

BEING A RE-DIVISION OF LOT 2, CERTIFIED SURVEY MAP No. 10379, LOCATED IN PART OF THE EAST ½ OF THE NORTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.





SHEET 4 OF 6 DRAFT DATE: 08/06/2019 V2G JOB NO.: 2018-139

CERTIFIED SURVEY MAP NO.

BEING A RE-DIVISION OF LOT 2, CERTIFIED SURVEY MAP No. 10379, LOCATED IN PART OF THE EAST $\frac{1}{2}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.

SURVEYORS CERTIFICATE:

I, MICHAEL A. GREESON, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED THE FOLLOWING LAND BOUNDED AND DESCRIBED AS FOLLOWS:

BEING A RE -DIVISION OF LOT 1, CERTIFIED SURVEY MAP NUMBER 10379, LOCATED IN PART OF THE EAST ½ OF THE NORTHEAST ¼ OF THE NORTHWEST 1/4, SECTION 27, TOWNSHIP 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN. BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHWEST $\frac{1}{4}$ OF SAID SECTION 27; THENCE S00°46'35"E ALONG THE EAST LINE OF SAID NORTHWEST $\frac{1}{4}$, 655.37' TO THE POINT OF BEGINNING; THENCE CONTINUING S00°46'35"E ALONG SAID LINE, 660.04' TO THE SOUTHEAST CORNER OF LOT 1, CERTIFIED SURVEY MAP No. 10379; THENCE S89°07'40"W ALONG THE SOUTH LINE OF SAID LOT 1, 330.00'; THENCE N00°46'35"W PARALLEL TO THE EAST LINE OF SAID NORTHWEST $\frac{1}{4}$, 660.59'; THENCE N89°13'25"E, 330.00' TO THE POINT OF BEGINNING. SAID AREA CONTAINS 217,904.98 S.F. MORE OR LESS.

THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND MAP AT THE DIRECTION OF ROBERT HELMINIAK, OWNER,

THAT SUCH MAP IS A TRUE REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND TO BE SURVEYED AND THE LAND DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF WISCONSIN STATE STATUTES AND THE LAND DIVISION CODE OF THE VILLAGE OF MUKWONAGO.

MICHAEL A. GREESON
AUGUST ______, 2019
PROFESSIONAL LAND SURVEYOR
DATE

OWNERS CERTIFICATE:

I, ROBERT HELMINIAK, OWNER, DO HEREBY CERTIFY THAT I HAVE CAUSED THE LAND HEREON DESCRIBED TO BE SURVEYED, DIVIDED AND MAPPED IN ACCORDANCE WITH THE REQUIREMETNS OF CHAPTER 236.34 OF THE WISCONSIN STATE STATUTES AND THE LAND DIVISION CODE FOR THE VILLAGE OF MUKWONAGO.

ROBERT HELMINIAK, OWNER DATE:
STATE OF WISCONSIN) SS WAUKESHA COUNTY) SS
PERSONALLY CAME BEFORE ME THIS DAY OF, 2019, THE ABOVE NAMED ROBERT HELMINIAK, OWNER TO ME KNOW TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.
NOTARY PUBLIC, WAUKESHA COUNTY, WISCONSIN MY COMMISSION EXPIRES ON:





SHEET 5 OF 6 DRAFT DATE: 08/06/2019 V2G JOB NO.: 2018-139

CERTIFIED SURVEY MAP NO. _____

BEING A RE-DIVISION OF LOT 2, CERTIFIED SURVEY MAP No. 10379, LOCATED IN PART OF THE EAST $\frac{1}{2}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.

VILLAGE OF MUKWC	NAGO PLAN CC	MMISSION APPRO	<u> DVAL</u>	
APPROVED FOR RECORD THE DATE OF		OF MUKWONAGO PLAN	N COMMISSION ACTION	
FRED WINCHOWKY CHAIRPERSON	DATE			
VILLAGE BOARD APF	PROVAL CERTIF	FICATE		
RESOLVED THAT THIS CE VILLAGE OF MUKWONAG ACCEPTED BY THE VILLA	O VILLAGE BOARD,	BE AND THE SAME IS		
I HEREBY CERTIFY THAT VILLAGE OF MUKWONAG				ADOPTED BY THE
FRED WINCHOWKY PRESIDENT				
STEVE BRAATZ JR.				





SHEET 6 OF 6 DRAFT DATE: 08/06/2019 V2G JOB NO.: 2018-139 From: <u>no-reply@villageofmukwonago.com</u>

To: <u>Village Planner</u>

Subject: Certified Survey Map (CSM) Application Form Entry

Date: Friday, July 12, 2019 8:17:28 AM

Applicant Information

Name

Michael A. Greeson

Company

V2G Surveying

Address

123 wolf run Suite 4

mukwonago, Wisconsin 53149

United States

Map It

Daytime Phone

(262) 378-5097

Applicant Email

mikeg@v2g-surveying.com

Applicant is Represented by

Address

United States

Map It

Property Information

Owner's Name

Terri Helminiak

Address

773 Medina Dr Mukwonago

United States

Map It

Daytime Phone

(414) 559-3905

Email

terriv77@gmail.com

Present Zoning

R1

Location Address

773 medina dr mukwonago United States Map It

Tax Key #(s)

MUKV1978999002

Present Use

vacant

Intended Use

residential

Certification

Property Owner Name

Terri Helminiak owner

Applicant Signature



Applicant Name

Michael Greeson Land Surveyor

Would you like to receive updates from the Village via email or text?

Yes

Email for Updates

mikeg@v2g-surveying.com

Mobile for Updates

(262) 206-0717

Order

Product	Qty	Unit Price	Price
1-2 Lot CSM: \$150	1	\$150.00	\$150.00
		Total:	\$150.00

Village of Mukwonago

Staff Review Comments

<u>Applicant:</u> Michael A. Greeson P.L.S.

Owner: Terri Helminiak

Re: Helminiak CSM – Two Lot CSM at Terminus of Minors Drive

Date of Report: 07.15.19

From: Office of the Village Planner; 262-363-6420 ext. 2111, Ben Kohout, AICP

bkohout@villageofmukwonago.com

Village of Mukwonago Staff Comments:

<u>Village Engineer:</u> <u>See Attached Comments letter dated July 15, 2019.</u>

<u>Village Planner:</u> <u>1. The CSM needs to show the dedicated ROW providing for the minimum 100</u>

feet of lot frontage.

<u>Village Fire Chief:</u> No Comments.

Village Building Inspector: No Comments.

<u>Village Police Chief:</u> No Comments.

Village Dept. of Public Works: No Comments.

Village Public Services: No Comments.

Note: These review comments were based on the plans submitted by the applicant. We ask that you consider the revisions and make any changes and resubmit plans <u>at least two weeks prior</u> to the next Plan Commission meeting for recommendation to the Village Board. Following the Plan Commission meeting, the Village Board will review and render a decision in the form of a resolution.

As of the date of this Staff Report, the next available Plan Commission Meeting is:

August 13, 2019 at 6:30 pm

As of the date of this Staff Report, the next available Village Board Meeting is:

August 21, 2019 at 6:30 pm



July 15, 2019

Mr. Fred Winchowky Village President Village of Mukwonago P.O. Box 206 Mukwonago, WI 53149

Re: Helminiak CSM Review dated - 04/9/2019

Dear Mr. Winchowky,

This review is for the compliance with Wisconsin Statute Chapter 236 and the Village of Mukwonago Code of Ordinances Chapter 45

Per Wisconsin Administrative Code Chapter A-E 7 – No comments.

- Per Wisconsin Statute Chapter 236.20 (3)(d) The names of adjoining subdivisions shown in their proper location. The adjacent property on the north and west reads Lot 1 of CSM 10379. It should read Lot 2 of CSM 10379. REVISED
- 2. Per the Village of Mukwonago Code of Ordinances Chapter 45-44 (8) The existing zoning on and adjacent to the proposed subdivision. This needs to be shown. REVISED
- 3. Per the Village of Mukwonago Code of Ordinances Chapter 45-44(9) Existing contours and benchmarks referenced to mean sea level need to be shown ADDED FROM COUNTY GIS
- 4. Per the Village of Mukwonago Code of Ordinances Chapter 45-44(10) The high-water elevation of all ponds, streams, lakes and wetlands, based on mean sea level datum need to be shown. NEEDS TO BE ADDED
- 5. Per the Village of Mukwonago Code of Ordinances Chapter 45-14 (13) The soil type and boundaries need to be shown. NEEDS TO BE ADDED

Per the Village of Mukwonago Code of Ordinances Chapter 45-94(1) – The date of the map on page 1 is incorrect.

- Is the consent of corporate mortgagee certificate and certificate of village treasurer needed on this CSM?
 REMOVED CORPORATE.
 DOES VILLAGE TREASURE NEED TO SIGN?
- The bearings in the Surveyor's certificate read differently than those shown on page 1. For the ease of those reading please make them flow in the same direction. REVISED
- Label POB on page 1. REVISED
- On page 2 there is a line table featuring L1 and L2, these are in regard to what? EX. WETLAND REVISED
- The wetland table has 65 bearings and distances shown while only 19 are needed. These appear to be taken verbatim from CSM 10379. Please remedy. REVISED
- Sheet 3 has a line/text overlap on the westerly line REVISED
- Typo on the Owner's Certificate (and not adn), REVISED

Your Infrastructure Ally ruekertmielke.com



Letter to Mr. Fred Winchowky Helminiak CSM Review dated - 04/9/2019 July 15, 2019 Page 2

Thank you for allowing us to be of service. If you have any questions, please contact our office.

Respectfully,

RUEKERT & MIELKE, INC.

Christopher J. Ruetten, P.L.S. Professional Land Surveyor

cruetten@ruekertmielke.com

CJR:jkc

cc: John Weidl, Village of Mukwonago

Judith A Taubert, Village of Mukwonago Tim Schwecke, AICP, Town of Mukwonago Mark G. Blum, Village of Mukwonago

Jerad J. Wegner, P.E. Ruekert & Mielke, Inc.

Your Infrastructure Ally ruekertmielke.com

From: <u>no-reply@villageofmukwonago.com</u>

To: <u>Village Planner</u>

Subject: Certified Survey Map (CSM) Application Form Entry

Date: Friday, July 12, 2019 8:17:28 AM

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Name

Michael A. Greeson

Company

V2G Surveying

Address

123 wolf run Suite 4

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United States

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Daytime Phone

(262) 378-5097

Applicant Email

mikeg@v2g-surveying.com

Applicant is Represented by

Address

United States

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Property Information

Owner's Name

Terri Helminiak

Address

773 Medina Dr Mukwonago

United States

Map It

Daytime Phone

(414) 559-3905

Email

terriv77@gmail.com

Present Zoning

R1

Location Address

773 medina dr mukwonago United States Map It

Tax Key #(s)

MUKV1978999002

Present Use

vacant

Intended Use

residential

Certification

Property Owner Name

Terri Helminiak owner

Applicant Signature



Applicant Name

Michael Greeson Land Surveyor

Would you like to receive updates from the Village via email or text?

Yes

Email for Updates

mikeg@v2g-surveying.com

Mobile for Updates

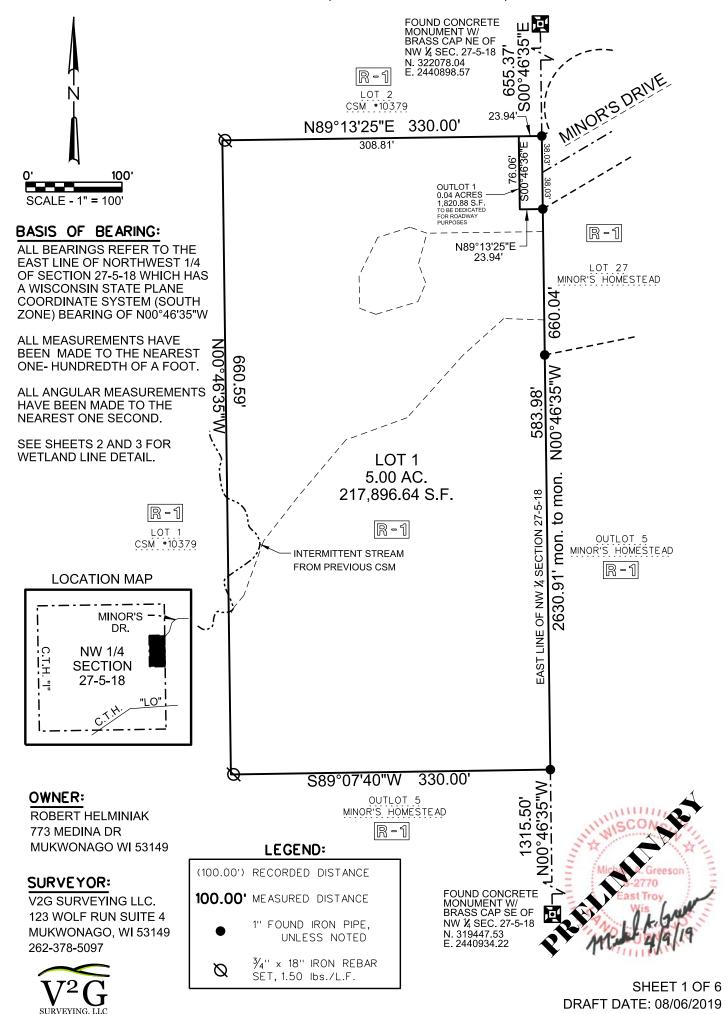
(262) 206-0717

Order

Product	Qty	Unit Price	Price
1-2 Lot CSM: \$150	1	\$150.00	\$150.00
		Total:	\$150.00

CERTIFIED SURVEY MAP NO.

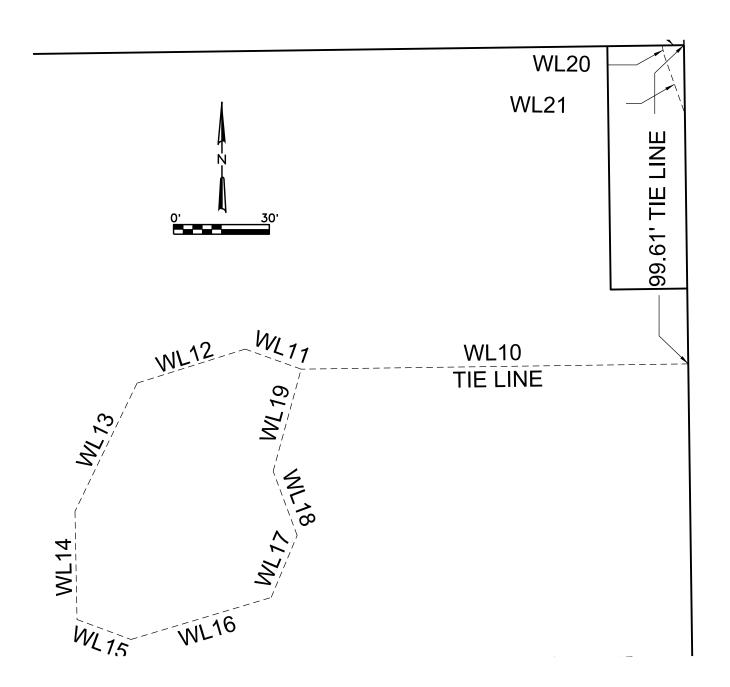
BEING A RE-DIVISION OF LOT 2, CERTIFIED SURVEY MAP No. 10379, LOCATED IN PART OF THE EAST $\frac{1}{2}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.



V2G JOB NO.: 2018-139

CERTIFIED SURVEY MAP NO. ____

BEING A RE-DIVISION OF LOT 2, CERTIFIED SURVEY MAP No. 10379, LOCATED IN PART OF THE EAST $\frac{1}{2}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.



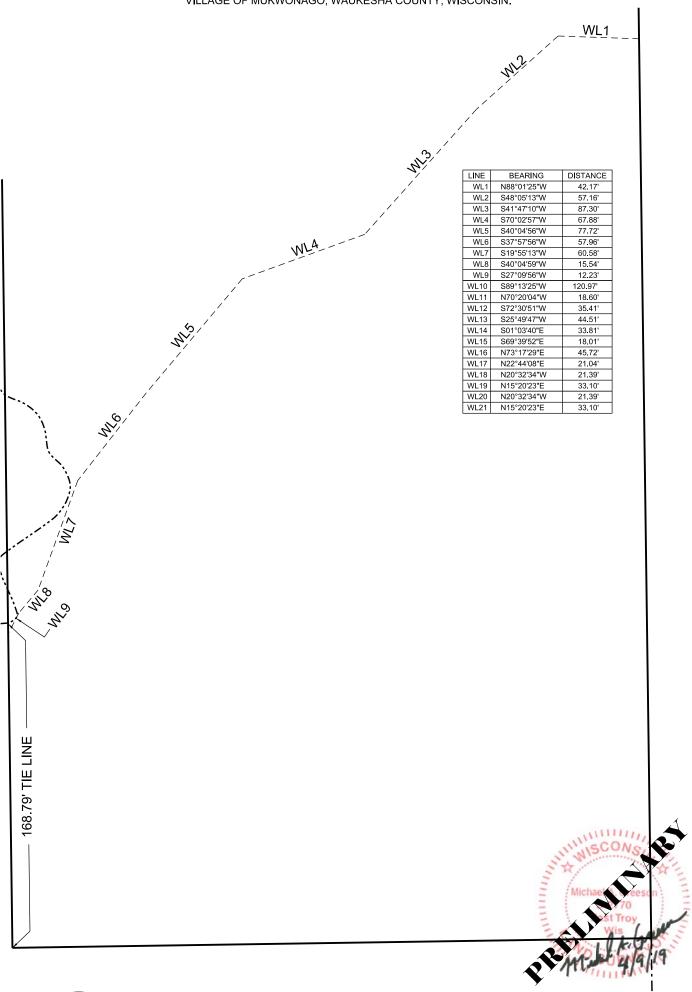




SHEET 2 OF 6 DRAFT DATE: 08/06/2019 V2G JOB NO.: 2018-139

CERTIFIED SURVEY MAP NO.

BEING A RE-DIVISION OF LOT 2, CERTIFIED SURVEY MAP No. 10379, LOCATED IN PART OF THE EAST $\frac{1}{2}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.

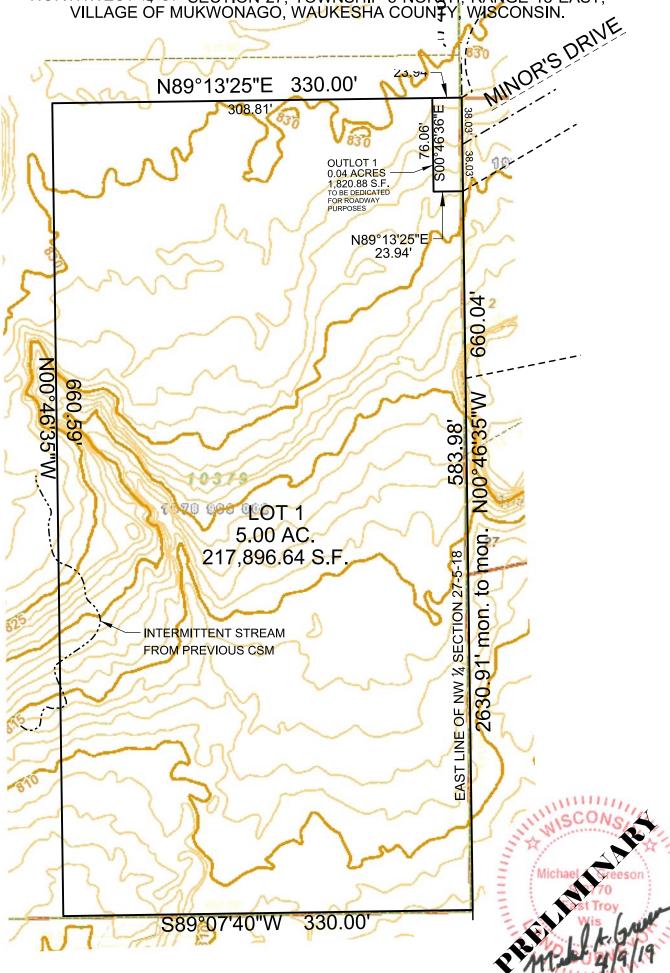




SHEET 3 OF 6 DRAFT DATE: 08/06/2019 V2G JOB NO.: 2018-139

CERTIFIED SURVEY MAP NO.

BEING A RE-DIVISION OF LOT 2, CERTIFIED SURVEY MAP No. 10379, LOCATED IN PART OF THE EAST ½ OF THE NORTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.





SHEET 4 OF 6 DRAFT DATE: 08/06/2019 V2G JOB NO.: 2018-139

CERTIFIED SURVEY MAP NO.

BEING A RE-DIVISION OF LOT 2, CERTIFIED SURVEY MAP No. 10379, LOCATED IN PART OF THE EAST $\frac{1}{2}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.

SURVEYORS CERTIFICATE:

I, MICHAEL A. GREESON, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED THE FOLLOWING LAND BOUNDED AND DESCRIBED AS FOLLOWS:

BEING A RE -DIVISION OF LOT 1, CERTIFIED SURVEY MAP NUMBER 10379, LOCATED IN PART OF THE EAST ½ OF THE NORTHEAST ¼ OF THE NORTHWEST 1/4, SECTION 27, TOWNSHIP 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN. BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHWEST $\frac{1}{4}$ OF SAID SECTION 27; THENCE S00°46'35"E ALONG THE EAST LINE OF SAID NORTHWEST $\frac{1}{4}$, 655.37' TO THE POINT OF BEGINNING; THENCE CONTINUING S00°46'35"E ALONG SAID LINE, 660.04' TO THE SOUTHEAST CORNER OF LOT 1, CERTIFIED SURVEY MAP No. 10379; THENCE S89°07'40"W ALONG THE SOUTH LINE OF SAID LOT 1, 330.00'; THENCE N00°46'35"W PARALLEL TO THE EAST LINE OF SAID NORTHWEST $\frac{1}{4}$, 660.59'; THENCE N89°13'25"E, 330.00' TO THE POINT OF BEGINNING. SAID AREA CONTAINS 217,904.98 S.F. MORE OR LESS.

THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND MAP AT THE DIRECTION OF ROBERT HELMINIAK, OWNER,

THAT SUCH MAP IS A TRUE REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND TO BE SURVEYED AND THE LAND DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF WISCONSIN STATE STATUTES AND THE LAND DIVISION CODE OF THE VILLAGE OF MUKWONAGO.

MICHAEL A. GREESON
AUGUST ______, 2019
PROFESSIONAL LAND SURVEYOR
DATE

OWNERS CERTIFICATE:

I, ROBERT HELMINIAK, OWNER, DO HEREBY CERTIFY THAT I HAVE CAUSED THE LAND HEREON DESCRIBED TO BE SURVEYED, DIVIDED AND MAPPED IN ACCORDANCE WITH THE REQUIREMETNS OF CHAPTER 236.34 OF THE WISCONSIN STATE STATUTES AND THE LAND DIVISION CODE FOR THE VILLAGE OF MUKWONAGO.

ROBERT HELMINIAK, OWNER DATE:
STATE OF WISCONSIN) SS WAUKESHA COUNTY) SS
PERSONALLY CAME BEFORE ME THIS DAY OF, 2019, THE ABOVE NAMED ROBERT HELMINIAK, OWNER TO ME KNOW TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.
NOTARY PUBLIC, WAUKESHA COUNTY, WISCONSIN MY COMMISSION EXPIRES ON:





SHEET 5 OF 6 DRAFT DATE: 08/06/2019 V2G JOB NO.: 2018-139

CERTIFIED SURVEY MAP NO. _____

BEING A RE-DIVISION OF LOT 2, CERTIFIED SURVEY MAP No. 10379, LOCATED IN PART OF THE EAST $\frac{1}{2}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.

VILLAGE OF MUKWO	NAGO PLAN COM	MISSION APPROVAL
APPROVED FOR RECORD THE DATE OF		MUKWONAGO PLAN COMMISSION ACTION
FRED WINCHOWKY CHAIRPERSON	DATE	
VILLAGE BOARD APF	PROVAL CERTIFIC	ATE
	O VILLAGE BOARD, BE	P, WHICH HAS BEEN DULY FILED FOR APPROVAL OF THE AND THE SAME IS HEREBY APPROVED, ACKNOWLEDGED AND
		E AND CORRECT COPY OF A RESOLUTION ADOPTED BY THE Y OF, 2019.
FRED WINCHOWKY PRESIDENT		
STEVE BRAATZ JR.		





SHEET 6 OF 6 DRAFT DATE: 08/06/2019 V2G JOB NO.: 2018-139





440 River Crest Court, Mukwonago, Wisconsin 53149 - Tel. (262) 363-6420 - Fax (262) 363-6425 - planner@villageofmukwonago.com

Date: August 8, 2019

To: Fred Winchowky, Village

President Plan Commissioners

Cc: John Weidl, Village Administrator (via email); Judy Taubert, Village Clerk (via email); Bob

Harley, Supervisor of Inspections (via email); Mark Blum, Village Attorney (via email); Jerad Wegner, Village Engineer (via email); Kevin Schmidt, Police Chief (via email); Jeff Stein, Fire Chief (via email); Ron Bittner, Public Works Director (via email); Spencer Frost, agent

for applicant (via email)

From: Ben Kohout, AICP; Village Planner

Subject: Frost CSM – Town of Waterford/ Extraterritorial Review

Meeting: August 13, 2019 Plan Commission meeting

Property location North side of Territorial Road, WI (Town of Waterford, Racine County); Parcel No. 016041905004000.

Current zoning - Town of Waterford

General description Mr. Spencer Frost is proposing to create a four-lot CSM out of his existing 136.6 acre parcel, all with frontage access to Territorial Drive. The property is along the north side of Territorial Road, about 7,000 feet (1.3 miles) south of the Village corporate boundary, meaning that pursuant to state law the Village has an opportunity to review the CSM under extraterritorial plat review authority. The property is outside the ultimate Village boundary pursuant to the Town-Village boundary agreement.

The purpose of the CSM is to create four lots out of the one larger buildable lot. A parallel review process is occurring with the Town of Waterford.

The NW portion of the proposed CSM is shown as Agriculture/Large Lot single Family and Staff has no concerns with this request.

Recommendation

Approval with Conditions. State law allows the Village to review the CSM to ensure compliance with the Village Comprehensive Plan. The Village Comprehensive Plan designates the property as Medium Lot Single-Family I with lot sizes 25,000 square feet and above. Therefore, as the proposed CSM conforms to the comprehensive plan, I recommend approval with the following conditions:

1. Prior to Village signature placement on the CSM, the Town of Waterford shall provide the Village Planner with documentation of Town approval.

CERTIFIED SURVEY MAP NO. _____.

BEING A PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN IN THE TOWNSHIP OF WATERFORD, COUNTY OF RACINE AND STATE OF WISCONSIN.

OWNERS: S AND S FROST HOLDINGS LLC 29537 N. LAKE DRIVE WATERFORD, WI 53185

PREPARED BY: B.W. SURVEYING, INC. 412 N. PINE STREET BURLINGTON, WI 53105 JOB NO. 9781-CSM

LEGAL DESCRIPTION:

BEING A PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN IN THE TOWNSHIP OF WATERFORD, COUNTY OF RACINE, STATE OF WISCONSIN AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT THE EAST 1/4 CORNER OF SAID SECTION 5; THENCE SOUTH 00°20'28" EAST ALONG THE EAST LINE OF SAID SOUTHEAST 1/4 SECTION 780.79 FEET; THENCE SOUTH 88°25'49" WEST 822.92 FEET; THENCE SOUTH 00°20'28" EAST 554.79 FEET TO A POINT IN THE CENTER LINE OF TERRITORIAL ROAD; THENCE SOUTH 88°04'06" WEST 284.57 FEET ALONG SAID CENTERLINE; THENCE SOUTH 87°46'03" WEST 564.39 FEET ALONG SAID CENTERLINE; THENCE SOUTH 87°04'46" WEST 310.00 FEET ALONG SAID CENTERLINE; THENCE SOUTH 87°04'46" WEST 310.00 FEET ALONG SAID CENTERLINE; THENCE NORTH 00°33'08" WEST 248.92 FEET; THENCE SOUTH 87°34'37" WEST 350.00 FEET; THENCE NORTH 00°45'21" WEST 1316.23 FEET; THENCE NORTH 87°40'39" EAST 737.78 FEET; THENCE NORTH 03°57'48" EAST 8.01 FEET; THENCE NORTH 87°37'54" EAST 1603.31 FEET TO THE PLACE OF BEGINNING. CONTAINING 58.42 ACRES OF LAND MORE OR LESS.

DATED THIS IST DAY OF AUGUST, 2019	
	_
ROBERT I WETZEL S-1778	

CERTIFII	ED SURVEY MAP NO
SECTION 5, TOWNSHIP 4 NORTH, RA	1/4 AND THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF ANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN IN OUNTY OF RACINE AND STATE OF WISCONSIN.
SURVEYOR'S CERTIFICATE:	
STUART FROST OF S AND S FROST THE LAND DESCRIBED HEREON REPRESENTATION OF ALL LOT LIN 236.34 OF THE WISCONSIN STATUT	CERTIFY THAT AT THE DIRECTION OF SPENCER AND HOLDINGS LLC AS PARTNERS, THAT I HAVE SURVEYED AND THAT THE MAP SHOWN IS A CORRECT ES AND THAT I HAVE FULLY COMPLIED WITH SECTION ES, TOWN OF WATERFORD LAND DIVISION ORDINANCE O EXTRATERRITORIAL JURISDICTION.
DATED THIS 1ST DAY OF AUGUST, 2	019
ROBERT J. WETZEL S-1	778
OWNER'S CERTIFICATE:	

NOTARY PUBLIC

MY COMMISSION EXPIRES:

OWNER'S CERTIFICATE:		
WE, SPENCER AND STEWART FROST AS HEREBY CERTIFY THAT WE CAUSED THE MAP TO BE SURVEYED, DIVIDED, AND MAI	E LAND DESCRIBED C	ON THIS CERTIFIED SURVEY
DATED THIS DAY OF	, 201 .	
SPENCER FROST	STEWART FROST	
STATE OF WISCONSIN) RACINE COUNTY)SS		
PERSONALLY CAME BEFORE ME THIS NAMED SPENCER AND STEWART FROS' EXECUTED THE FOREGOING INSTRUMEN'	T, TO ME KNOWN T	TO BE THE PERSONS WHO

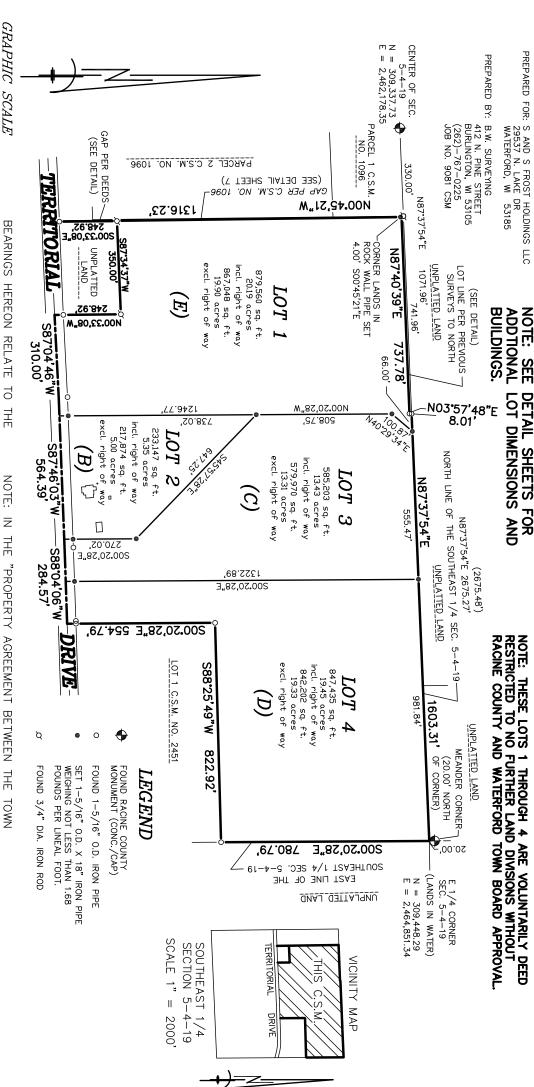
CERTIFIED	SURVEY MAP NO.	
CENTIFIED	SURVEI MAF NO.	

BEING A PART OF THE NORTHWEST 1/4 AND THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN IN THE TOWNSHIP OF WATERFORD, COUNTY OF RACINE AND STATE OF WISCONSIN.

TOWN OF WATE	ERFORD TOWN BOARD A	PPROVAL:	
	SURVEY MAP IS HEREBY DAY OF		OWN OF WATERFORD TOWN 201 .
TOM HINCZ	TOWN CHAIRMAN	TINA MAYER	TOWN CLERK
VILLAGE OF MU	J KWONAGO APPROVAL (EXTRATERRITORIA	<u>1L):</u>
	SURVEY MAP IS HEREBY OON THIS DAY		E VILLAGE OF MUKWONAGO , 201 .
FRED WINCHOW	KY PRESIDENT	DIANA DYKSTRA	CLERK
DATED THIS 1ST	DAY OF AUGUST, 2019		
ROBERT J. WETZ	EL S-1778		

CERTIFIED SURVEY MAP NO.

BEING PART OF THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN, TOWNSHIP OF WATERFORD, COUNTY OF RACINE AND STATE OF WISCONSIN.



BEARINGS HEREON RELAIE TO THE NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 5-4-19, ASSUMED BEARING NORTH 87°37′54″ EAST.

PAGE 2 OF 9

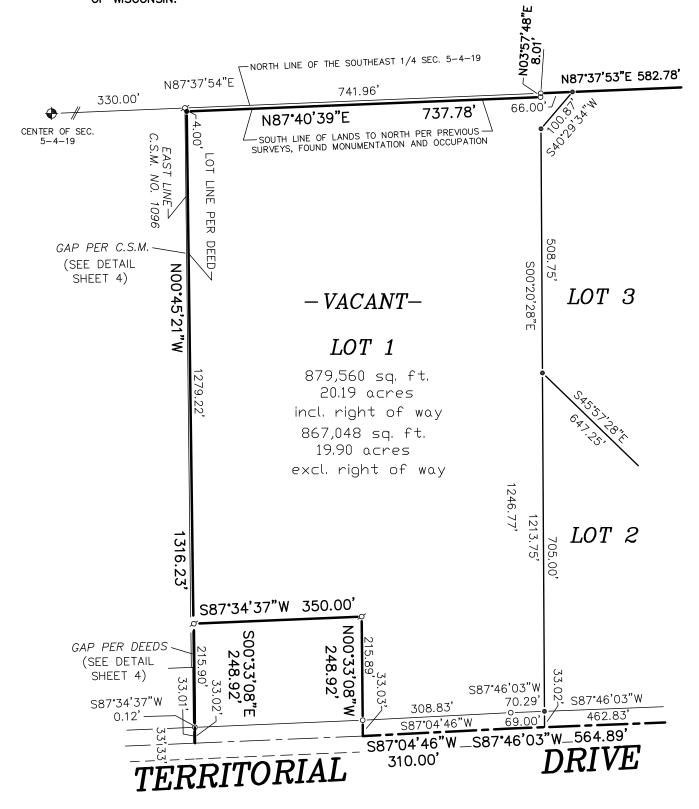
OF WATERFORD AND S AND S FROST HOLDINGS LLC"
OF WATERFORD AND S AND S FROST HOLDINGS LLC"
NOTARIZED JULY 25TH, 2019 AND RECORDED ON OR
AROUND JULY 30, 2019 THE LOTS WERE IDENTIFIED BY
LETTERS "B, C, D AND E". THE CERTIFIED SURVEY MAP
USES LOTS 1, 2, 3 AND 4 TO IDENTIFY THE LOTS.

ROBERT J. WETZEL AUGUST 1, 2019

S-1778

CERTIFIED SURVEY MAP NO.

BEING PART OF THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN, TOWNSHIP OF WATERFORD, COUNTY OF RACINE AND STATE OF WISCONSIN.

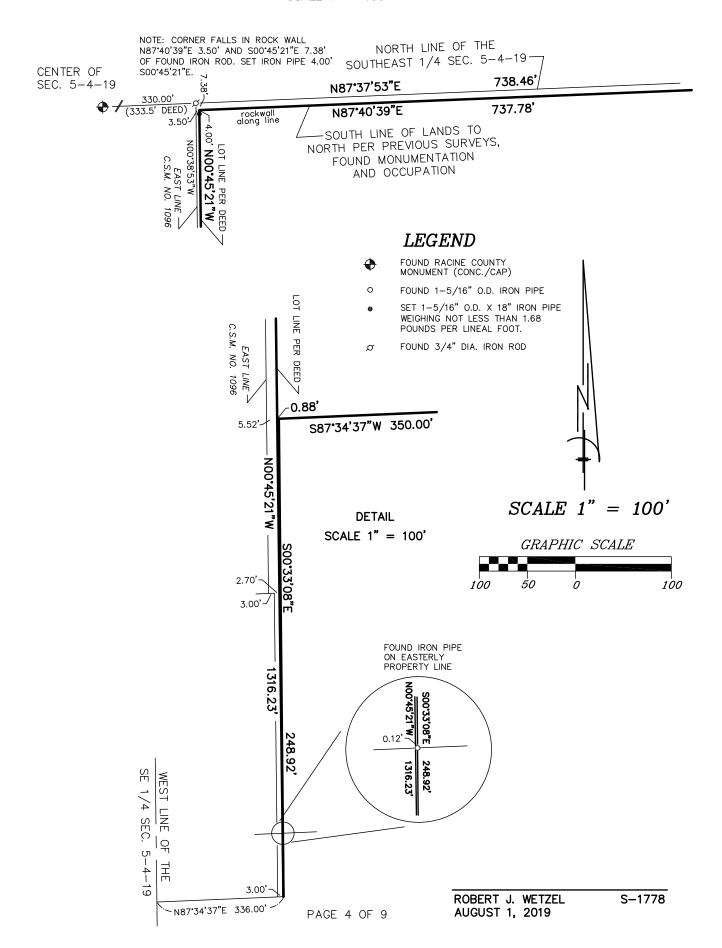


CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN, TOWNSHIP OF WATERFORD, COUNTY OF RACINE AND STATE OF WISCONSIN.

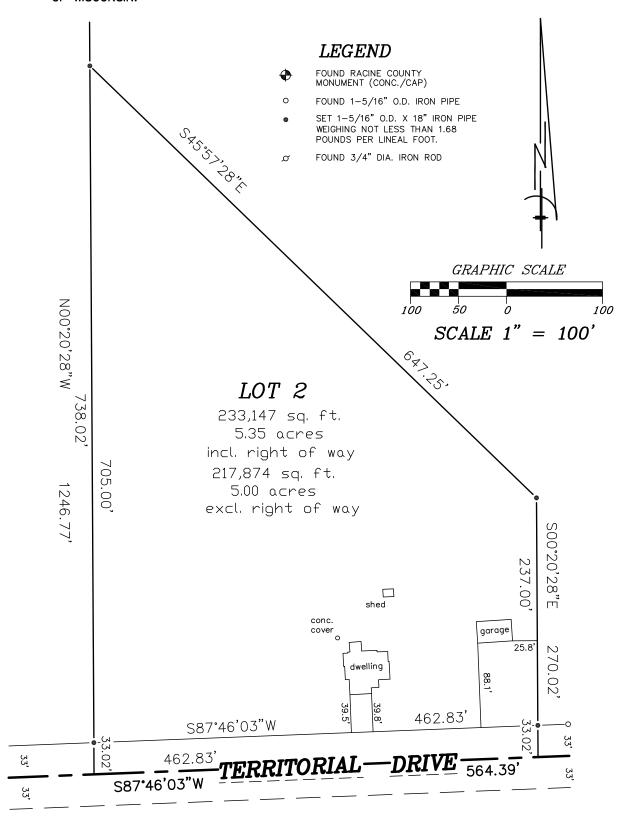
LOT 1 DETAIL

SCALE 1" = 100'



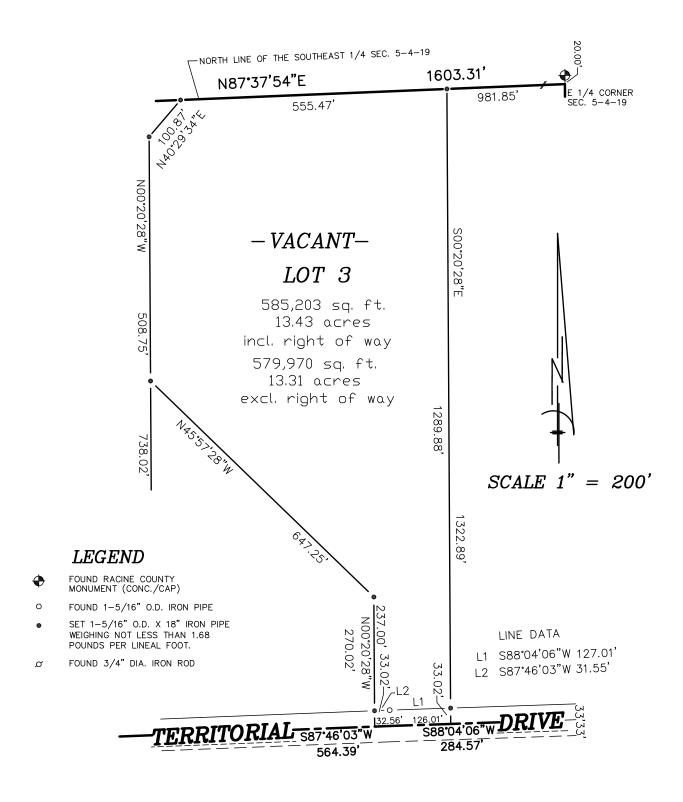
CERTIFIED SURVEY MAP NO. _

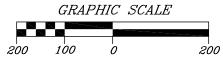
BEING PART OF THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN, TOWNSHIP OF WATERFORD, COUNTY OF RACINE AND STATE OF WISCONSIN.



CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN, TOWNSHIP OF WATERFORD, COUNTY OF RACINE AND STATE OF WISCONSIN.

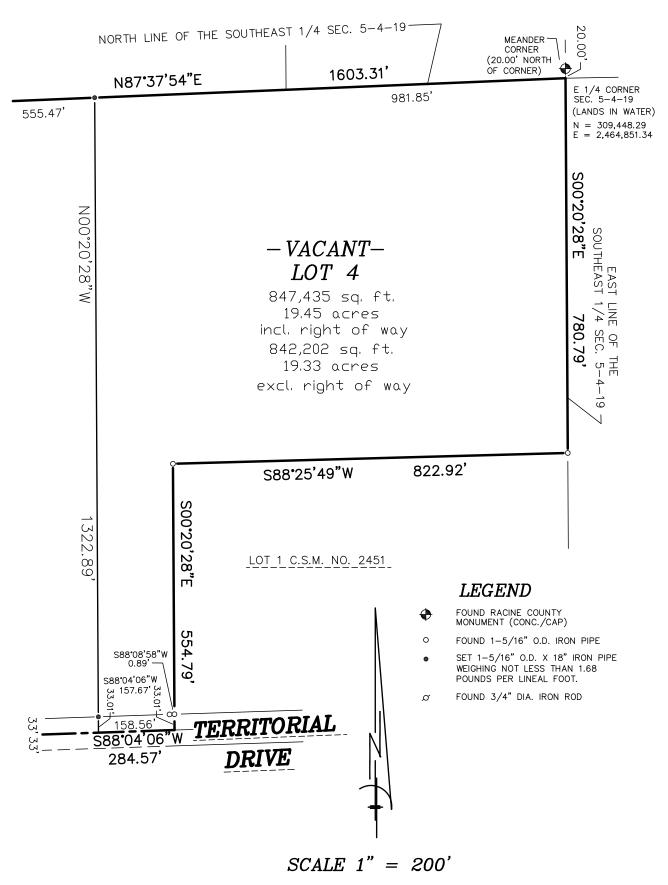


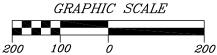


SHEET 6 OF 9

CERTIFIED SURVEY MAP NO.

BEING PART OF THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN, TOWNSHIP OF WATERFORD, COUNTY OF RACINE AND STATE OF WISCONSIN.







440 River Crest Court, Mukwonago, Wisconsin 53149 - Tel. (262) 363-6420 - Fax (262) 363-6425 - planner@villageofmukwonago.com

Date: August 7, 2019

To: Fred Winchowky, Village President; Plan Commissioners

Cc: John Weidl, Village Administrator (via email); Diana Dykstra, Village Clerk (via email); Bob

Harley, Supervisor of Inspections (via email); Mark Blum, Village Attorney (via email); Jerad Wegner, Village Engineer (via email); Kevin Schmidt, Police Chief (via email); Jeff Stien,

Fire Chief (via email); Ron Bittner, Public Works Director (via email)

From: Ben Kohout, AICP; Village Planner

Subject: Ordinance Amendment affecting Conditional Use Approval guidelines

Meeting: August 13, 2019 Plan Commission meeting

Sections of Code Affected 100-352; 100-354

Description In 2017, the State of Wisconsin enacted Act 67, which made various changes related to local government essentially being compelled to recommend in the affirmative of applications meeting minimum standards listed in the Zoning code.

The Village Attorney has reviewed the Village Ordinances governing Conditional Uses and is recommending that the proposed ordinance amendments be considered for approval, so as to be in compliance with the mandates and avoid any possible litigation.

For the Village of Mukwonago, there is a perceived need to better address this by being more specific in what will be evaluated with conditional use requests. The proposed ordinance amendments, as prepared by the Village Attorney, and reviewed by Staff, are being recommended to the Plan Commission for review and action.

Attachments:

1. Draft Ordinance

VILLAGE OF MUKWONAGO WAUKESHA AND WALWORTH COUNTIES

ORDINANCE NO. ____

ORDINANCE TO AMEND SECTIONS 100-352 and 100-354 OF THE VILLAGE OF MUKWONAGO MUNICIPAL CODE REGARDING CONDITIONAL USES

The Village Board of the Village of Mukwonago, Waukesha and Walworth Counties do ordain as follows:

SECTION I

Section 100-352 of the Municipal Code of the Village of Mukwonago is hereby amended to add the following additional sections:

Section 100-352 Application

- (6) All applications for a Conditional Use Permit must be accompanied by a Plan of Operation that describes in detail, acceptable to the Zoning Administrator, the following characteristics as proposed:
 - a. Hours of operation;
 - b. Number of employees, including both full time equivalents and maximum number of personnel to be on the premises at any time;
 - c. Anticipated noise, odors, dust, soot, runoff or pollution and measures taken to mitigate the impacts of these matters on neighboring properties;
 - d. Descriptions of any materials stored outside and any activities, processing or other operations taking place outside of an enclosed building;
 - e. Compliance with the Village's Storm Water Ordinance, Erosion Control Standards where applicable;
 - f. Sanitary facilities and private on-site waste transfer systems are in compliance with the requirements of the County agencies with jurisdiction;'
 - g. Facilities for managing removal of trash, solid waste and recycling materials;
 - h. Anticipated daily traffic, including, but not limited to, the types and weights of vehicles, night provisions, necessary intersection and road improvements or other measures proposed to accommodate increased traffic and/or the weight of the vehicles being utilized:
 - i. List of hazardous, toxic or explosive materials to be stored on site and any spill containment, safety or pollution measures which will be put in place for the use;
 - j. Outdoor lighting and measures taken to mitigate light pollution, impacts to neighboring properties;

SECTION II

Section 100-354 of the Municipal Code of the Village of Mukwonago is hereby amended add the following additional sections:

Section 100-354 Review, findings and approval

- (h) Only complete Applications will be accepted. In the event there are any orders pending with respect to the property or the property is in violation of the terms and conditions of the Village Code, or in the event there are fees, special charges for current services or other sums owned by the owner or occupant of the property to the Village, the Application will not be considered until such time as the outstanding fees, costs or assessments are paid and the property is in compliance with Village Ordinances.
- The Village may consult with a person or persons with appropriate expertise as determined (i) by the Village to effectively evaluate a Conditional Use Permit Application. The review that may be conducted by the consultant may include, but not be limited to, peer review of the reports, analysis and opinion of the applicant's consultant or experts. The adequacy of the measures proposed to protect the public health, safety and welfare, as well as the impact of traffic, noise, odors, lighting and containment, the safety or pollution prevention measures necessary to implement the Conditional Use Permit. The Village Administrator or his/her designee will select the consultant. The applicant for the Conditional Use Permit shall bear all reasonable costs and expenses associated with such consultation. The Zoning Administrator shall advise the applicant of the Village's intention to exercise its authority under this section. The applicant may withdraw a pending Conditional Use Permit Application to avoid the incurring of fees under this paragraph until such time as the expert or consultant is retained; after which the applicant shall be responsible for the fees incurred by the expert consultant until the time the Application withdrawn. The Village may postpone action on any Conditional Use Permit until any pending violations of the Village's Municipal Code are resolved and the property owner brings the property to full compliance with applicable standards and any outstanding fees, costs or expenses incurred by the property owner, or any tenant, are paid in full.
- (j) The Plan Commission may require, in its reasonable discretion, a bond or other financial guaranty to dismantle equipment, buildings or structures that may pose a hazard or nuisance after a Conditional Use Permit is abandoned or revoked, unless otherwise required by an applicable State Law or Administrative Code provision. Any bond or financial instrument provided hereunder shall expressly state that it will remain in full force and effect for a period of at least six months after the surety provides the Village with written notice of an expiration or termination of the surety's obligation under the bond. The applicant shall remove any equipment or structure placed or erected pursuant to a Conditional Use Permit that may pose a hazard or nuisance after the permit is abandoned or revoked not less than thirty days prior to termination or expiration of the bond or financial guaranty. The amount of the surety shall be based upon the estimated cost of the removal of the equipment, building or structure, plus twenty percent.
- (k) The Plan Commission shall require the following standards for approval to be met in order to approve any Conditional Use Permit Application:
 - (1) That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
 - (2) That the uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
 - (3) That the establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.

- (4) That adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
- (5) That adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.
- (1) The Plan Commission shall approve a Conditional Use Permit if the terms and conditions of this Ordinance are met. However, in the event the terms and conditions of the Ordinance are not consented to and complied with by the applicant, the Commission may reject the Conditional Use Permit. In addition, the Commission may reject the Conditional Use Permit Application or place conditions on it if substantial evidence, as defined in Wisconsin Statute §62.23(7) is presented. That evidence shall demonstrate the inability of the applicant to comply with or meet the conditions of this Ordinance or that the conditions to be applied by the Plan Commission are necessary to protect the public health, safety or welfare of the community based upon the presentation of substantial evidence.

SECTION III

All Ordinances or parts of Ordinances contravening the terms and conditions of this Ordinance are hereby to that extent repealed.

SECTION IV

The several sections of this Ordinance shall be considered severable. If any section shall be considered by a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other portions of the Ordinance.

SECTION V

This Ordinance shall take effect upon passage and publication as approved by law, and the Village Clerk shall so amend the Code of Ordinances of the Village of Mukwonago, and shall indicate the date and number of this amending ordinance therein.

PASSED AND ADOPTED by the Village	e Board this day or	f, 2019.
	APPROVED:	
Countersigned:	Fred Winchowk	y, Village President
Diana Dykstra, Village Clerk/Treasurer		